

APPROVED: _____ DATE _____
STAFF APPROVAL

APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

PERCENTAGE OF
LOT COVERAGE = 24.4%

HOUSE COVERAGE = 2,238 SQ.FT.
DRIVEWAY COVERAGE = 1,252 SQ.FT.
WALKWAY COVERAGE = 227 SQ.FT.
TOTAL COVERAGE = 3,717 SQ.FT.

NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

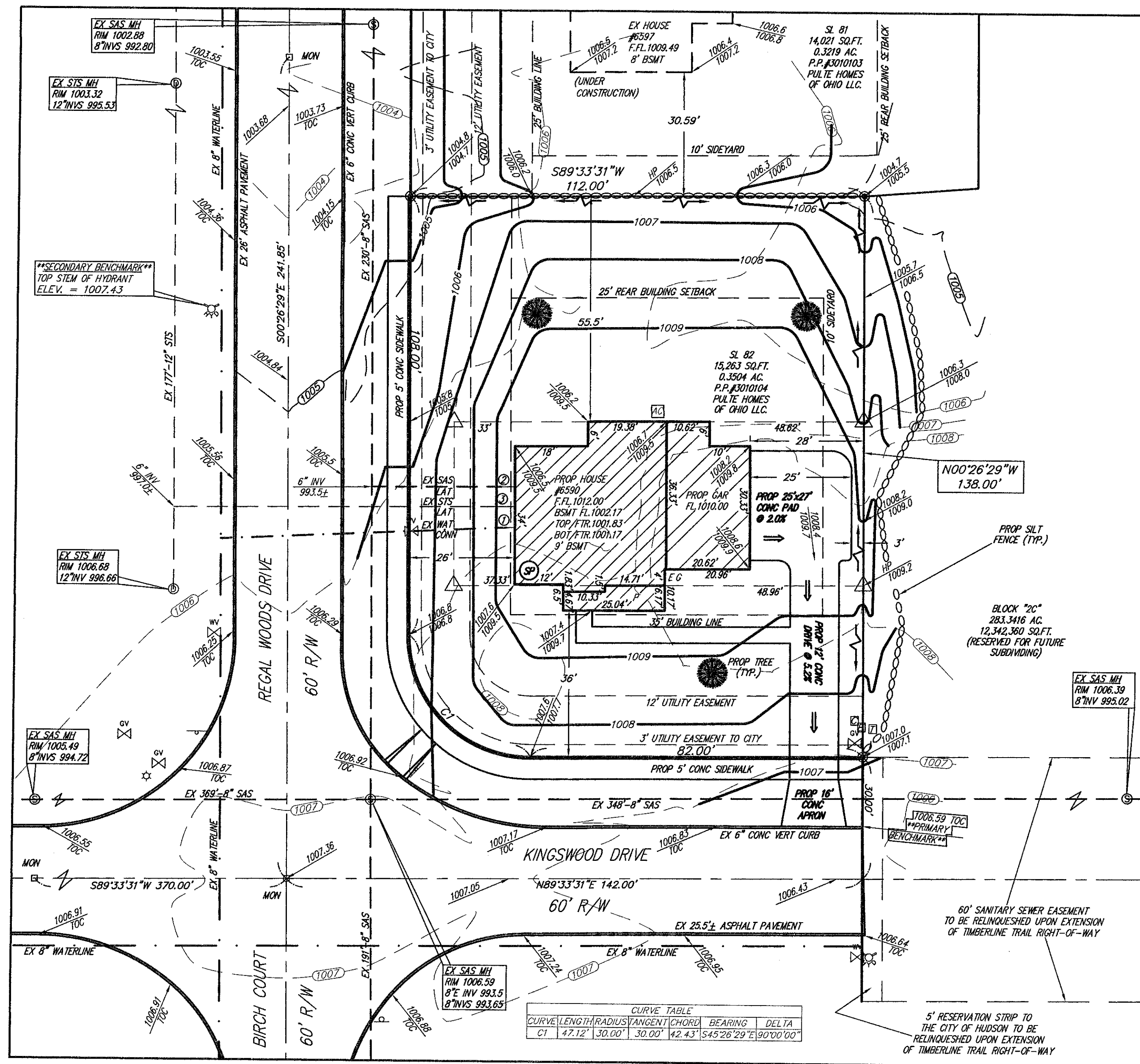
NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE

PRIMARY BENCHMARK:
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT 82/BLOCK "2C"
ELEV. = 1006.59

SECONDARY BENCHMARK
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT 79/80
ELEV. = 1007.43

**THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.**

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION



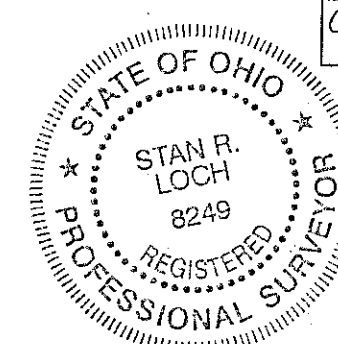
GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

