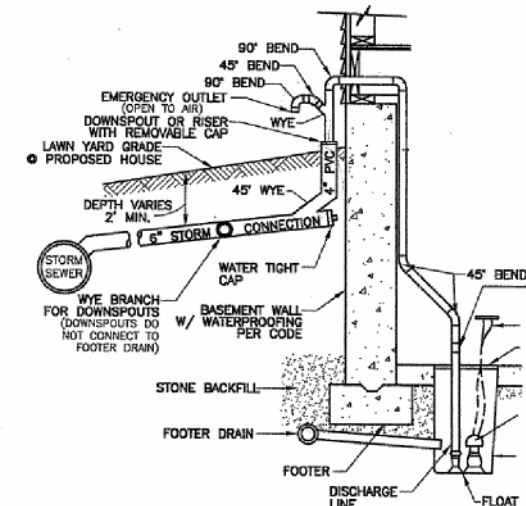


SHEET INDEX	
ID	Name
C.000	SITE PLAN
A.1.00	FOUNDATION PLAN
A.1.00	FIRST FLOOR PLAN
A.1.0.1	SECOND FLOOR PLAN
A.2.00	ELEVATIONS
A.2.0.1	ELEVATIONS
A.2.0.2	GARAGE ELEVATIONS
A.3.0	WALL SECTION

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A.2.00	ELEVATIONS
A.2.0.1	ELEVATIONS
A.2.0.2	GARAGE ELEVATIONS
A.3.0	WALL SECTION



STORM CONNECTION &
OVERFLOW DETAIL
NOT TO SCALE

*SURVEY NOTE:
EXISTING TOPOGRAPHIC DATA
PROVIDED BY CULP SURVEYING, LLC.*

OVERHEAD LINE NOTE:
ANY PROPOSED STRUCTURES
MUST MAINTAIN A 20'
CLEARANCE FROM THE EXISTING
OVERHEAD POWER LINE.

LEGEND

PR.=PROP.=PROPOSED
EX.=EXISTING

 TREE TO BE REMOVED



☒ PR. CONC. DRIVE

 PR. GRAVEL DRIVE

FIN 1st FLR. = 1097.67'
TOP/WALL = 1096.67'
PORCH = 1096.17'
BASEMENT FLR. = 1089.00'
BOTTOM/FOOTER = 1088.00'

CONTRACTOR NOTE:
EXCAVATING CONTRACTOR SHALL
REFER TO ARCHITECTURAL
BUILDING PLANS FOR ACTUAL
DIMENSIONS BETWEEN FLOORS &
BOTTOM OF FOOTER, WALL
SECTIONS, UNEXCAVATED AREAS,
& FOUNDATION WINDOW OPENINGS.

$$SWALE = \frac{\text{PROPOSED GRADE}}{\text{existing grade}} \times \text{DRAINAGE FLOW/SWALE}$$


 DENOTES: CONSTRUCT
 CLAY BULKHEAD DAM IN
 ALL UTILITY TRENCHES

 BENCHMARK:
EX. HYDRANT
ELEV=1092.75'

1. GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE. ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL GRADE.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT. ALL AREAS MUST MAINTAIN A MINIMUM SLOPE OF 1%.
3. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING UTILITY LINES. ALL UTILITY CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE FOR MORE INFORMATION.
5. CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
6. NO LAWN AREAS TO BE MOVED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
7. SUMP PUMP REQUIRED. DESIGN & LOCATION TO BE DETERMINED BY BUILDER.
8. NO DETERMINATION OF THE PRESENCE OF OR PROTECTION TO BE PERFORMED BY LEADS LAND PROFESSIONALS.
9. THIS DRAINING DOES NOT CONSTITUTE A DRAINAGE DESIGN.
10. A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL BE PLACED WITHIN THE STORM & SEWER LINE. THE BULKHEAD SHALL BE LEVEL OF THE STONE BACKFILL ABOVE THE PIPE.

Foundation dimensions shown are for rough field layout only, see Architectural House Plans for all dimensions.
The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.

DATE:	DESCRIPTION:	BY:
07/12/17	PRELIMINARY	SVL
07/17/17	FINAL	JLS
07/18/17	ADD NOTES, FINALIZE	JLS



**TWO WORKING DAYS
BEFORE YOU DIG**
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OHIO UTILITIES PROTECTION SERVICE

147 Elm Street

*Situated in the City of Hudson and known as
being Sublot 21 within Chamberlin's Plat of Lots
PPN 3201375*



Lewis Land Professionals, Inc.

