

APPROVED: _____ DATE _____
STAFF APPROVAL

APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____

CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	261.60'	500.00'	133.97'	258.82'	N14°33'31"E	30°00'00"
C2	15.05'	530.00'	7.52'	15.05'	N28°44'43"E	1°37'36"

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE

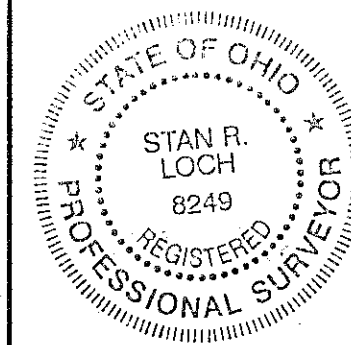
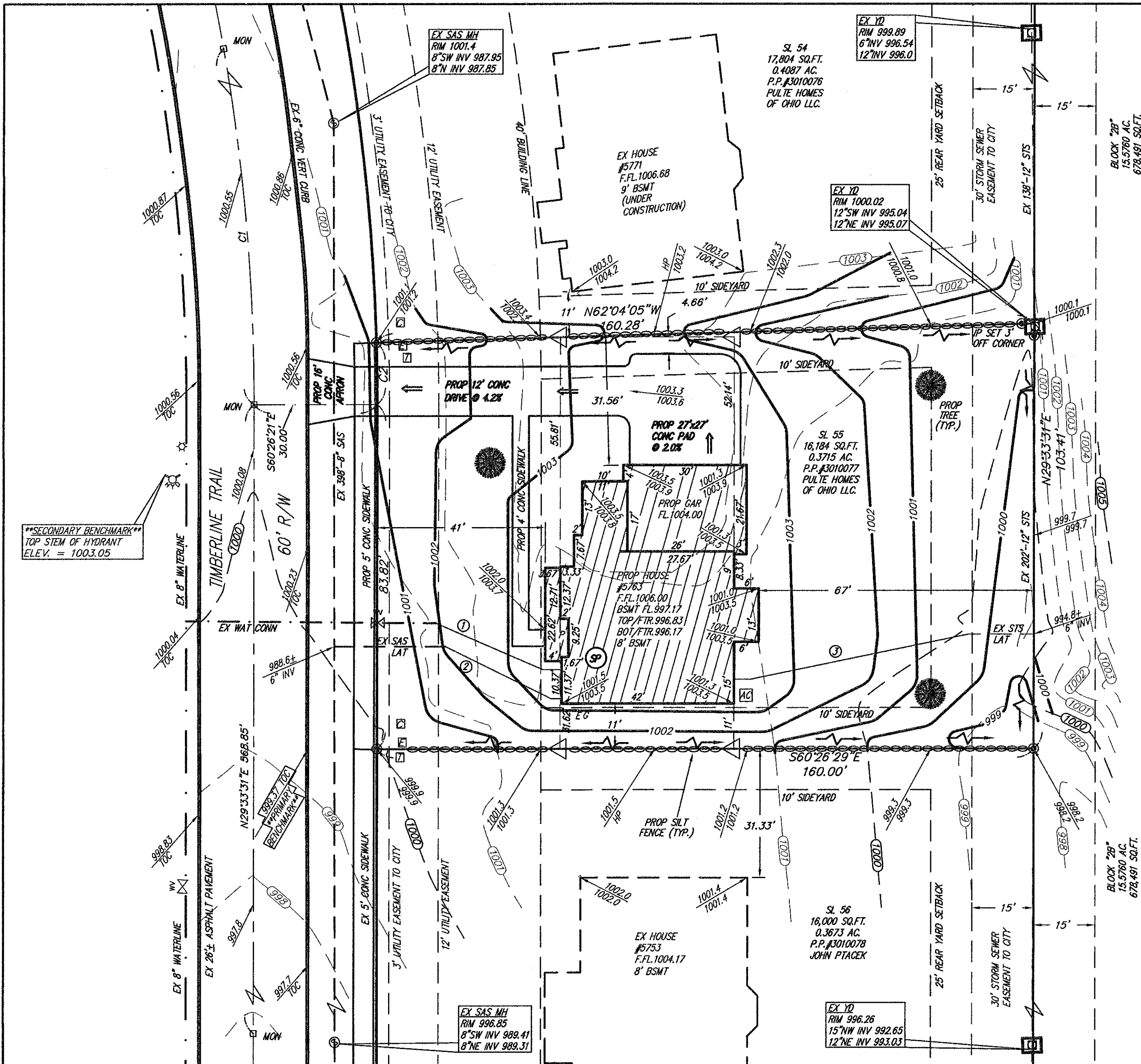
NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION

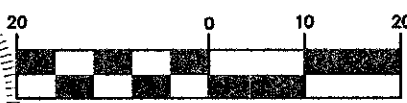
PRIMARY BENCHMARK
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLT'S 55/56
ELEV. = 999.37