DATE OF SURVEY:
MAY 22nd, 2017

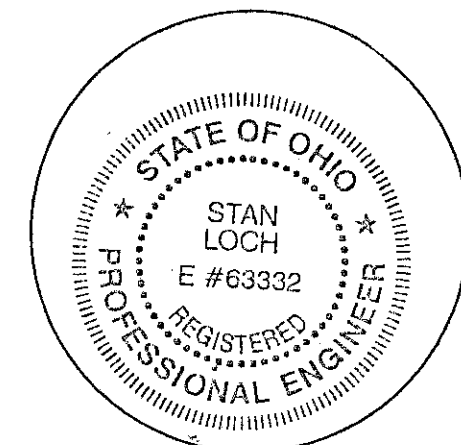
TYPE OF HOUSE:
PLAN# HOLBROOK
ELEVATION: 1
GAR: 3 CAR SIDE RIGHT W/9' BASEMENT
& FIREPLACE



- ① = PROP 1" WAT CONN
② = PROP 6" PVC SAS CONN @
1.0% MIN 10% MAX
③ = PROP 6" PVC STS CONN @
1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
□ = PROP MONUMENT
■ = EX CURB INLET
⊙ = EX SANITARY MANHOLE
□ = EX YARD DRAIN
⊙ = IRON PIN SET
5/8"x30" REBAR
CAPPED "AZTECH #8249"
- EXISTING GRADE
PROPOSED GRADE
∞ = PROP SILT FENCE
- = INLET PROTECTION
⊙ = EX HYDRANT
⊙ = EX WATER VALVE
⊙ = SUMP PUMP
⊙ = EX STORM MANHOLE
— = SWALE
→ = FLOW ARROW
⊙ = ELECTRIC STUD
⊙ = CABLE PEDESTAL
⊙ = TELEPHONE PEDESTAL
⊙ = TRANSFORMER BOX
⊙ = AIR CONDITIONER
E = ELECTRIC CONNECTION
G = GAS CONNECTION
▽ = OFFSET HUB
⊙ = GAS VALVE



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

6-5-17
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

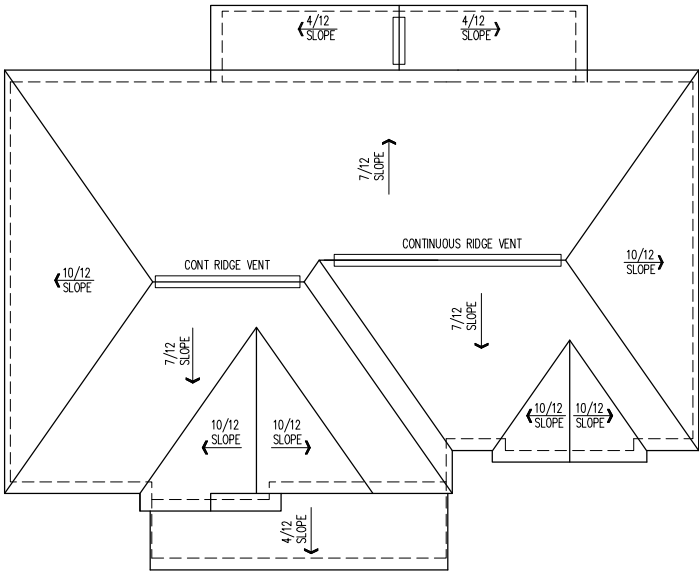
SHEET CONTENT

SITE PLAN
FOR
PULTE HOMES
SUBLOT 82
6590 KINGSWOOD DRIVE
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.2
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE		VERT. SCALE	
1" = 20'		1" = 20'	
DRAWN BY		DATE	
KEG		6-5-2017	
CHECKED BY		DRAWING NO.	
SRL		River Oaks 2	
JOB NO.		SHEET	
20142977-2		1 OF 1	

ATTIC VENTILATION SCHEDULE												
1 ELEVATION	LOC	1ST FLOOR ROOF		2ND FLOOR ROOF		N/A		N/A		N/A		
	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	208	0.35	0.83	2078	3.47	7.38						
	RIDGE EAVE	0.35	0.83		3.47	6.13						
	TOTAL	0.70	1.66		2.96	13.51						