Civil Engineering & Surveying
8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
Phone:(330) 335-8232 Fax: (330) 335-0242
www.landprosinc.com

PROJ. No. 17-279 DRAWING NAME 17-279.dwg

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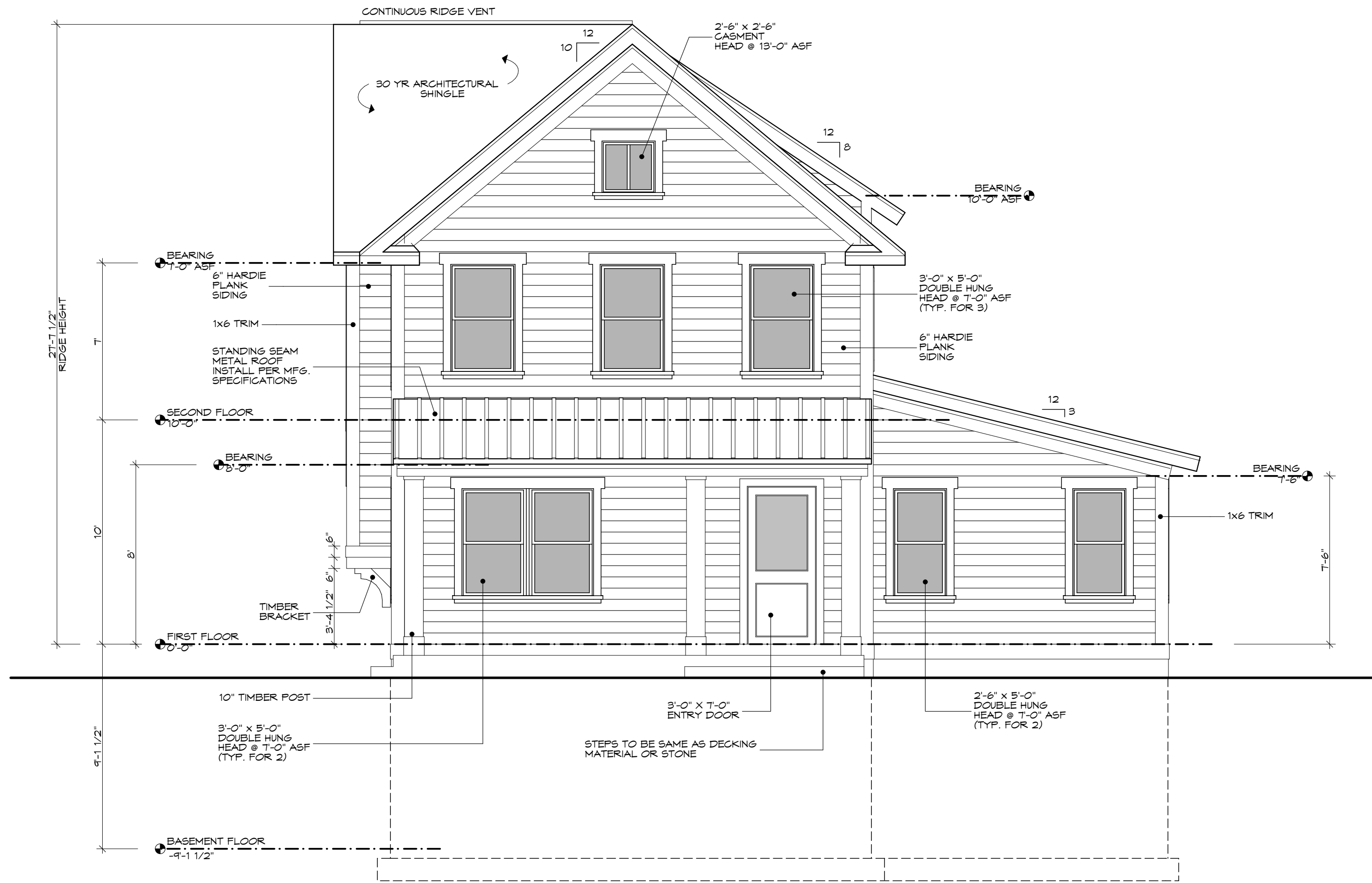
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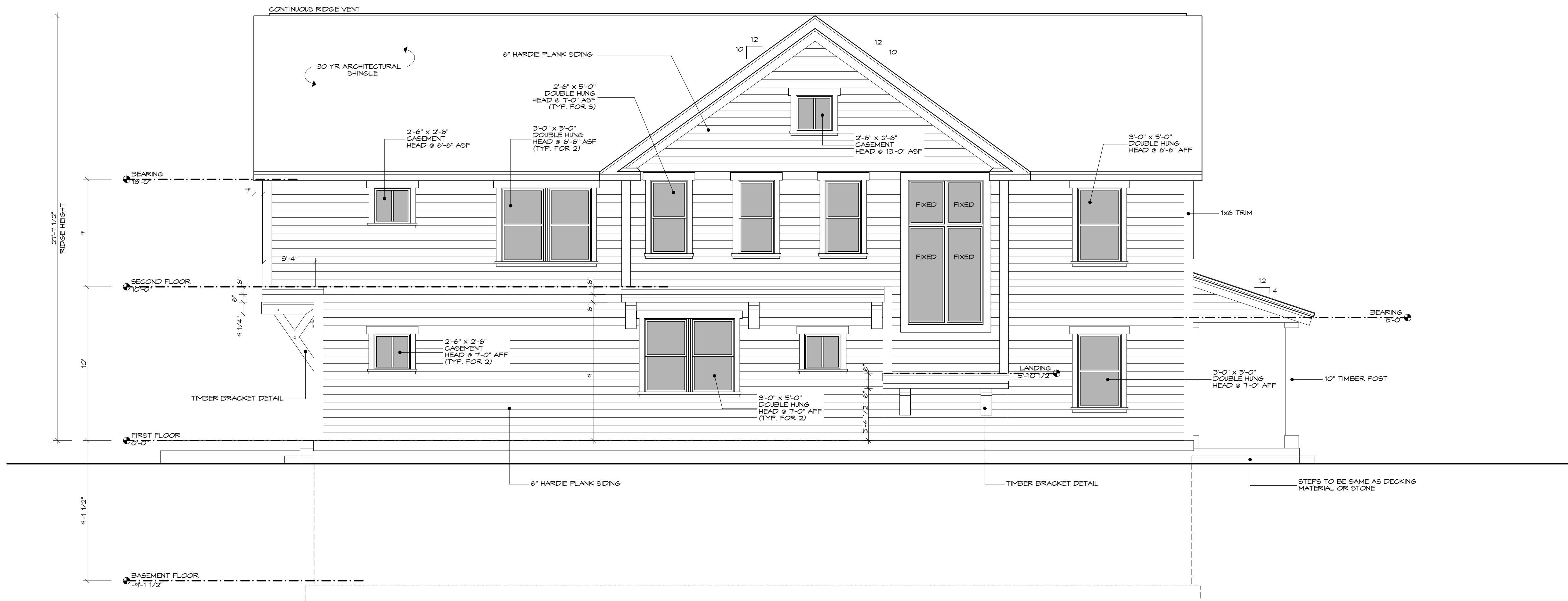
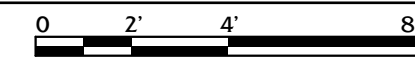
SITE PLAN