SECONDARY BENCHMARK
TOP STEM OF HYDRANT
IN FRONT OF SUBLT'S 103/104
ELEV. = 1003.05

**THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.**



GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

DATE OF SURVEY:
JULY 13th, 2017

PERCENTAGE OF
LOT COVERAGE = 24.9%

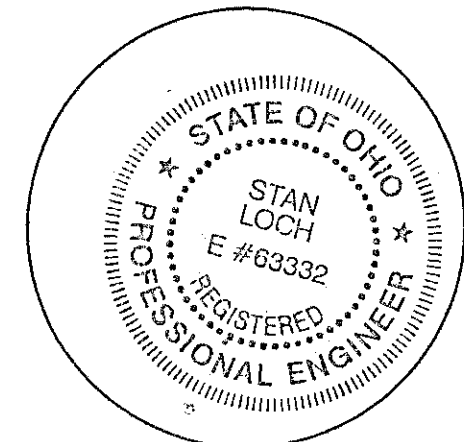
HOUSE COVERAGE = 2,577 SQ.FT.
DRIVEWAY COVERAGE = 1,862 SQ.FT.
WALKWAY COVERAGE = 210 SQ.FT.
TOTAL COVERAGE = 4,649 SQ.FT.

TYPE OF HOUSE:
PLAN# DRESSEN
ELEVATION: 2 W/8' BSMT
GAR: 3 CAR SIDE LEFT W/ FIREPLACE

- ① = PROP 1" WAT CONN
- ② = PROP 6" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6" PVC STS CONN @ 1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE
- = PROP MONUMENT
- = EX CURB INLET
- ⊙ = EX SANITARY MANHOLE
- ⊙ = IRON PIN SET 5/8"X30" REBAR CAPPED "AZTECH #8249"
- = EXISTING GRADE
- - - = PROPOSED GRADE
- ∞ = SILT FENCE
- ⊕ = EX HYDRANT
- ⊕ = EX WATER VALVE
- ⊕ = SUMP PUMP
- ⊕ = EX STORM MANHOLE
- = SWALE
- = FLOW ARROW
- ⊕ = ELECTRIC STUB
- ⊕ = CABLE PEDESTAL
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = TRANSFORMER BOX
- ⊕ = AIR CONDITIONER
- E = ELECTRIC CONNECTION
- G = GAS CONNECTION
- ▽ = OFFSET HUB
- ☆ = LIGHT POST
- = INLET PROTECTION



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

2-17-17
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

ENGINEERING and SURVEYING
Civil Engineering · Land Surveying

SHEET CONTENT

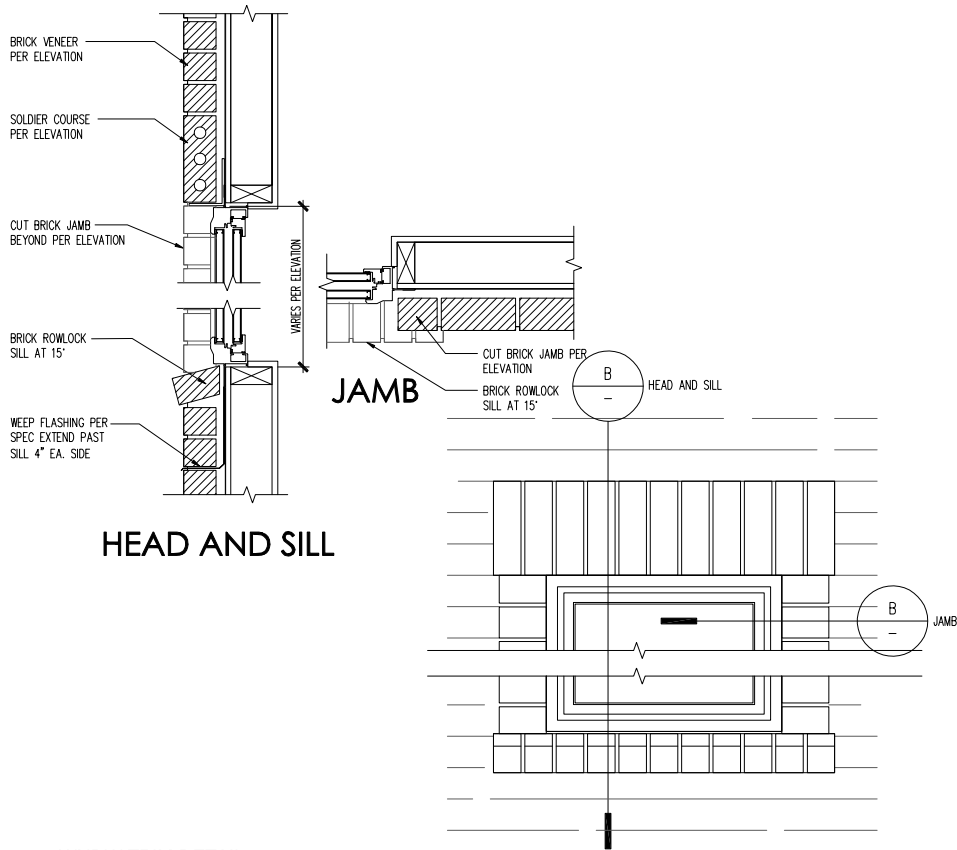
SITE PLAN
FOR
PULTE HOMES
SUBLT 55
5763 TIMBERLINE TRAIL
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH.2
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE		VERT. SCALE	
1" = 20'		1" = 20'	
DRAWN BY		DATE	
KEG		7-17-2017	
CHECKED BY		DRAWING NO	
SRL		River Oaks 2	
JOB NO		SHEET	
20142977-2		1 OF 1	