ROOF PLAN

SCALE 1/8" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

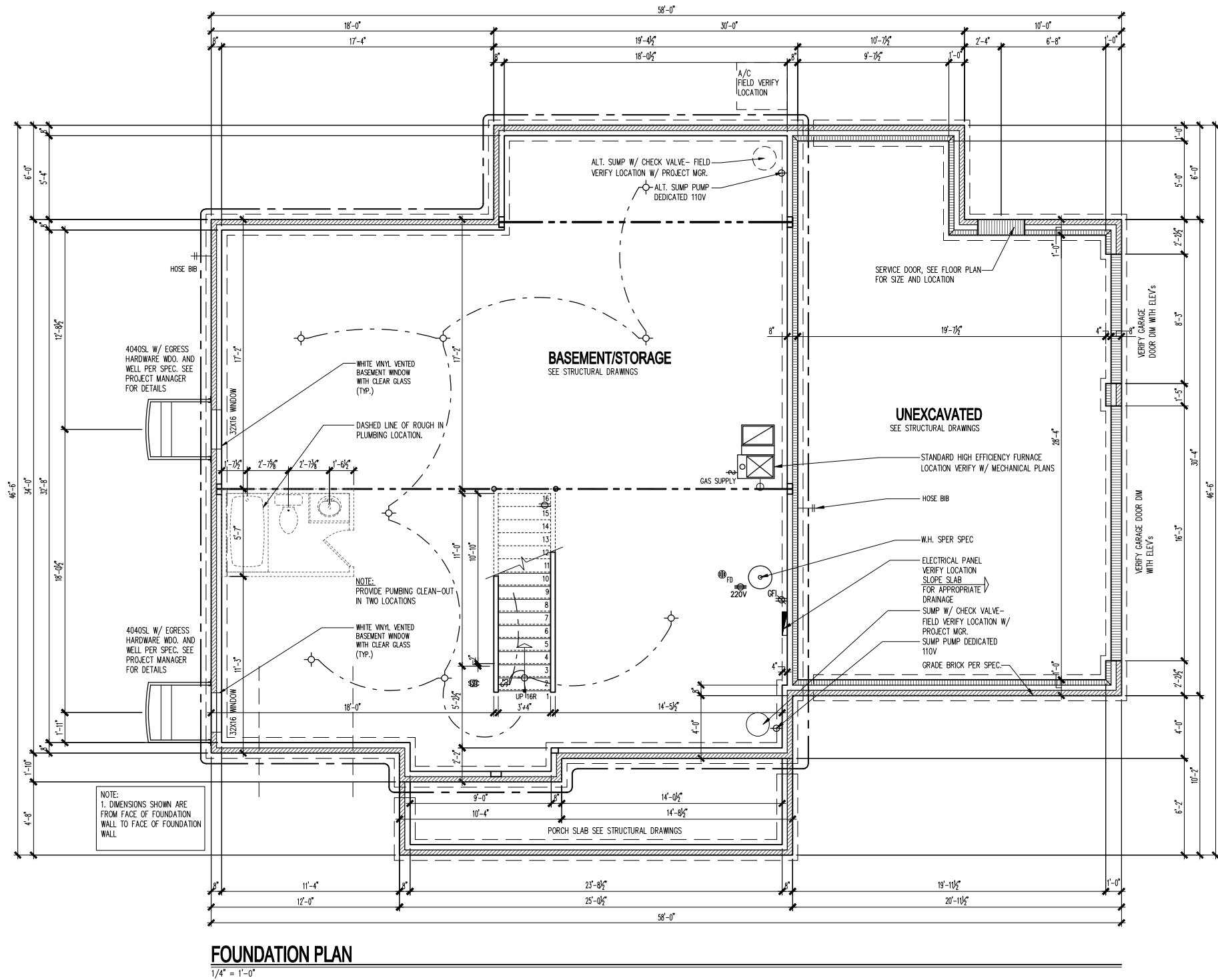


RIGHT ELEVATION

SCALE 1/4" = 1'-0"

PRODUCTION MANAGER	
JAMIE HEINZMAN	
CURRENT RELEASE DATE: 05/23/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 82
LAWSON COMMUNITY ID	---
GARAGE HANDING	GARAGE RIGHT
SPECIFICATION LEVEL	TBD
PLAN NAME	HOLBROOK
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3140
SHEET	7.01a2


$$\overline{1/4^n} = 1^n - 0^n$$

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Full Basement Foundation Plan

[illegible]

ENGINEER OF RECORD: MULHERN & KULP ENGINEERING
ARCHITECT OF RECORD: GODUCO DESIGN - ARCHITECTS

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 82
LAWSON COMMUNITY ID

**GARAGE HANDING
GARAGE RIGHT**

SPECIFICATION LEVEL
TBD

PLAN NAME	HOLBROOK
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME
PLAN 3140