C.000

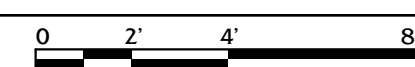
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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

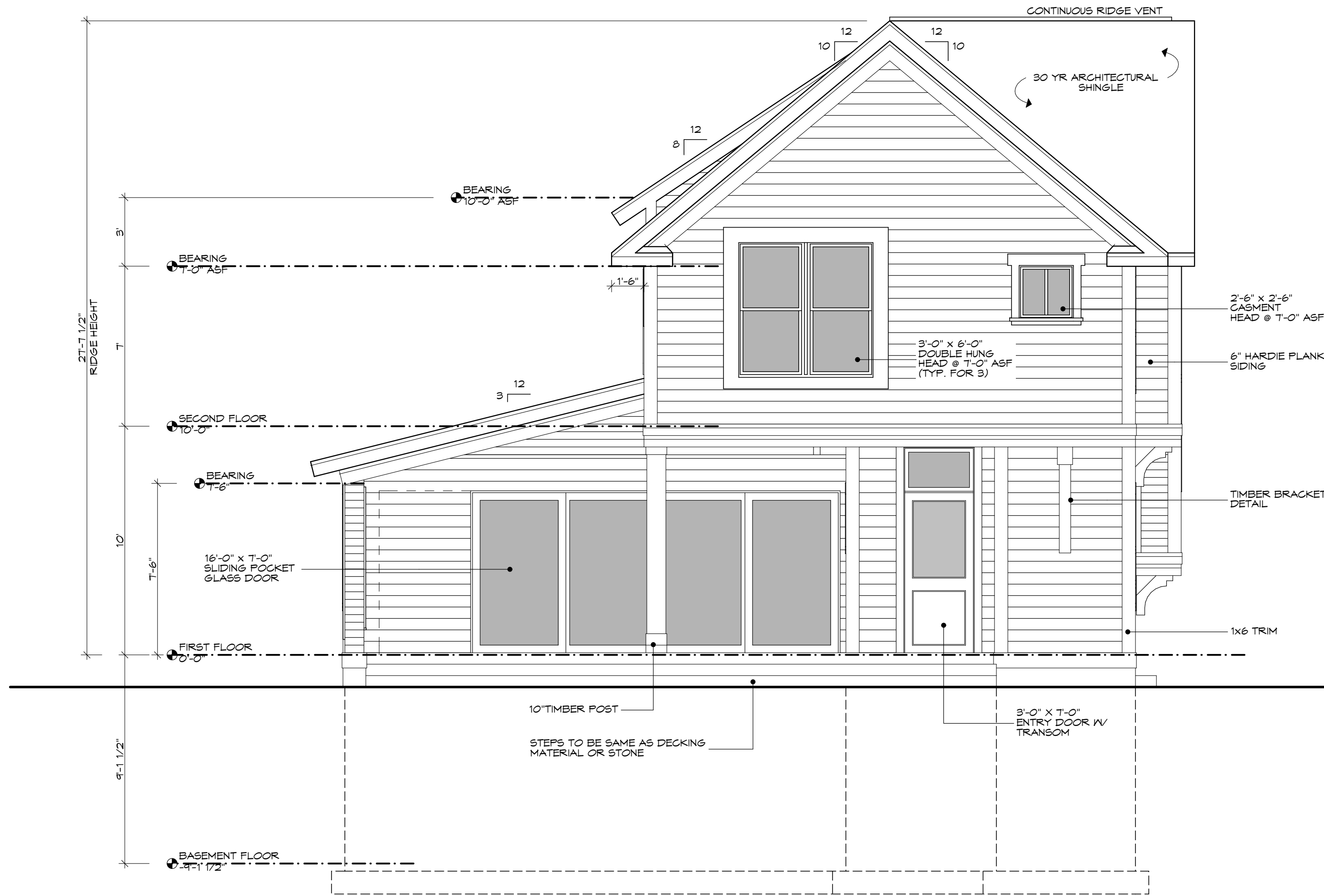


2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

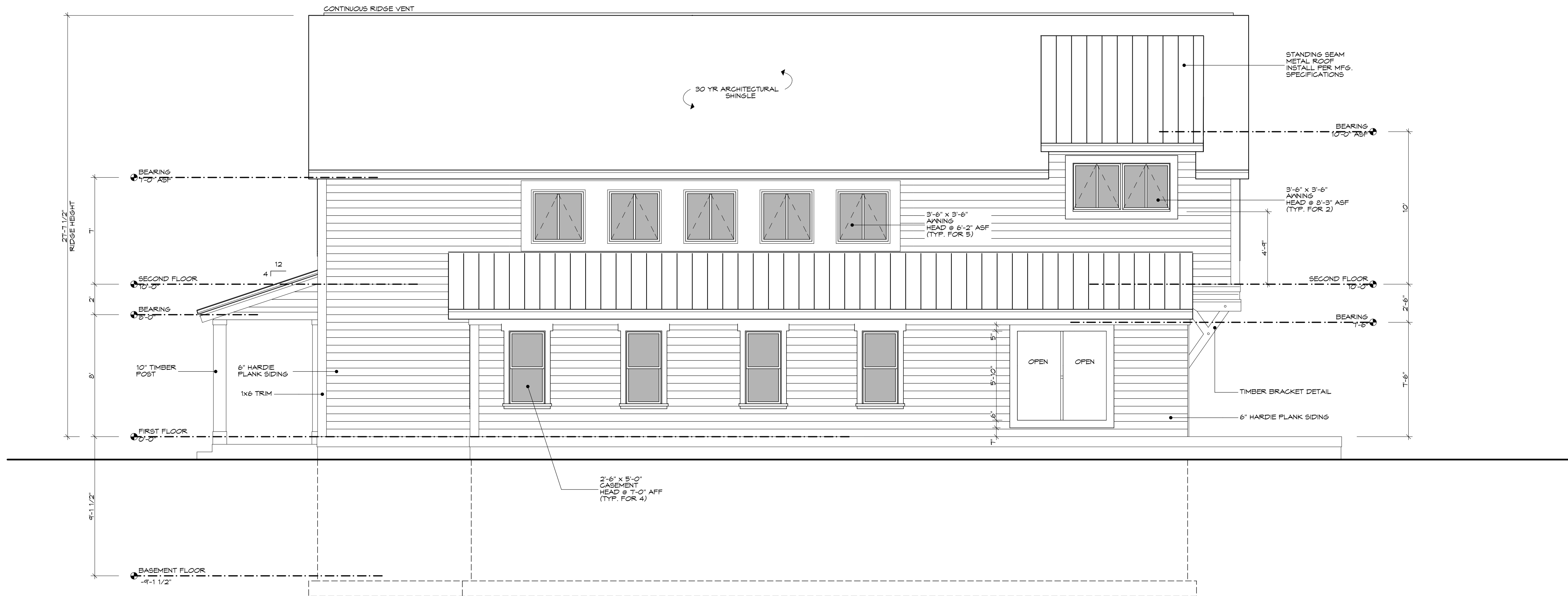
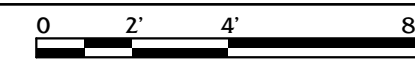


DATE	ISSUE
5/25/17	DESIGN DEVELOPMENT
7/17/17	FOR REVIEW
8/7/17	REVISED FOR REVIEW

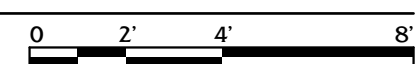
SCALE	AS NOTED
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2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