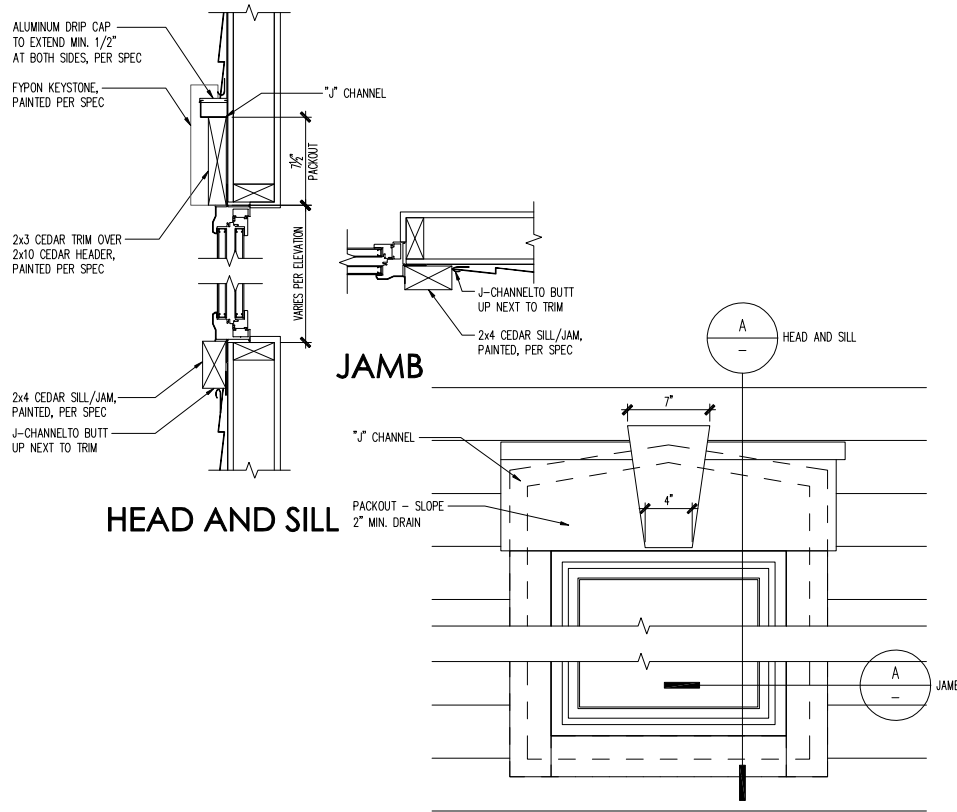
B WNDW TRIM DETAIL

SCALE: 1 1/2"=1'-0"



A WNDW TRIM DETAIL

SCALE: 1 1/2"=1'-0"



ENGINEER OF RECORD: MULHORN & KULP, ENGINEERING
 ARCHITECT OF RECORD: GODOUCO, DESIGN — ARCHITECTS

SHEET

7.02a2

PLAN NAME
DRESDEN
 NPS PLAN NUMBER
1760
 LARSON PLAN ID
PLAN 3627

SPECIFICATION LEVEL
TBD

GARAGE HANDING
GARAGE LEFT

COMMUNITY NAME
RIVER OAKS
LOT 55
 LARSON COMMUNITY ID

PROJECT TYPE
SINGLE FAMILY

REV #	DATE	DESCRIPTION
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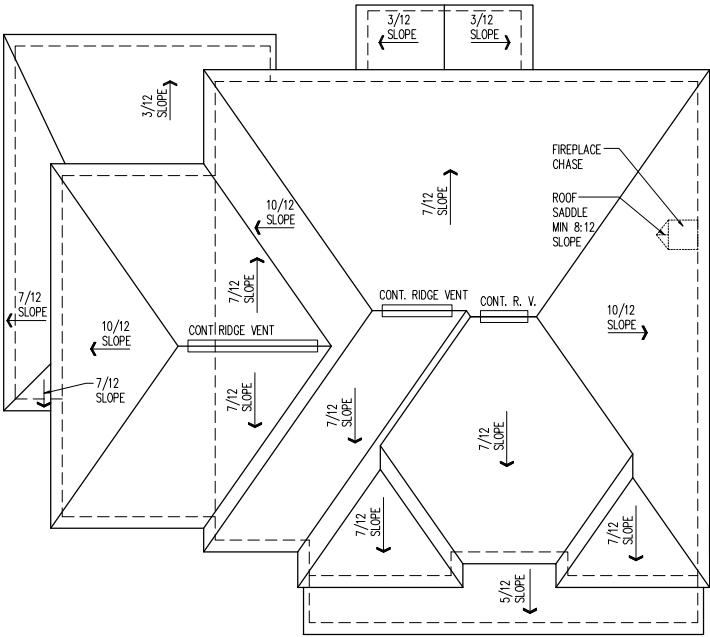
PRODUCTION MANAGER
 Jamey Heinzman
 CURRENT RELEASE DATE: 07/12/2017