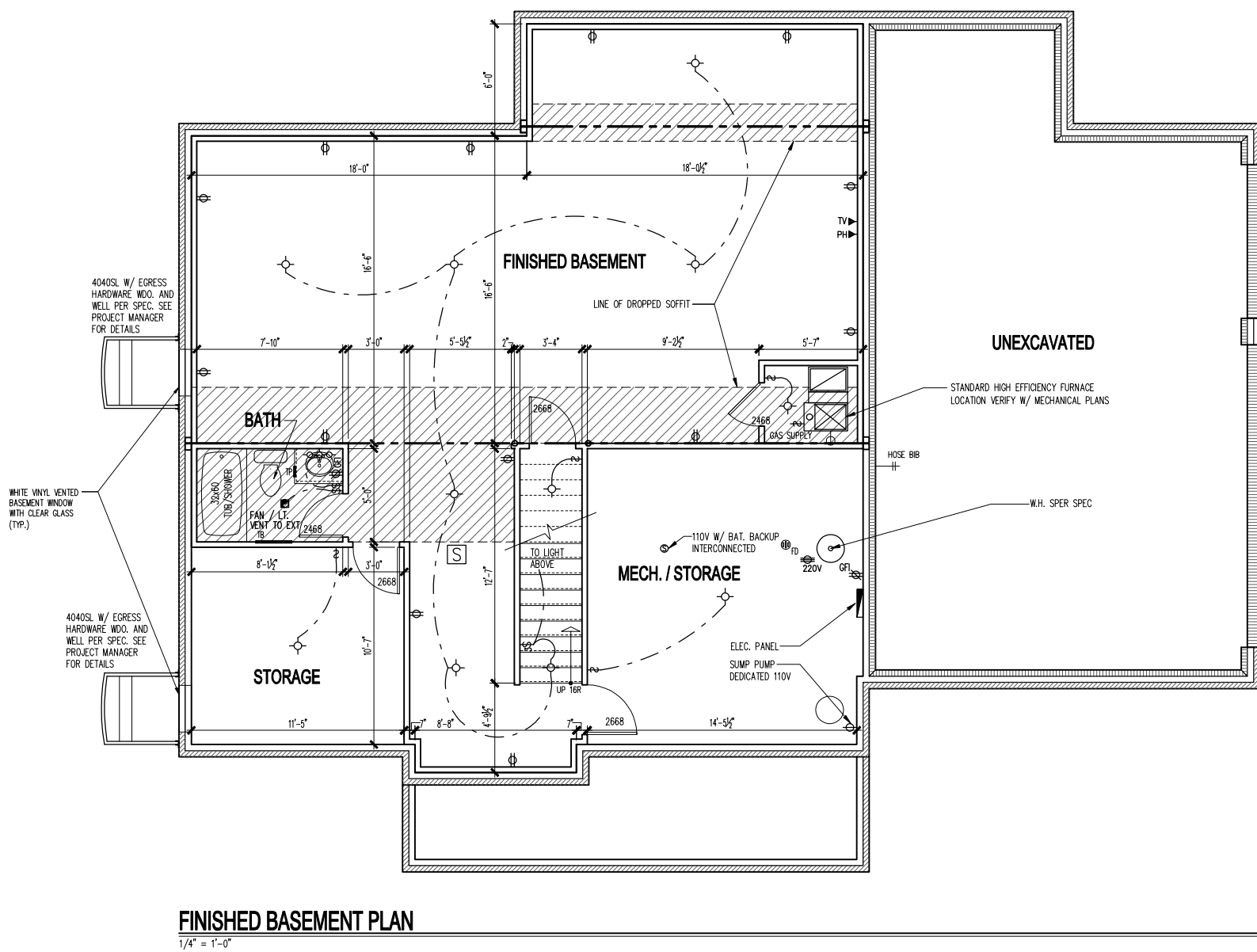
SHEET

1.30a

[illegible]