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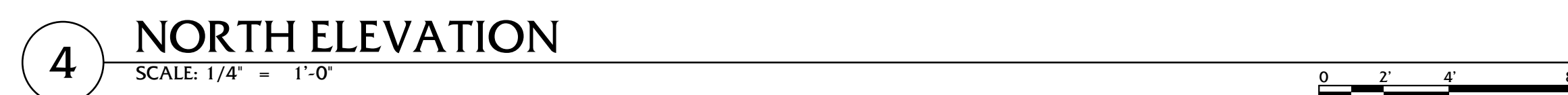
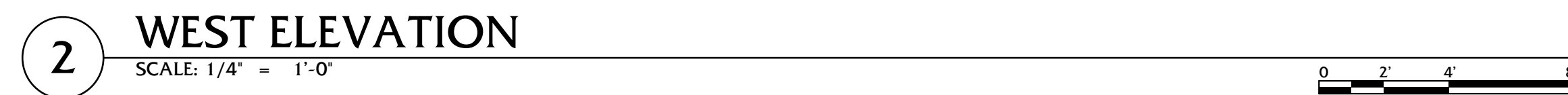
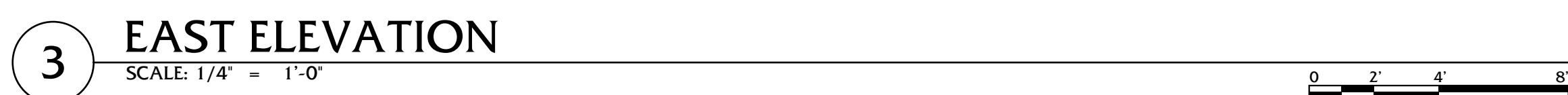
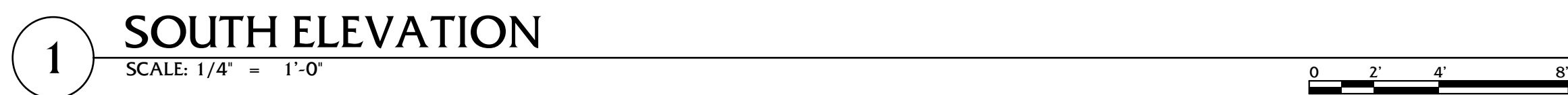
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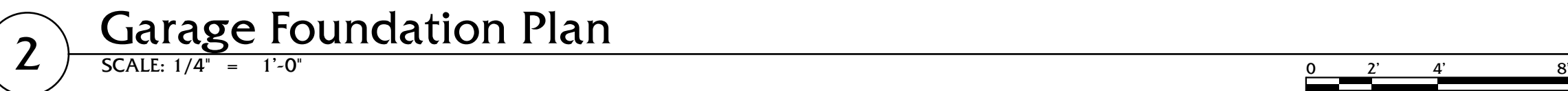
DATE	ISSUE
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8/7/17	REVISED FOR REVIEW

SCALE AS NOTED

ELEVATIONS

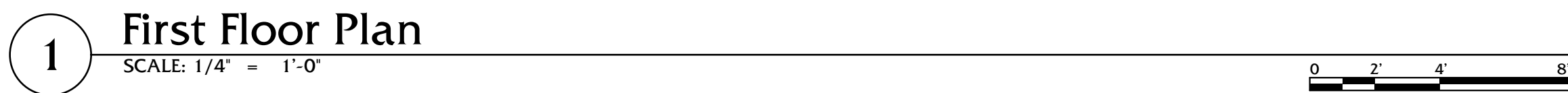
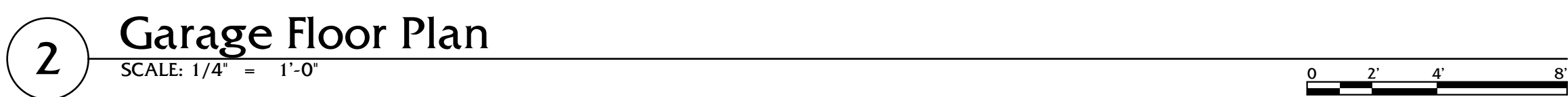
A2.01