Front Elevation - 2
 Front and Rear Elevations

Pulte Homes

Cleveland Division
 387 Medina Rd. Suite 1700
 Medina, OH 44256

ATTIC VENTILATION SCHEDULE												
2 ELEVATION	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF			N/A		
	LOC	AREA	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	165	0.275	0.94	1729	2.88	5.88	336	0.56	1.31			
	EAVE	0.275	0.94		2.88	4.89		0.56	1.31			
TOTAL			0.55	1.88		5.76	10.77	1.12	2.62			



ROOF PLAN
SCALE 1/8" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



RIGHT ELEVATION

SCALE 1/4" = 1'-0"

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Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256



Front Elevation - 2
Side Elevations and Roof Plan

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 07/12/2017	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 55
LANSON COMMUNITY ID

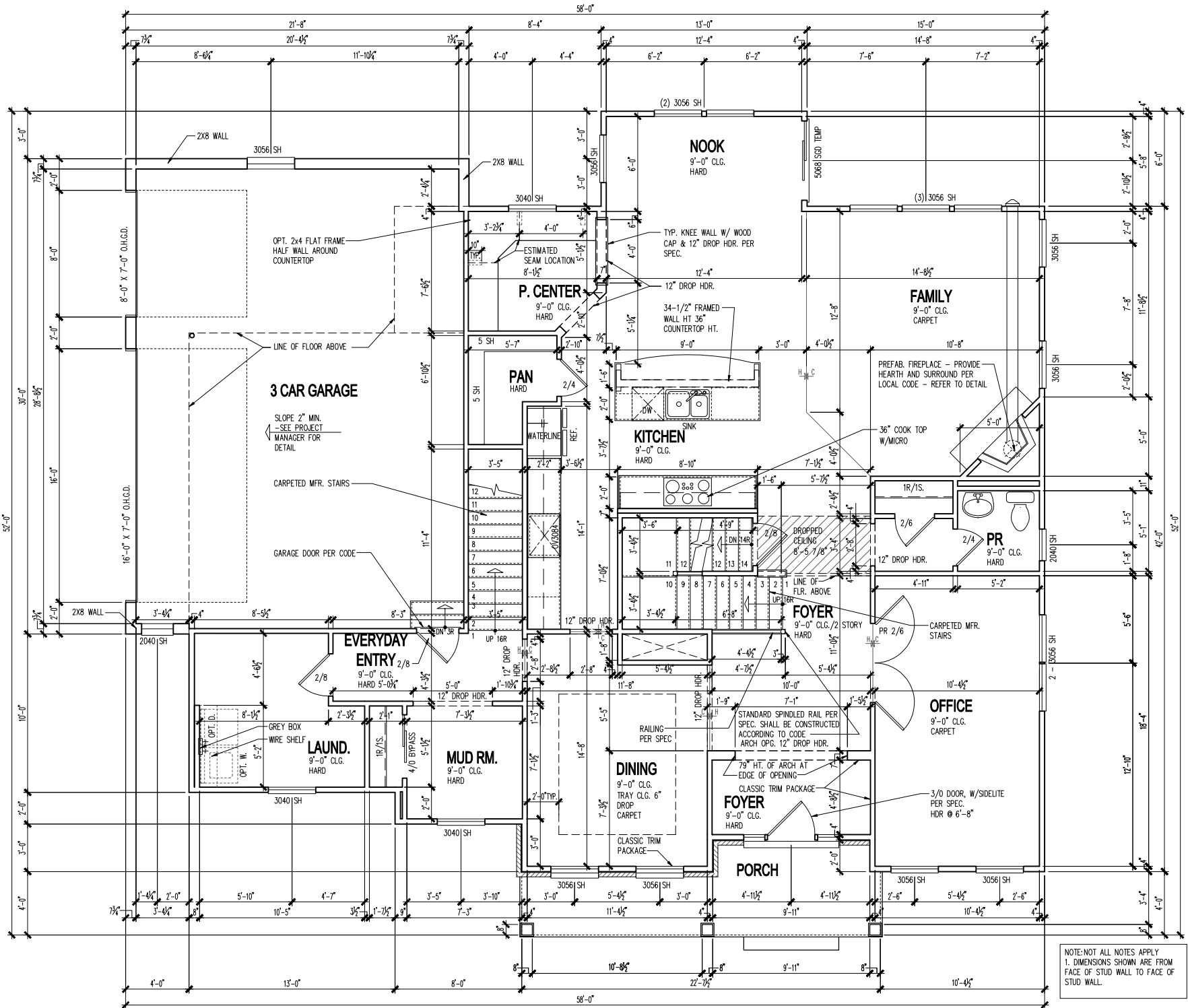
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPG PLAN NUMBER
1760
LANSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3627

SHEET
7.02a3





FIRST FLOOR PLAN

1/4" = 1'-0"

PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 07/12/2017	
REV #	DATE / DESCRIPTION
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△	
△	
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT
55
LAWSON COMMUNITY ID