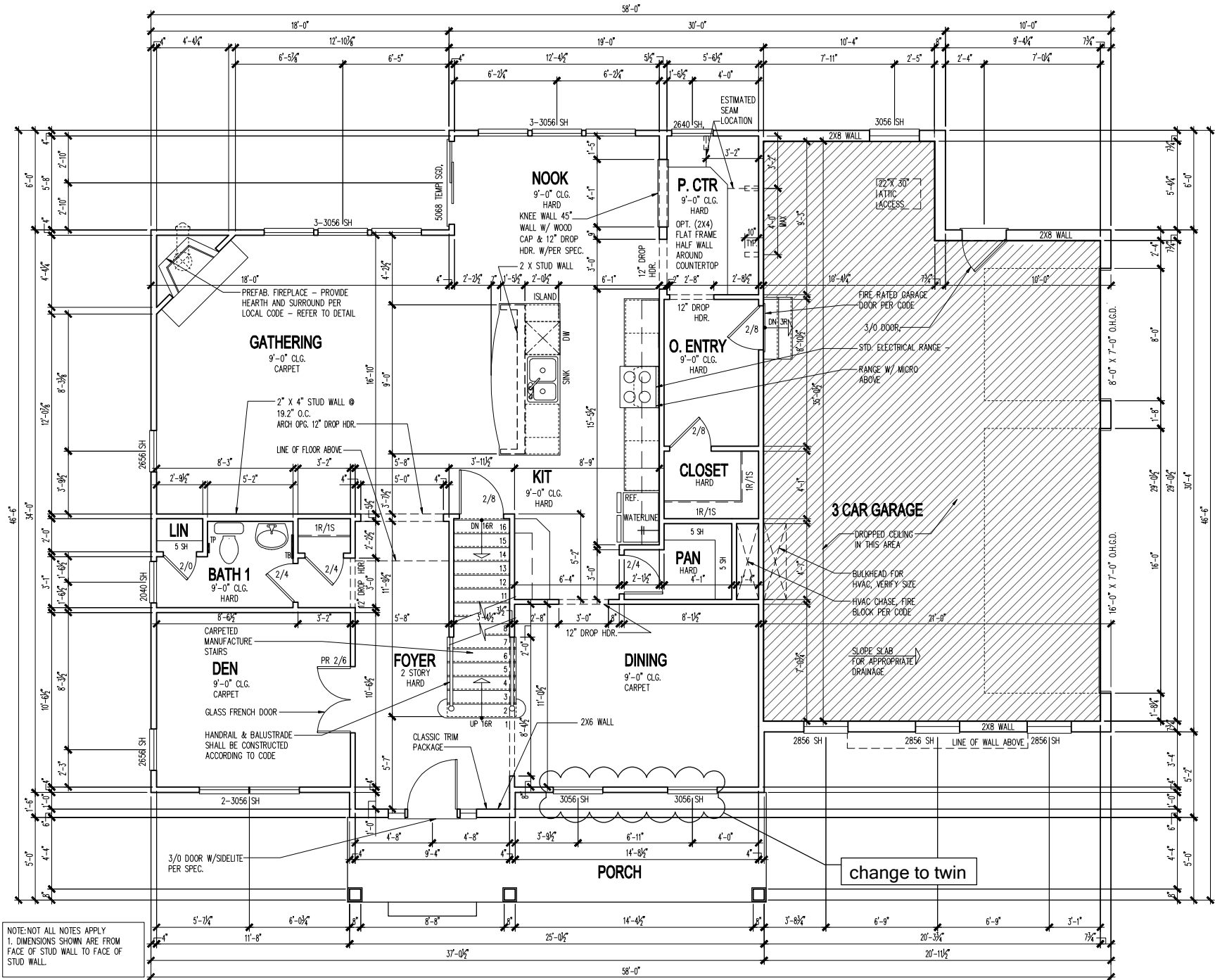
PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 82
LAWSON COMMUNITY ID	*****
GARAGE HANDING	GARAGE RIGHT
SPECIFICATION LEVEL	TBD
PLAN NAME	HOLBROOK
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	*****
LEGACY PLAN NUMBER / NAME	PLAN 3140

SHEET
2.00



FINISHED BASEMENT PLAN

$$\overline{1/4^n} = 1'-0^n$$



FIRST FLOOR PLAN

1/4" = 1'-0"



First Floor Plan - Elevation

PRODUCTION MANAGER	
JAMIE HEINZMAN	
CURRENT RELEASE DATE: 05/23/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 82	
LAWSON COMMUNITY ID	

GARAGE HANDING	
GARAGE RIGHT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
HOLBROOK	
NRC PLAN NUMBER	
TBD	
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME	
PLAN 3140	
SHEET	
2.10a	