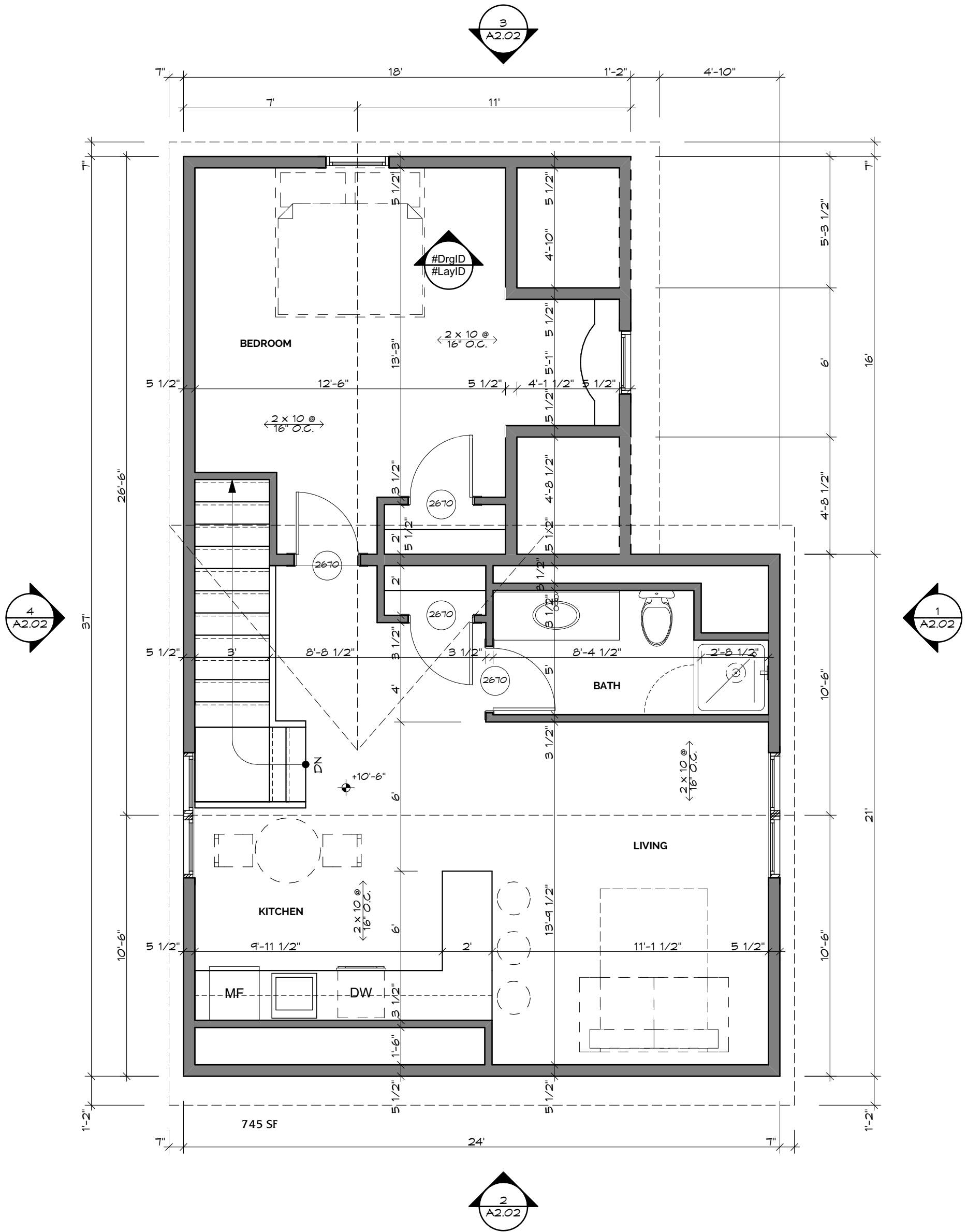
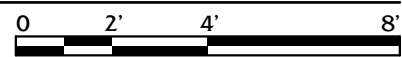
FOUNDATION PLAN

A 1.00