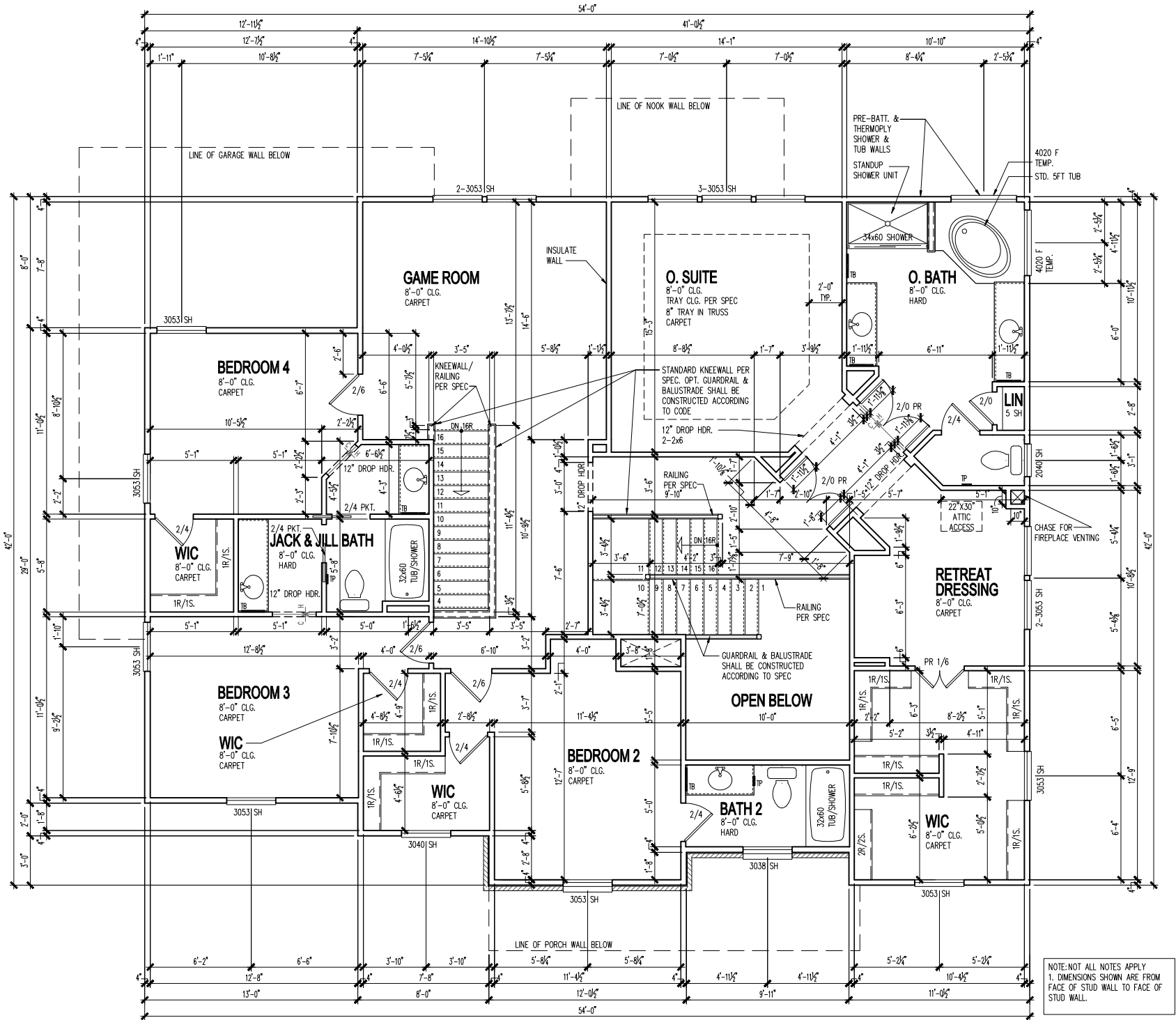
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPC PLAN NUMBER
1760
LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3627

SHEET
2.10a



PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 07/12/2017	
REV #	DATE / DESCRIPTION
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 55
LAWSON COMMUNITY ID