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODOLCO, DESIGN - ARCHITECTS

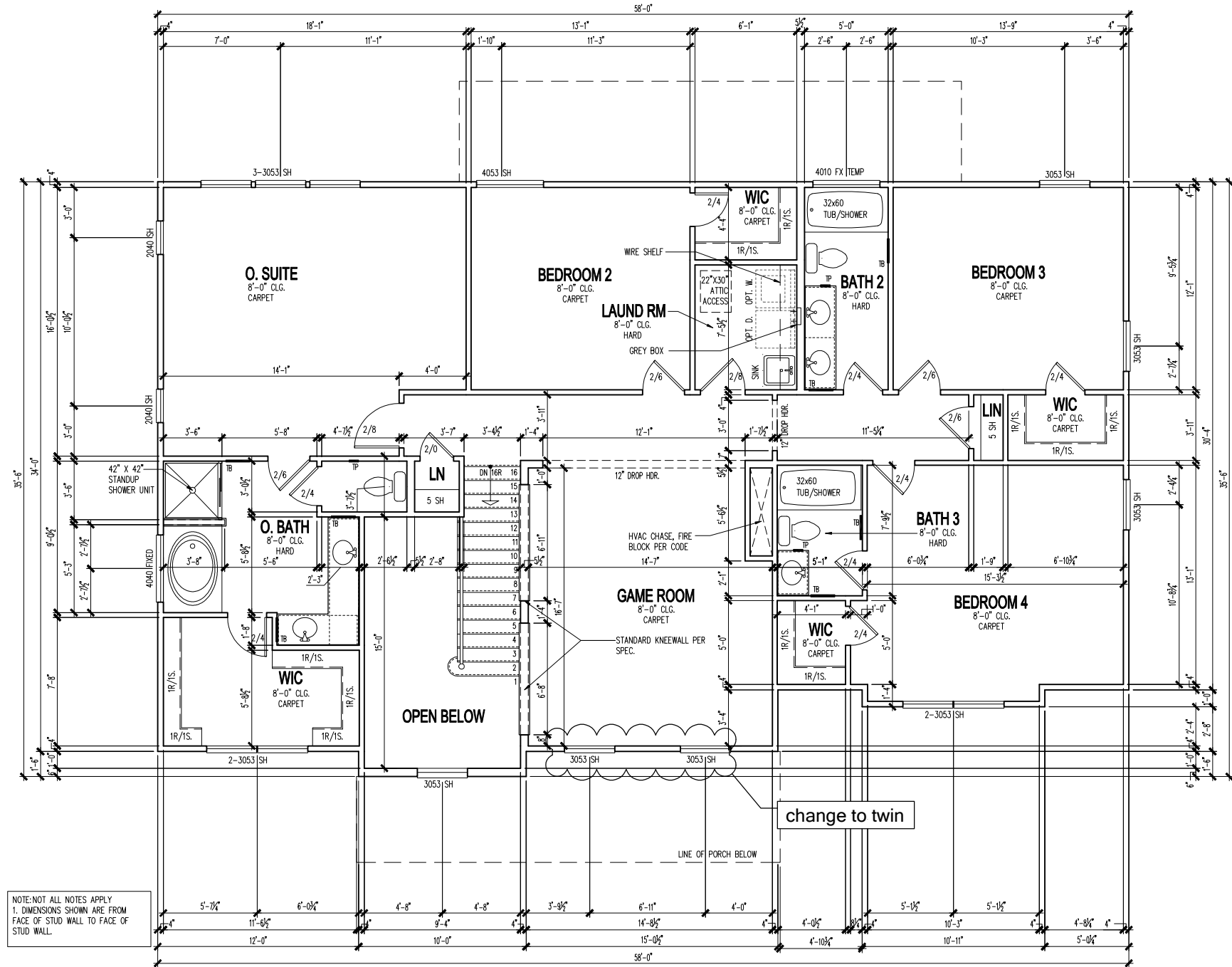


Second Floor Plan

[illegible]

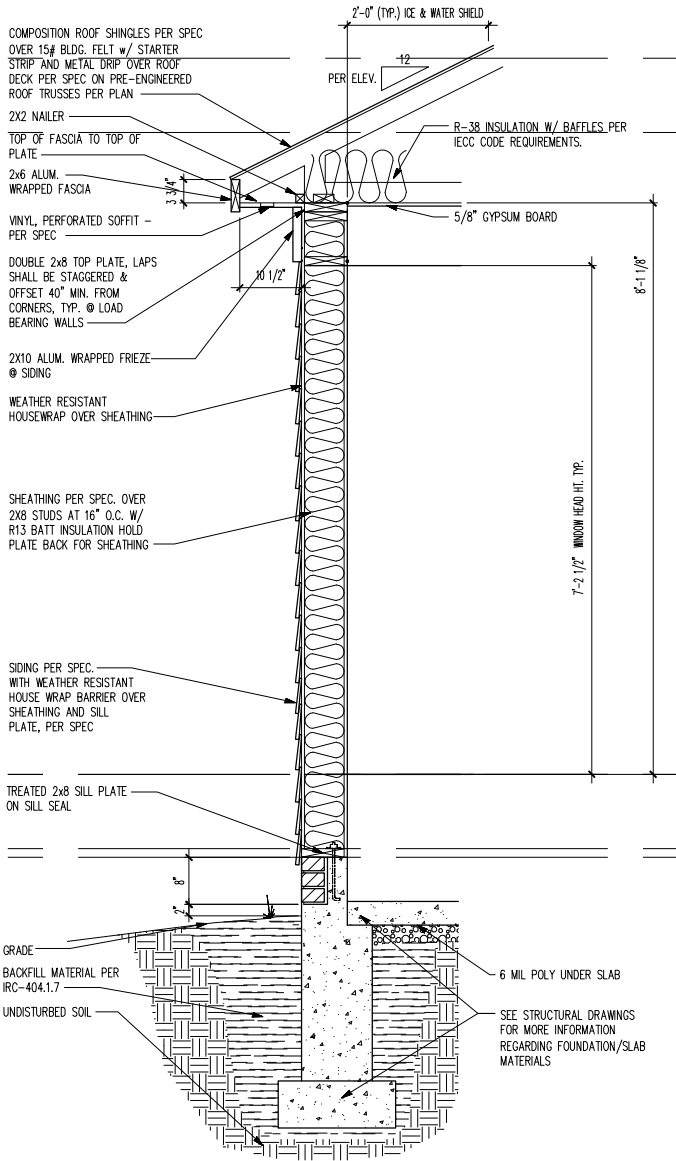
PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 82
LAWSON COMMUNITY ID	*****
GARAGE HANDING	GARAGE RIGHT
SPECIFICATION LEVEL	TBD
PLAN NAME	HOLBROOK
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	*****
LEGACY PLAN NUMBER / NAME	PLAN 3140