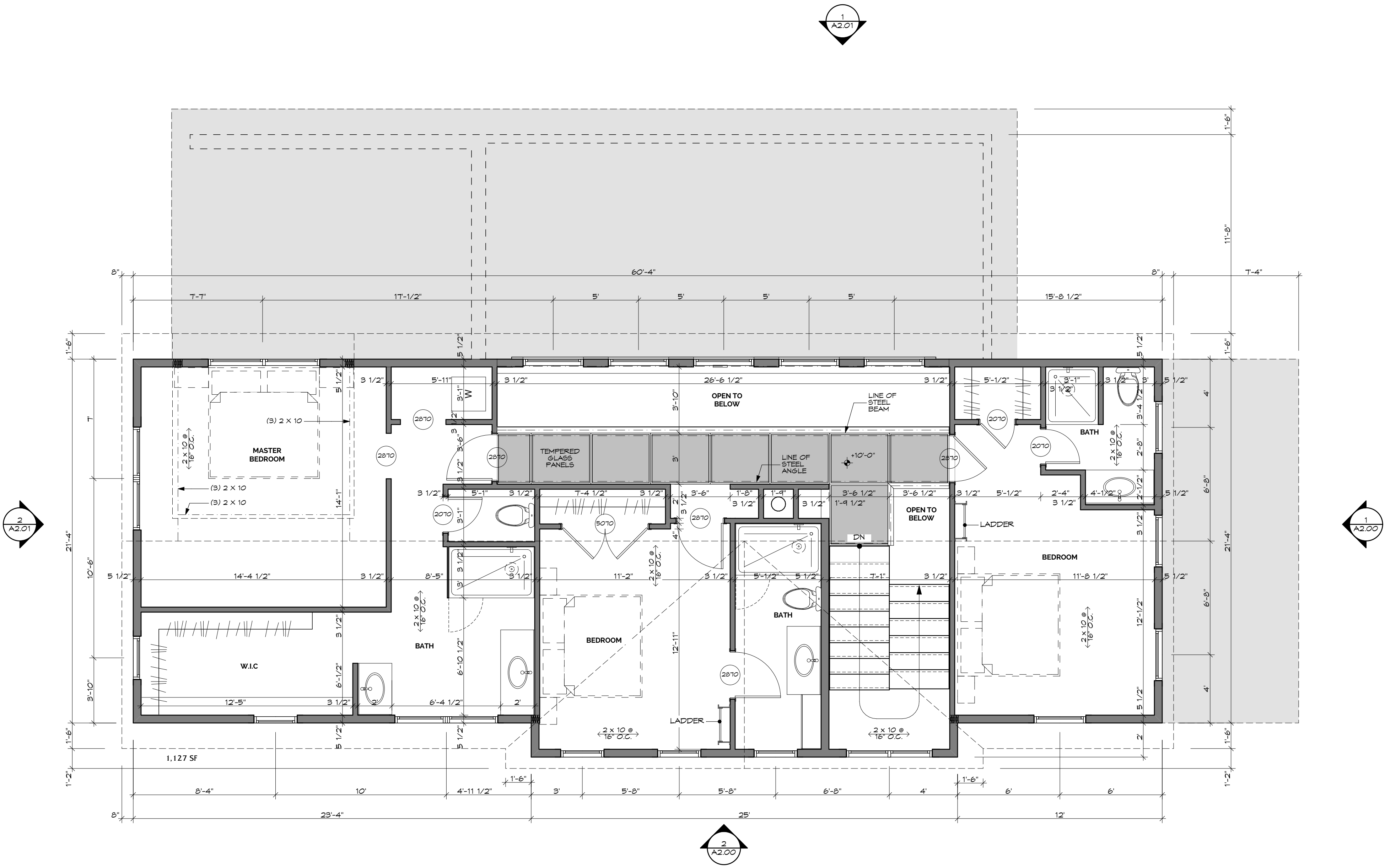
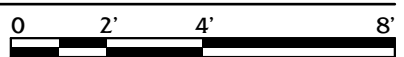
2 Garage Second Floor Plan