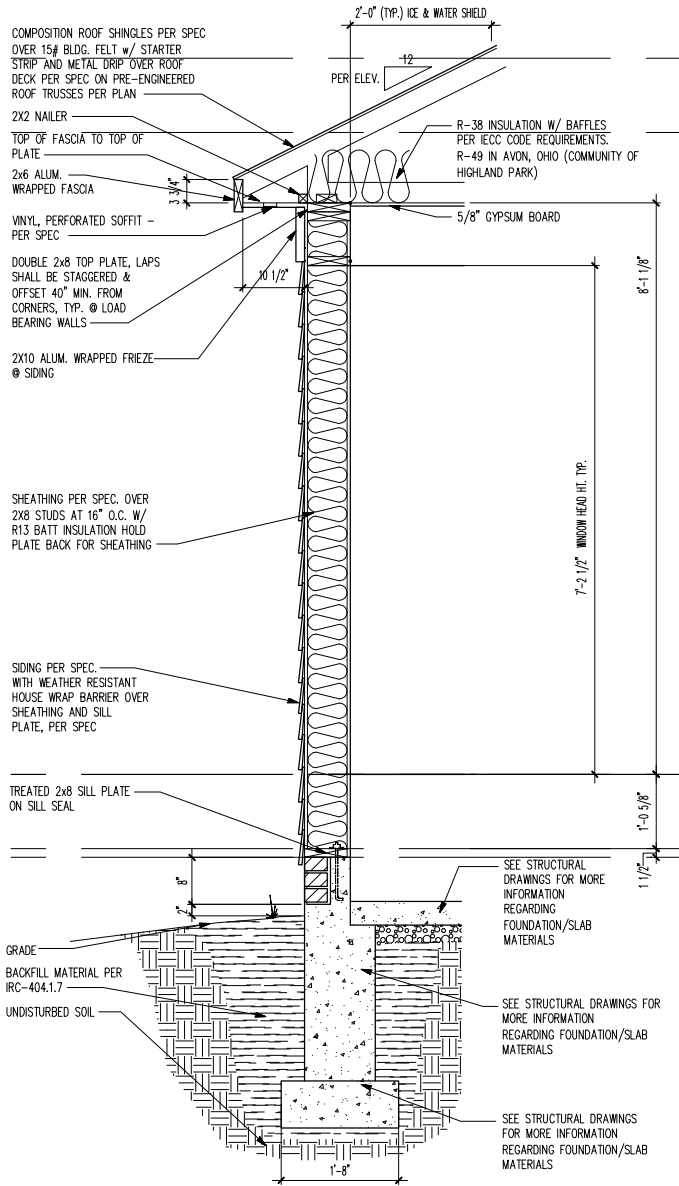
GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
DRESDEN
NPC PLAN NUMBER
1760
LAWSON PLAN ID

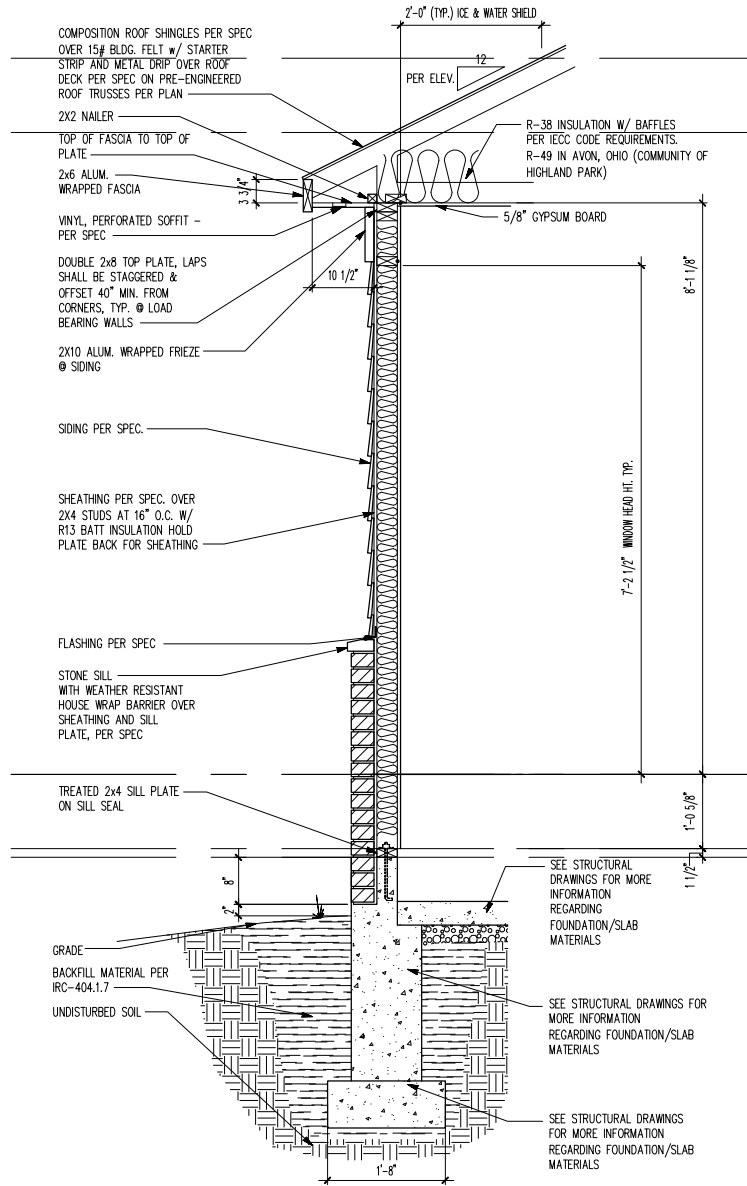
LEGACY PLAN NUMBER / NAME
PLAN 3627

SHEET
2.20a



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"