SHEET
2.20a



SECOND FLOOR PLAN

$$\overline{1/4^n} = 1^n - 0^n$$



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"

Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Typical Wall Sections

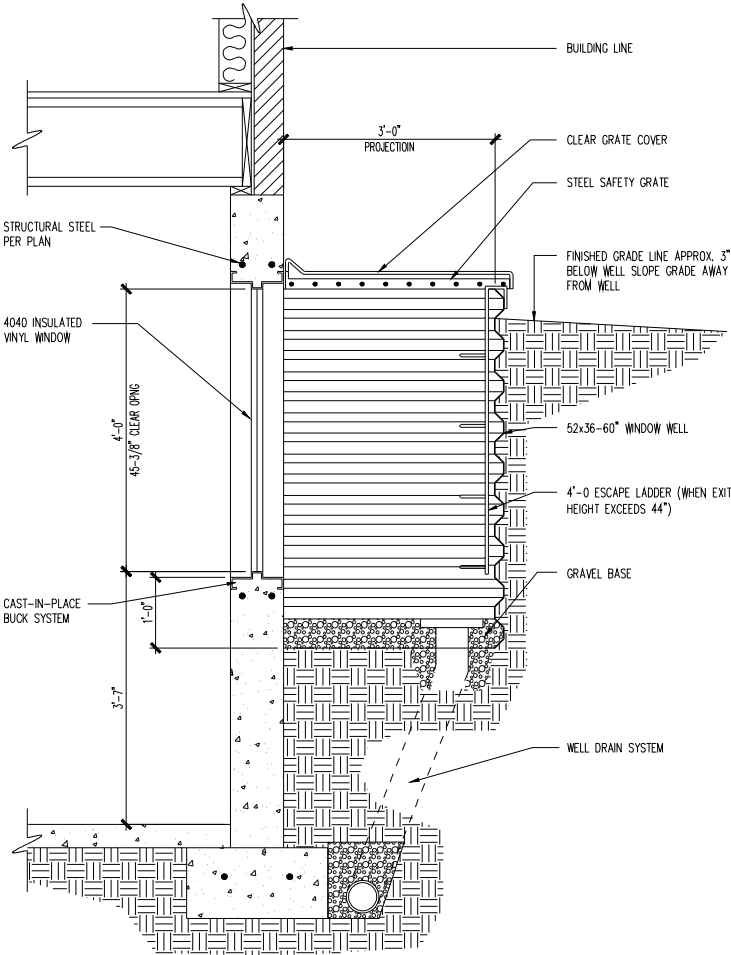
PRODUCTION MANAGER	
JAMEY HEINZMAN	
CURRENT RELEASE DATE: 05/23/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
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△	
△	
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△	

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 82
LAWSON COMMUNITY ID	---
GARAGE HANDING	GARAGE RIGHT
SPECIFICATION LEVEL	TBD
PLAN NAME	HOLBROOK
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3140