SCALE: 1/4" = 1'-0"



1 Second Floor Plan

SCALE: 1/4" = 1'-0"



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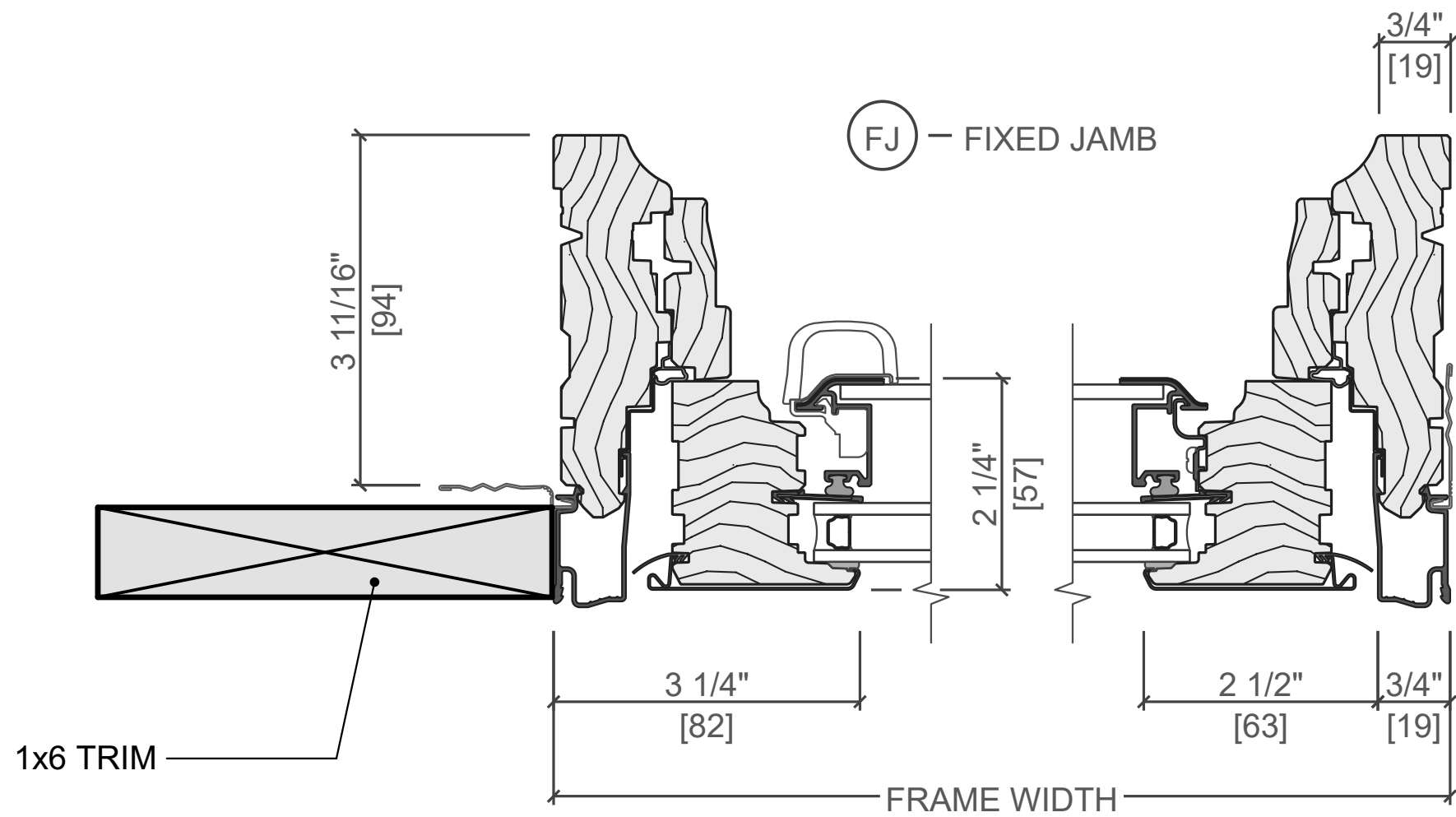
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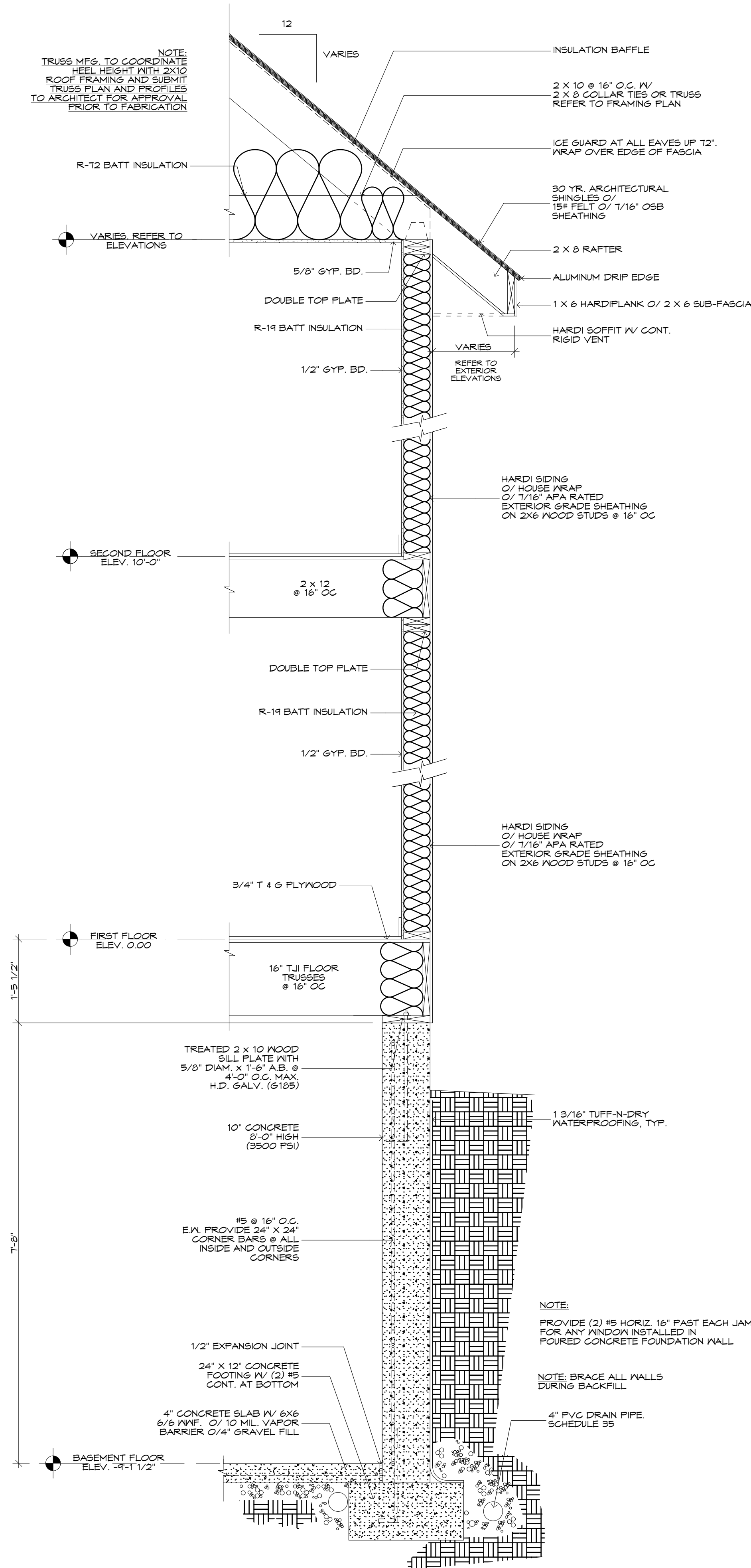
SECOND FLOOR
PLAN

A1.01

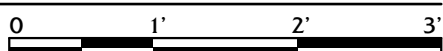


2 Window Trim
SCALE: 1:0.42

NOTES:
WINDOWS AND DOORS TO BE ALUMINUM
WOOD CLAD, MANUFACTURER: PELLA,
ANDERSEN, OR EQUAL ALTERNATE.



1 Wall Sections
SCALE: 3/4" = 1'-0"



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WALL SECTION

A3.0