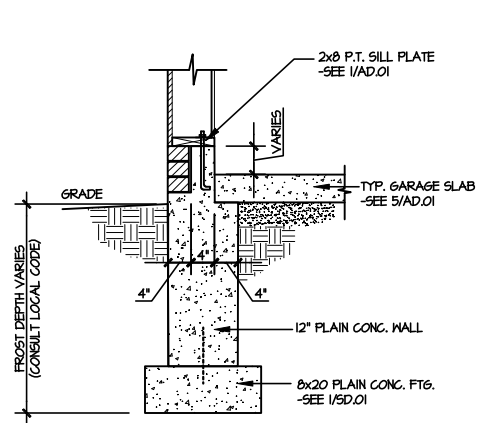


TYPICAL WALL SECTION - garage w/ 2x4 wall w/ brick wainscot

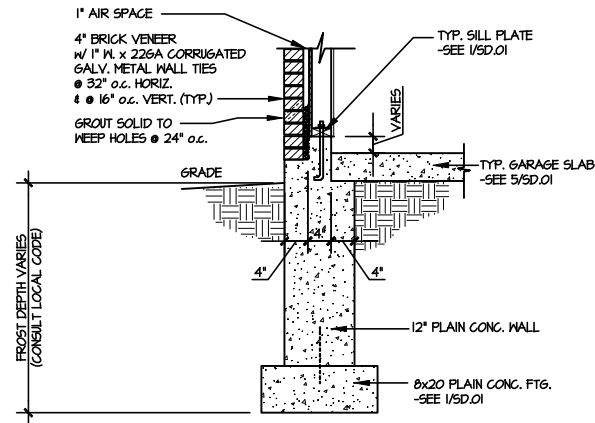
SCALE 1/2" = 1'-0"

PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 07/12/2017	
REV #	DATE / DESCRIPTION
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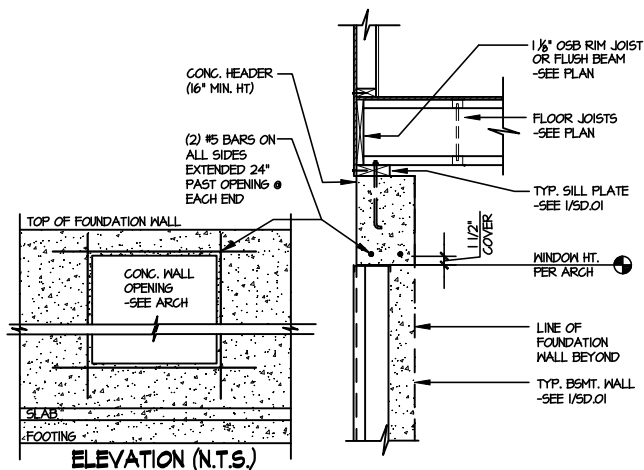
PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 55
LANSON COMMUNITY ID	---
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	DRESDEN
NPG PLAN NUMBER	1760
LANSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3627



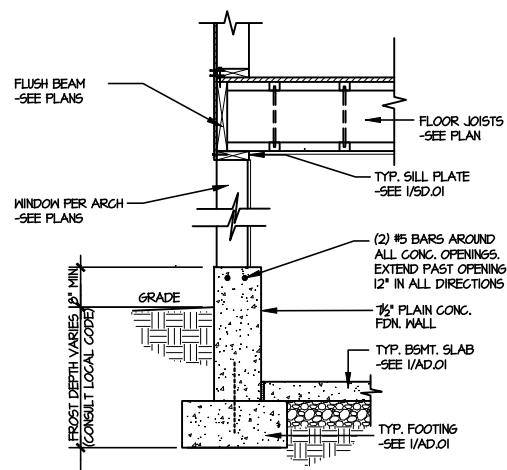
9 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"
W/ GRADE BRICK
W/ 4" LEDGE



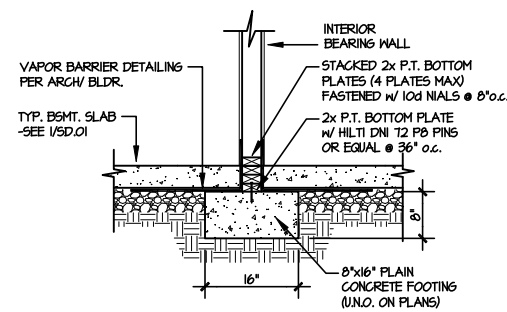
10 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"
W/ BRICK VENEER



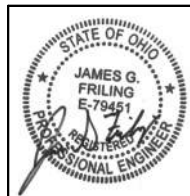
14 TYPICAL CONCRETE HEADER @ BASEMENT
SCALE: 3/4"=1'-0"
@ EXPOSED WINDOW



14 TYPICAL BASEMENT FOUNDATION @ WINDOW
SCALE: 3/4"=1'-0"
@ TYP. BASEMENT WINDOW



15 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL
SCALE: 3/4"=1'-0"



20 South Maple St., Suite 150 • Ambler, Pa 19002
Telephone: 215-646-8001 Fax: 215-646-8310
www.mulhernkulp.com

MULHERN & KULP
STRUCTURAL ENGINEERING
Residential • Commercial

ENGINEER OF RECORD: MULHERN & KULP
ARCHITECT OF RECORD: PULTE GROUP

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

Basement
Typical Foundation Details

REV #	DATE	DESCRIPTION
△		
△		
△		
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△		
△		
△		
△		

PROJECT TYPE SINGLE FAMILY
COMMUNITY NAME _____
LAWSON COMMUNITY ID _____
GARAGE HANDING _____
SPECIFICATION LEVEL _____
PLAN NAME _____
NPC PLAN NUMBER _____
LAWSON PLAN ID _____
LEGACY PLAN NUMBER / NAME _____

SHEET
SD.02

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Cleveland Division
387 Medina Road, Suite 1700
Medina, OH 44256





OHIO DIVISION LOT - 55

RIVER OAKS

DRESDEN

1 - GENERAL BUILDING & DESIGN REQUIREMENTS

1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.

2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.

3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.

4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.

5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

2 - SITE CONSTRUCTION

1) SOIL BEARING CALCULATIONS BASED ON 3000 PSF MIN

2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

3 - CONCRETE

1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.

2) SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.

3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.

4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.

5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.

6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.

7) CALCULATIONS FOR COLUMN PADS BASED ON 3000 PSF SOIL BEARING.

4 - MASONRY

1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS

2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.

3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.

4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

5 - METALS

6 - WOOD AND PLASTICS

7 - THERMAL & MOISTURE PROTECTION

1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.

3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE

4) PROVIDE ICE-SHIELD PER CODE

5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.

6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

8 - DOORS AND WINDOWS

1) WINDOW CALL OUT PER WINDOW SCHEDULE. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER

2) REVIEW ALL WINDOW HOR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS

3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS

4) FRONT DOOR WIDTH AS REQUIRED BY CODE

5) GARAGE DOOR AS REQUIRED BY CODE

6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).

2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.

3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE

4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

WALLS:

1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.

2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS. ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

FLOORS:

1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE

2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE

3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

FRAMING:

1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.

2) ALL BEARING HEADERS TO BE 2 X 8 HEM-FIR #2 OR EQUAL UNLESS NOTED OTHERWISE.

3) ALL 2x10 & 2x12 HEADERS TO BE HEM-FIR - #2 UNLESS NOTED OTHERWISE.

4) ALL 2x8 HEADERS TO BE HEM-FIR-#2 UNLESS NOTED OTHERWISE.

5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.

6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).

7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.

8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.

9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

ROOF:

1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.

2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

SQUARE FOOTAGE INDEX:

DESCRIPTION OF AREA

AREA

ELEVATION 2

FIRST FLOOR

1775 SQ. FT.

SECOND FLOOR

1938 SQ. FT.

ANSI STAIR

N/A SQ. FT.

TOTAL

3713 SQ. FT.

GARAGE

635 SQ. FT.

PORCH 1

110 SQ. FT.

TOTAL AREA UNDER ROOF

2521 SQ. FT.

UNFINISHED BASEMENT

1662 SQ. FT.

LIGHT & VENT CALCULATIONS:

ROOM

SQ. FT.

LIGHT REQ'D

LIGHT SUPP

VENT REQ'D

VENT SUPP

NOTES

FIRST FLOOR

PLANNING CENTER

58

4.56

9.80

2.28

4.00

GATHERING ROOM

238

18.24

68.50

9.12

29.50

KITCHEN/NOOK

396

31.84

58.90

15.92

29.80

DINING ROOM

168

13.44

27.40

6.72

11.80

OFFICE

190

15.20

27.40

7.60

11.80

POWDER ROOM

26

N/A

N/A

1.12

50.00

SECOND FLOOR

GAME ROOM

216

17.28

35.10

8.64

15.00

OWNER'S SUITE

209

16.72

35.10

8.36

15.00

RETREAT/DRESS

107

8.56

23.40

4.28

10.00

BEDROOM 2

171

13.68

23.40

6.84

10.00

BEDROOM 3

153

12.24

23.40

6.84

10.00

BEDROOM 4

132

10.56

11.70

5.28

5.00

OWNER'S BATH

141

N/A

25.20

155.10

200.00

TOILET ENCLOSURE

18

N/A

N/A

19.8

50.00

BATH 2

86

N/A

N/A

94.60

100.00

BATH 3

51

N/A

8.50

56.10

60.00

OPT. BEDROOM 5

156

12.48

27.40

6.24

11.80

LOUNGE

114

9.12

27.40

4.56

11.80

OFFICE W/LOUNGE

73

5.84

27.40

2.92

11.80

EXT. GATHER. RM

286

22.88

68.50

11.44

29.50

BATH 1

45

N/A

5.20

49.50

50.00

Control Date

Rev #

Date

Pages

Comments

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LOTTER: July 12, 2017 / Ricardo Sotolongo / PLAN-3627-RO-COMPLING

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S-1.3	FOUNDATION/FIRST FLOOR FRAMING PLAN
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S-2.1	SECOND FLOOR FRAMING PLAN
S-2.2	SECOND FLOOR FRAMING PLAN
S-2.3	SECOND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
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S-3.3	ROOF FRAMING PLAN
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SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING
ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS

Cleveland Division

387 Medina Rd. Suite 1700
Medina, OH 44256

Pulte Homes

Cover Sheet

Specifications & General Notes

PROJECT TYPE

SINGLE FAMILY

COMMUNITY NAME

RIVER OAKS LOT 55

LAWSON COMMUNITY ID

GARAGE HANDING

GARAGE LEFT

SPECIFICATION LEVEL

TBD

PLAN NAME

DRESDEN

NPG PLAN NUMBER

1760

LAWSON PLAN ID

LEGACY PLAN NUMBER / NAME

PLAN 3627

SHEET

0.00

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