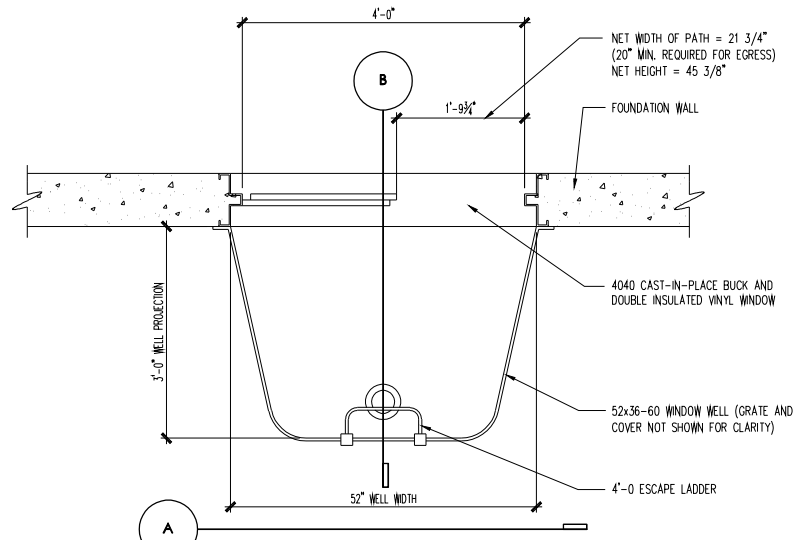
SHEET
 3.31b

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

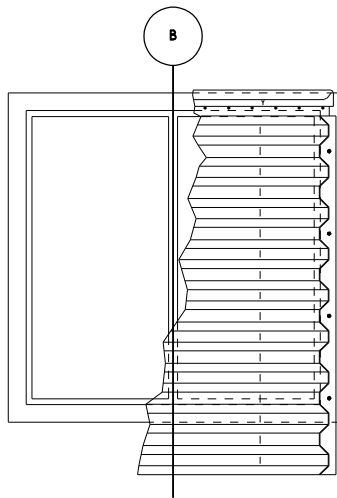
ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODOLCO, DESIGN - ARCHITECTS



TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" DETAIL SECTION



TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" PLAN VIEW



TYPICAL ESCAPE WINDOW WELL
 SC. 3/4" = 1'-0" ELEVATION

REV	DATE	DESCRIPTION
1	06/25/2015	UPDATE COL LOC
2	11/24/2015	UPDATE MISC
3		
4		
5		
6		
7		
8		
9		
10		

GARAGE HANDING

PLAN NAME
NPC PLAN NUMBER
LAWSON PLAN ID

SHEET
AD
3.7

PLOTTED: June 2, 2017 / Ricardo Salgado / PLAN-3140-RC-COVERING



OHIO DIVISION - LOT 82

River Oaks

HOLBROOK

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

- SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

- ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.
- MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

4 - MASONRY

- ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- MASONRY VENER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- PROVIDE ICE-SHIELD PER CODE
- ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

- WINDOW CALL OUT PER WINDOW SCHEDULE. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- FRONT DOOR WIDTH AS REQUIRED BY CODE
- GARAGE DOOR AS REQUIRED BY CODE
- EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

15 - MECHANICALS

- FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

16 - ELECTRICAL

- ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT WELP POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

- ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

- STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

- ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- ALL BEARING HEADERS TO BE 2 X 8 #2 OR EQUAL UNLESS NOTED OTHERWISE.
- ALL 2x10 & 2x12 HEADERS TO BE DOUGLAS FIR LARCH (NORTH) - #2 UNLESS NOTED OTHERWISE.
- ALL 2x8 HEADERS TO BE #2 UNLESS NOTED OTHERWISE.
- PROVIDE 1x4 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

WINDOW DATA:

SIMONTON WINDOWS PERFORMANCE DATA				
WINDOWS				
	R VALUE	U FACTOR	SHGC	VT
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.13	0.32	0.28	0.54
ARGON WITH GRIDS				
3/4" LOW-E/270 CLEAR	3.03	0.33	0.26	0.48
SLIDING GLASS DOORS				
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.45	0.29	0.29	0.57
ARGON WITH GRIDS				
3/4" LOW-E 270/CLEAR	3.23	0.31	0.26	0.50

LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
PLAN CENTER	55	4.40	5.20	2.20	2.10	
KITCHEN/NOOK	325	26.00	64.94	13.00	31.62	
GATHERING	287	22.96	46.30	11.48	19.80	
POWDER ROOM	36	N/A	5.20	39.6	50.00	
DEN	123	9.84	46.30	4.92	19.80	
DINING ROOM	161	12.88	24.80	6.44	10.60	
OWNER'S SUITE	274	21.92	66.20	10.96	26.60	
OWNER'S BATHROOM	104	N/A	12.40	114.40	150	
TOILET ENCLOSURE	15	N/A	N/A	16.5	50	
BEDROOM 2	158	12.64	16.30	6.32	6.90	
BEDROOM 3	166	13.28	23.40	6.64	9.80	
BEDROOM 4	205	16.40	35.10	8.20	14.70	
BATH 2	60	N/A	N/A	66.00	100.00	
GAME ROOM	242	19.36	23.40	9.68	9.80	

APPLICABLE CODES:

2006 RESIDENTIAL CODE OF OHIO
 2006 INTERNATIONAL PLUMBING CODE
 2006 INTERNATIONAL MECHANICAL CODE
 2008 NATIONAL ELECTRIC CODE
 2006 INTERNATIONAL FIRE CODE
 2006 INTERNATIONAL ENERGY CONSERVATION CODE

PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.00	FINISHED BASEMENT PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
6.10	FIRST FLOOR AND ELECTRICAL PLANS
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a1	FRONT ELEVATION "1" - FRONT AND REAR ELEVATIONS
7.01a2	FRONT ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN

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Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256



Cover Sheet
 Specifications & General Notes

PRODUCTION MANAGER
 JAMEY HEINZMAN
 CURRENT RELEASE DATE: 05/23/2017

REV #	DATE	DESCRIPTION
△		
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 82
 LANSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
 NRC PLAN NUMBER
TBD
 LANSON PLAN ID

 LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
0.00

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS