

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
STAFF APPROVAL

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
ENGINEERING DEPT. APPROVAL

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
LANDSCAPE ARCHITECT APPROVAL

HUDSON

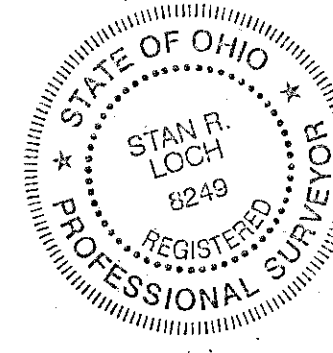
ENGINEERING DEPARTMENT  
☐ Approved  
☒ Approved, as noted  
☐ Rejected

Approved By Anthony Calabro  
10:17 am, Dec 20, 2017

BUILDER: PULTE HOMES OF OHIO, LLC.  
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256  
PHONE: 330-239-1587

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
PHONE: \_\_\_\_\_

NOTE:  
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY  
CERTIFICATION ONCE SET AND PRIOR TO THE  
COMPLETION OF HOME CONSTRUCTION



NOTE:  
FINAL LOCATION OF (3) TREES  
TO BE DETERMINED AND INSTALLED  
BY PURCHASER IN COMPLIANCE  
WITH CITY OF HUDSON LAND  
DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:  
SUMMIT COUNTY GEODETIC MONUMENT HU 118  
STATE PLAN COORDINATE  
N 572,745.649  
E 2,250,912.641  
ELEVATION = 1006.912 NAVD 1988

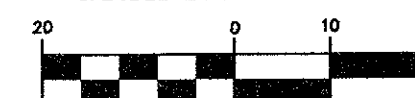
NOTES:  
DOWNSPOUTS TO BE CONNECTED TO  
STORM SEWER CONNECTION  
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:  
PURCHASER TO INSTALL  
MINIMUM OF 3 TREES  
PER MUNICIPAL REQUIREMENTS

NOTE:  
PURCHASER TO INSTALL LANDSCAPING PER CITY  
OF HUDSON LANDSCAPING REQUIREMENTS.

NOTE:  
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO  
MORE THAN 6" ABOVE FINISHED GRADE

GRAPHIC SCALE



( IN FEET ) 1 inch = 20 ft.

PERCENTAGE OF  
LOT COVERAGE = 24.7%

HOUSE COVERAGE = 2,116 SQ.FT.  
DRIVEWAY COVERAGE = 1,797 SQ.FT.  
WALKWAY COVERAGE = 185 SQ.FT.  
TOTAL COVERAGE = 4,098 SQ.FT.

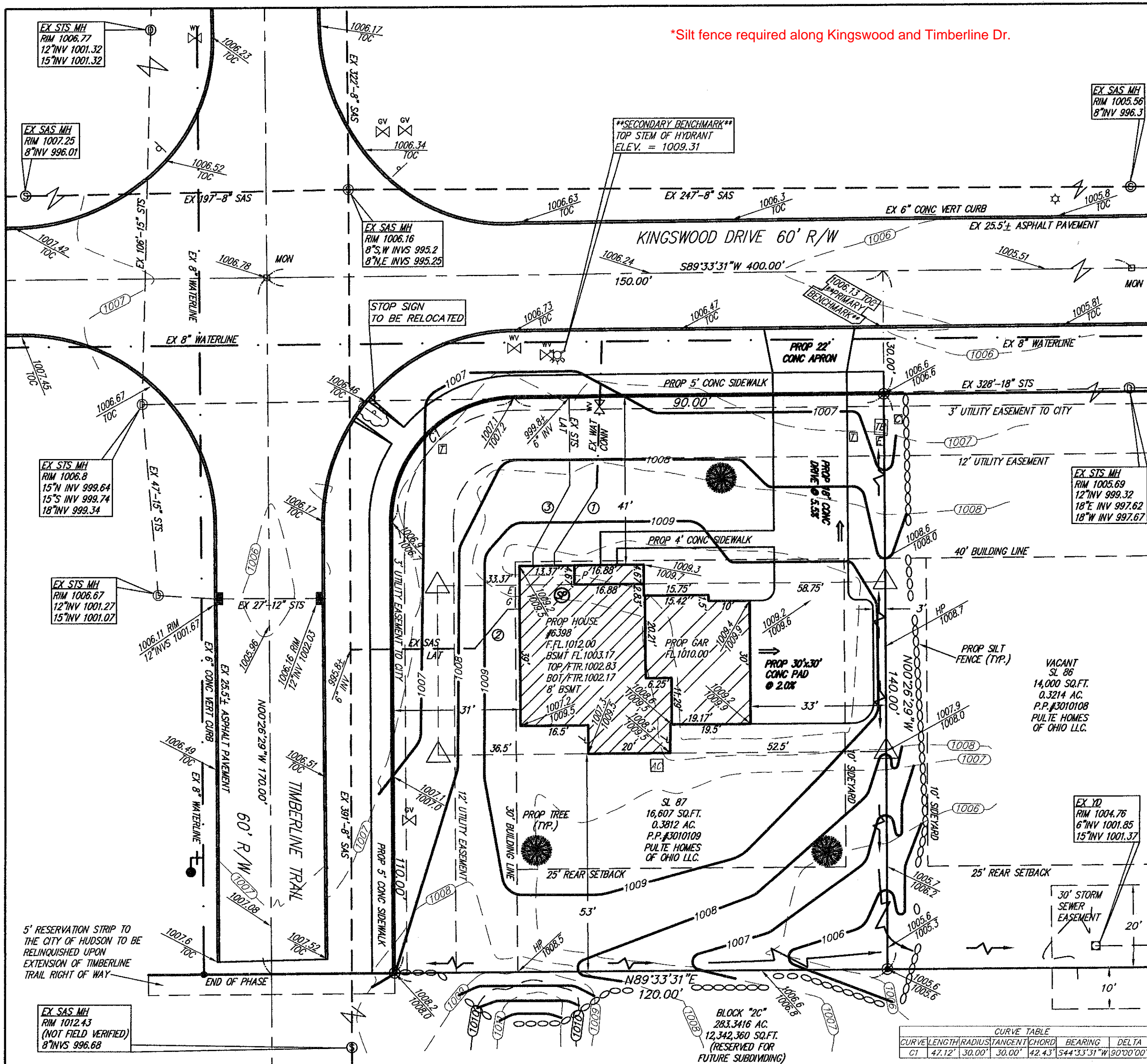
DATE OF SURVEY:  
NOVEMBER 15th, 2017

TYPE OF HOUSE:  
PLAN# CRAWFORD  
ELEVATION: 1  
GAR: 3 CAR SIDE LEFT W/8' BASEMENT,  
FIREPLACE & GUEST SUITE OPTION

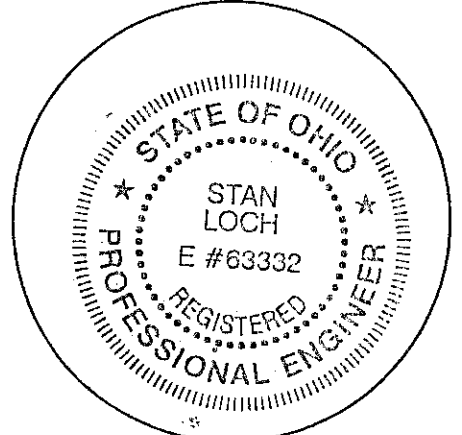
- ① = PROP 1" WAT CONN  
② = PROP 6" PVC SAS CONN @  
1.0% MIN 10% MAX  
③ = PROP 6" PVC STS CONN @  
1.0% MIN 10% MAX

LEGEND:

- = PROPOSED TREE  
□ = EX MONUMENT  
■ = EX CURB INLET  
⊕ = EX SANITARY MANHOLE  
□ = EX YARD DRAIN  
⊙ = IRON PIN SET  
5/8"x30" REBAR  
CAPPED "AZTECH #8249"  
EXISTING GRADE  
PROPOSED GRADE  
∞ = PROP SILT FENCE  
□ = INLET PROTECTION  
⊗ = EX HYDRANT  
⊕ = EX WATER VALVE  
⊙ = SUMP PUMP  
⊕ = EX STORM MANHOLE  
— = SWALE  
→ = FLOW ARROW  
⊕ = ELECTRIC STUB  
⊕ = CABLE PEDESTAL  
⊕ = TELEPHONE PEDESTAL  
⊕ = TRANSFORMER BOX  
⊕ = AIR CONDITIONER  
E = ELECTRIC CONNECTION  
G = GAS CONNECTION  
▽ = OFFSET HUB  
⊕ = EX SIGN  
⊕ = GAS VALVE



CURVE TABLE			
CURVE	LENGTH	RADIUS	TANGENT
C1	47.12'	30.00'	42.43'



I CERTIFY THAT THIS PLAN WAS  
PREPARED BY ME AND IS CORRECT TO  
THE BEST OF MY KNOWLEDGE AND  
BELIEF.

11-29-17  
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12  
VALLEY VIEW, OHIO 44125  
440-602-9071

AZTECH  
FAX 216-369-0259

ENGINEERING and SURVEYING  
Civil Engineering · Land Surveying

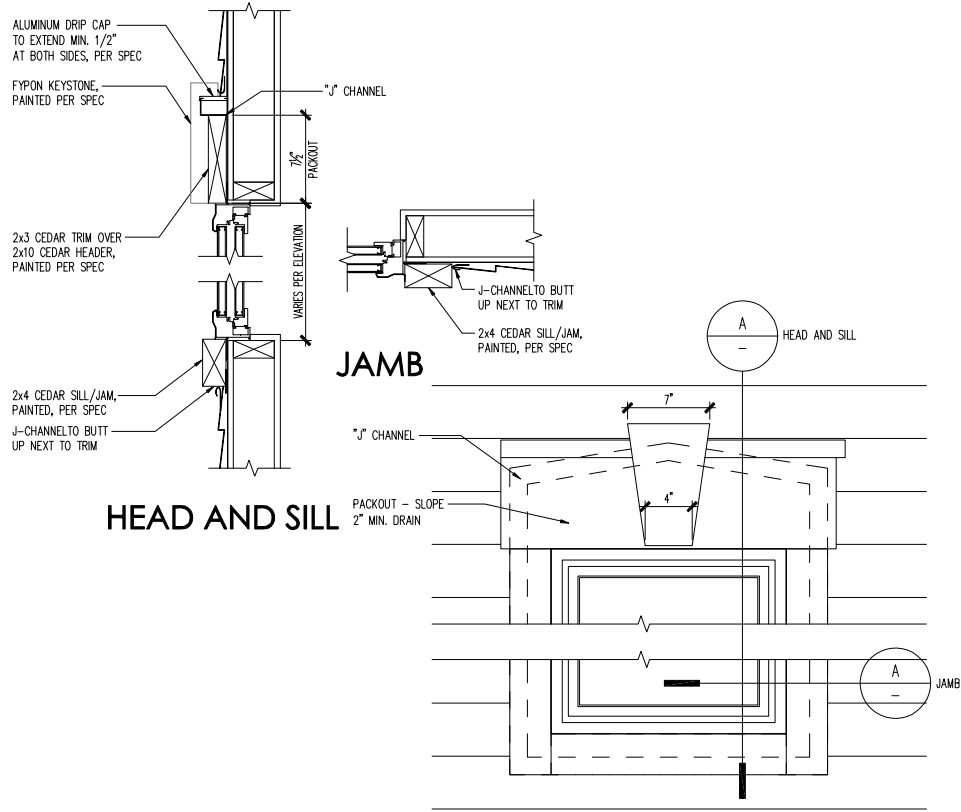
SHEET CONTENT

SITE PLAN  
FOR  
PULTE HOMES  
SUBLOT 87  
6398 KINGSWOOD DRIVE  
IN THE  
RESERVE AT RIVER  
OAKS SUBDIVISION PH.2  
SITUATED IN THE  
CITY OF HUDSON  
COUNTY OF SUMMIT  
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE	VERT. SCALE
1" = 20'	1" = 20'
DRAWN BY	DATE
KEG	11-27-2017
CHECKED BY	DRAWING NO.
SRL	River Oaks 2
JOB NO.	SHEET
20142977-2	1 OF 1

**A WNDW TRIM DETAIL**  
SCALE: 1 1/2"=1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

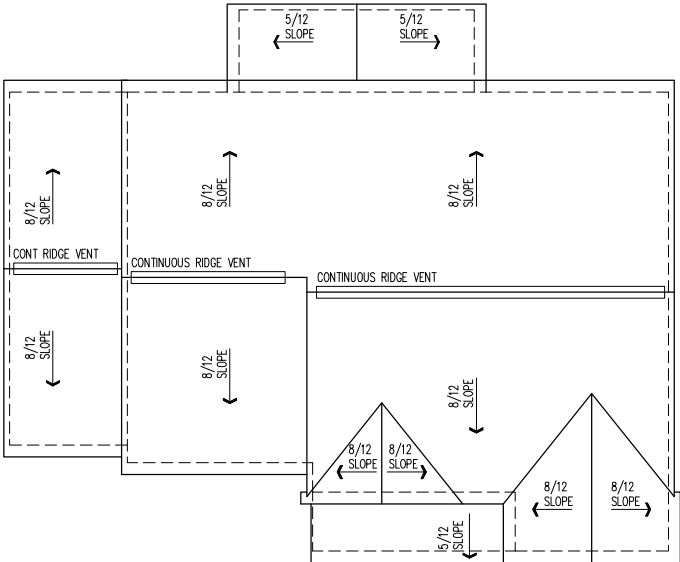


PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 11/15/2017	
REV #	DATE / DESCRIPTION
△	
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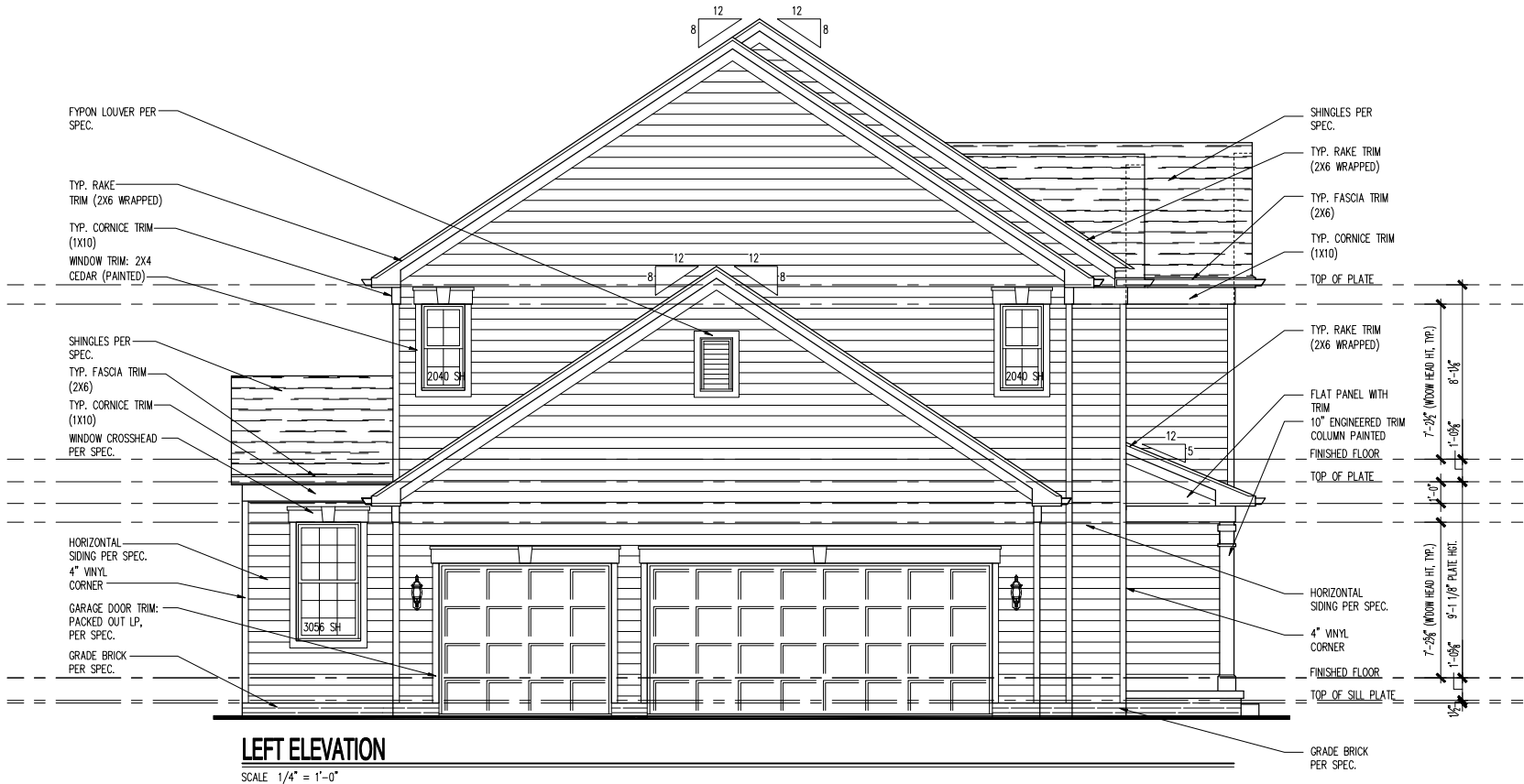
PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 87	
LAWSON COMMUNITY ID	
---	
GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
CRAWFORD	
NRC PLAN NUMBER	
TBD	
LAWSON PLAN ID	
---	
LEGACY PLAN NUMBER / NAME	
PLAN 2843	



ATTIC VENTILATION SCHEDULE																
1 ELEVATION		1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF			N/A		N/A			
	LOC	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	RIDGE	165	0.275	0.94	1729	2.88	5.88	336	0.56	1.31						
	EAVE		0.275	0.94		2.88	4.89		0.56	1.31						
TOTAL		0.55	1.88		5.76	10.77		1.12	2.62							

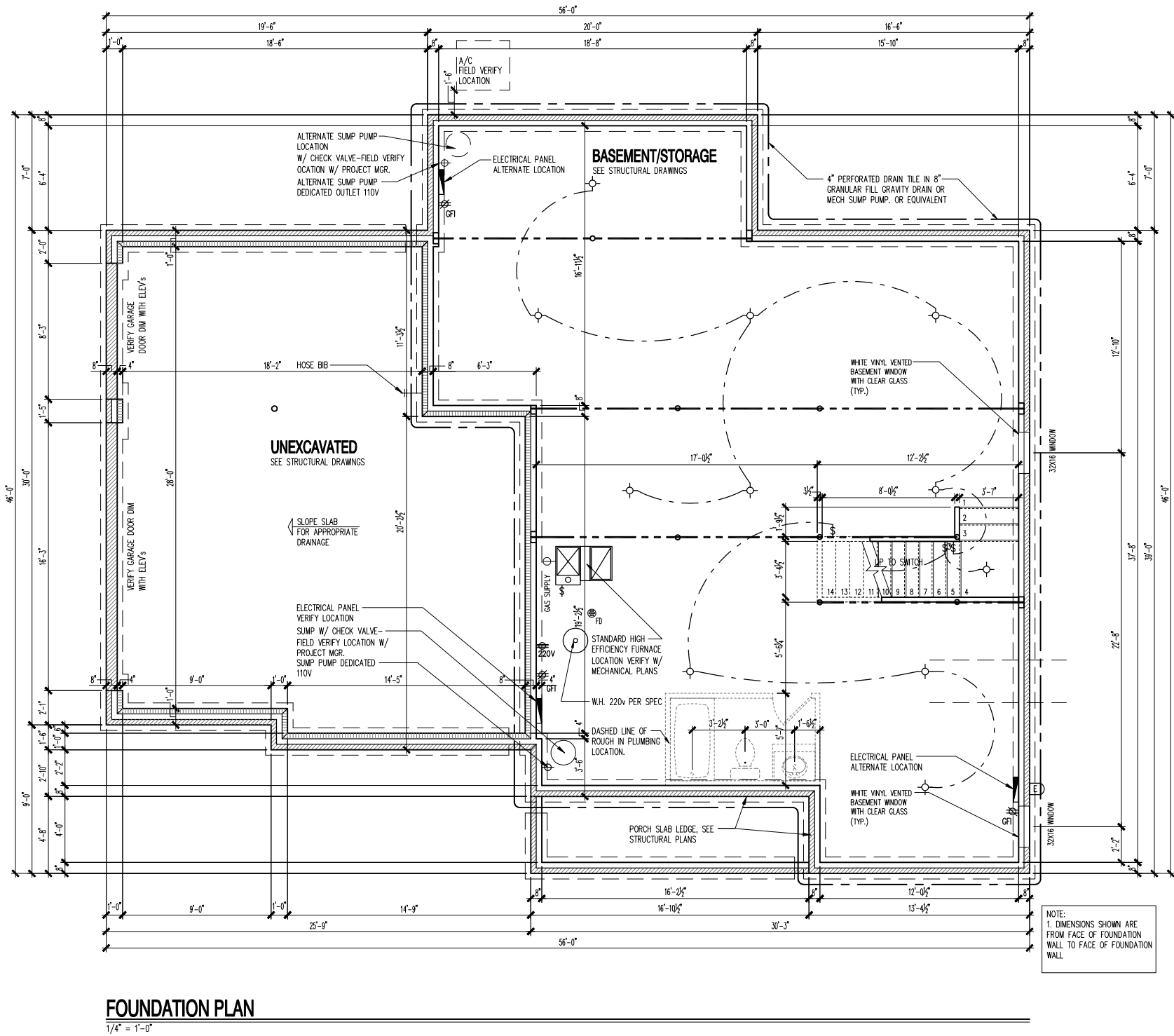


ROOF PLAN  
SCALE 1/8" = 1'-0"



PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 11/15/2017	
REV #	DATE / DESCRIPTION
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PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 87	
LAWSON COMMUNITY ID	
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GARAGE HANDING	
GARAGE LEFT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
CRAWFORD	
NRC PLAN NUMBER	
TBD	
LAWSON PLAN ID	
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LEGACY PLAN NUMBER / NAME	
PLAN 2843	



PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 11/15/2017	
REV #	DATE / DESCRIPTION
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△	

PROJECT TYPE
<b>SINGLE FAMILY</b>

COMMUNITY NAME
<b>RIVER OAKS</b>
<b>LOT 87</b>
LANSON COMMUNITY ID
---

GARAGE HANDING
<b>GARAGE LEFT</b>

SPECIFICATION LEVEL
<b>TBD</b>

PLAN NAME
<b>CRAWFORD</b>
NPC PLAN NUMBER
<b>TBD</b>
LANSON PLAN ID
---
LEGACY PLAN NUMBER / NAME
<b>PLAN 2843</b>

SHEET
<b>1.30a</b>



## First Floor Plan

[illegible]

ENGINEER OF RECORD: MULHORN & KULP ENGINEERING  
ARCHITECT OF RECORD: GODUCCO DESIGN - ARCHITECTS

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS**  
**LOT 87**  
LAWSON COMMUNITY ID

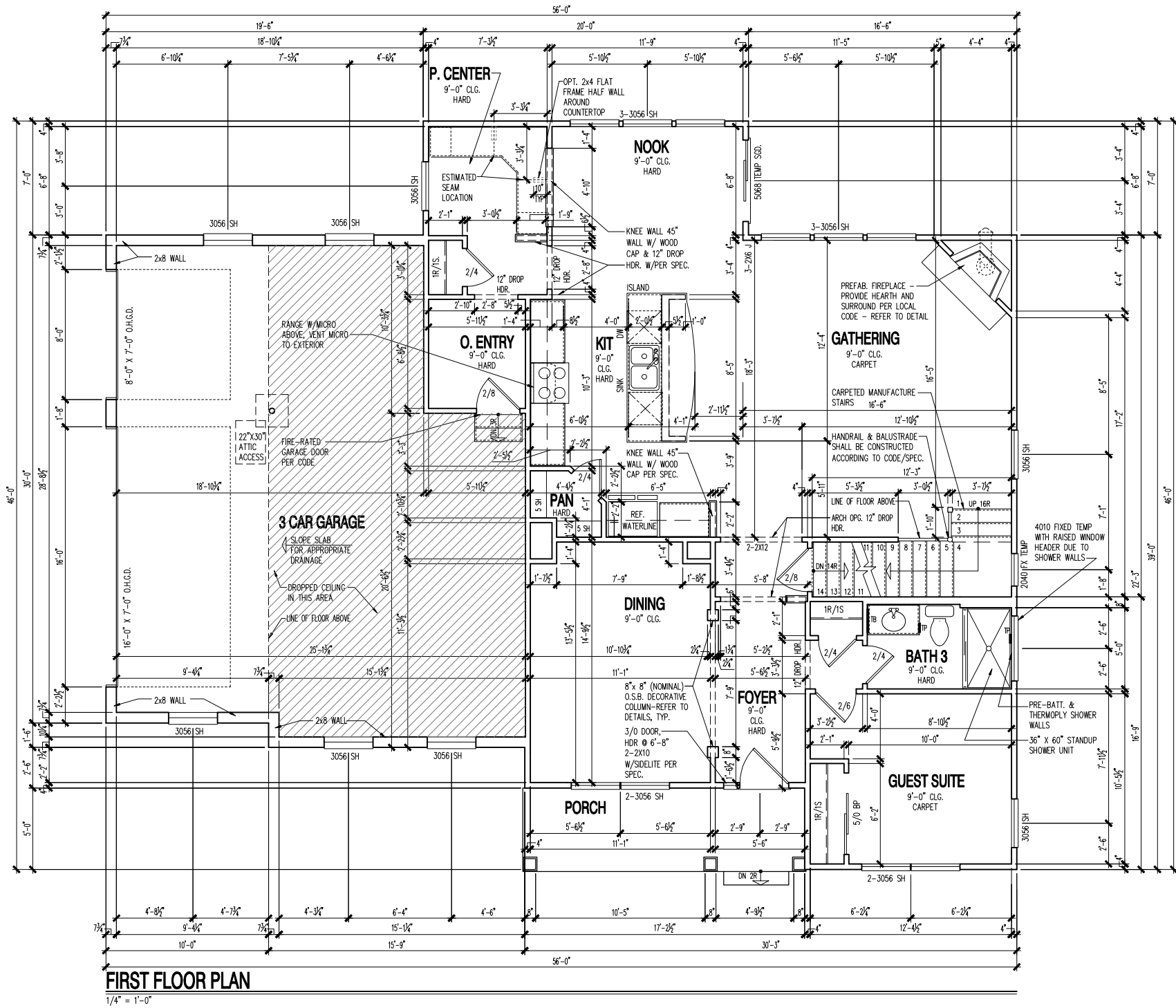
**GARAGE HANDING  
GARAGE LEFT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME	CRAWFORD
NPC PLAN NUMBER	TBD
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME  
**PLAN 2843**

SHEET  
2.10a



## FIRST FLOOR PLAN

$$\overline{1/4^n} = 1 - 0^n$$

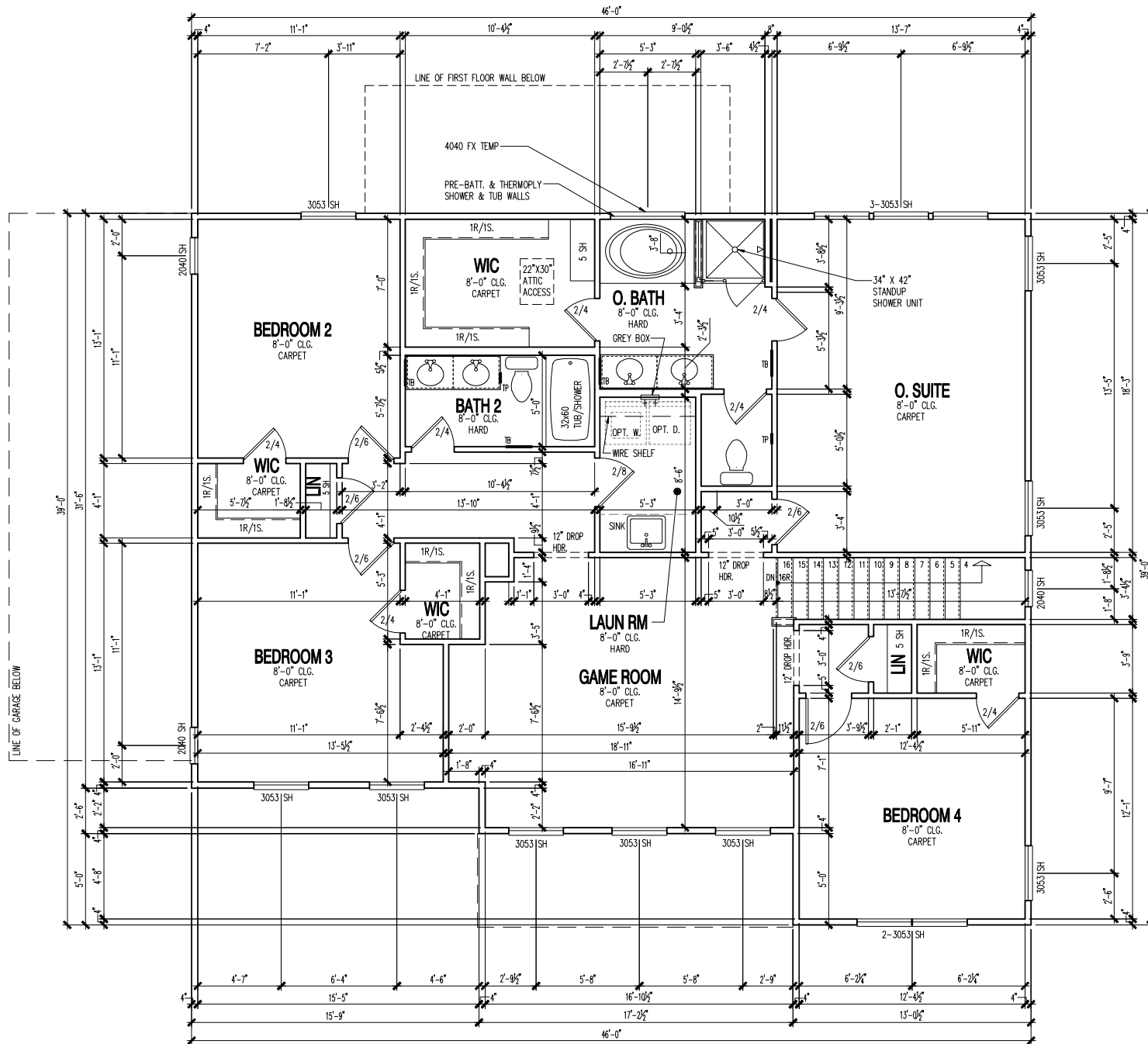


## Second Floor Plan

[illegible]

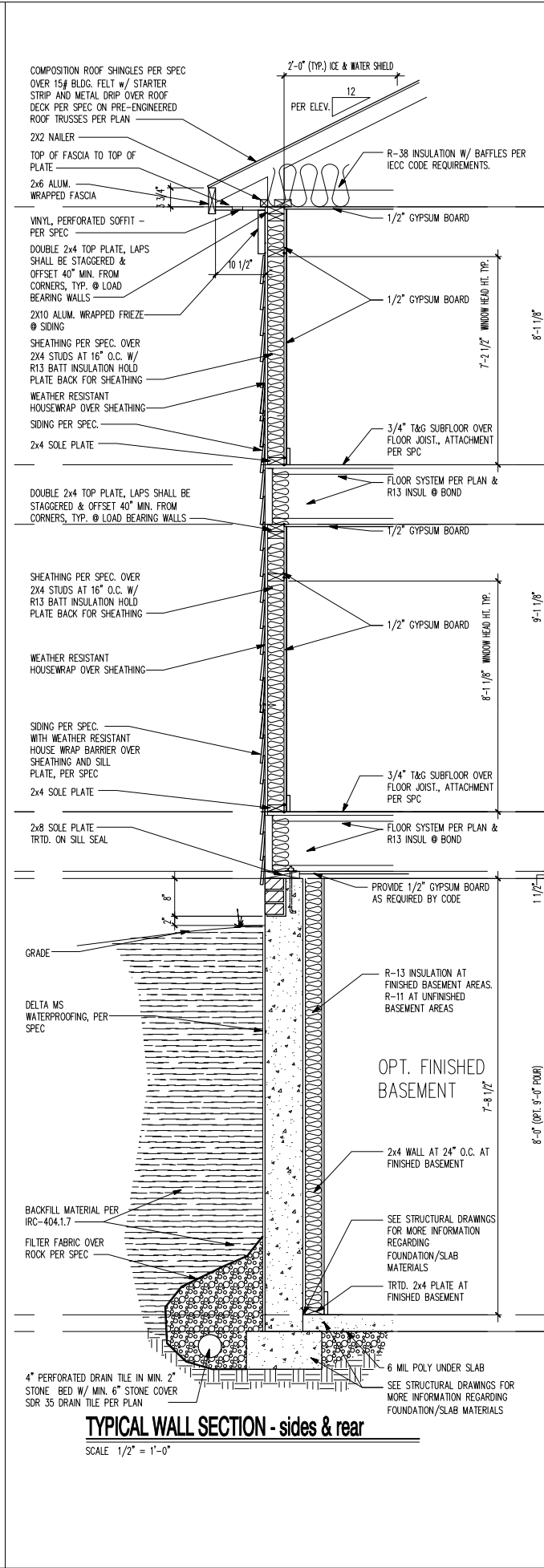
PROJECT TYPE	<b>SINGLE FAMILY</b>
COMMUNITY NAME	<b>RIVER OAKS LOT 87</b>
LAWSON COMMUNITY ID	
GARAGE HANDING	<b>GARAGE LEFT</b>
SPECIFICATION LEVEL	<b>TBD</b>
PLAN NAME	<b>CRAWFORD</b>
NPC PLAN NUMBER	<b>TBD</b>
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	<b>PLAN 2843</b>

SHEET  
2.20a



## SECOND FLOOR PLAN

$$\overline{1/4^n = 1'-0^n}$$



SCALE 1/2" = 1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHORN & KUIJP ENGINEERING  
 ARCHITECT OF RECORD: GODOUO DESIGN — ARCHITECTS

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



### Typical Wall Sections

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

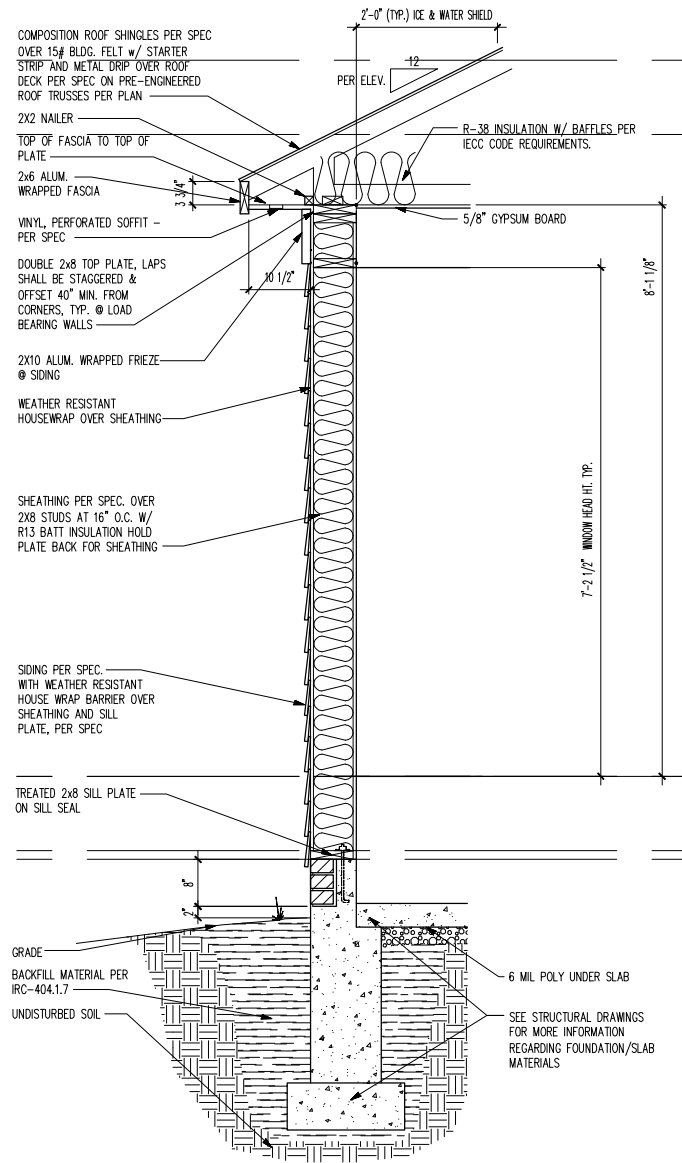
COMMUNITY NAME  
**RIVER OAKS**  
**LOT 87**

## GARAGE HANDING GARAGE LEFT

SPECIFICATION LEVEL	TBD
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PLAN NAME	<b>CRAWFORD</b>
NPC PLAN NUMBER	<b>TBD</b>
LAWSON PLAN ID	
LEGACY PLAN NUMBER / NAME	<b>PLAN 2843</b>

SHEET  
3.31a



TYPICAL WALL SECTION - garage

SCALE 1/2" = 1'-0"

**Cleveland Division**  
387 Medina Rd. Suite 1700  
Medina, OH 44256



## Typical Wall Sections

[illegible]

ENGINEER OF RECORD: MULHURN & KULP ENGINEERING  
ARCHITECT OF RECORD: GODUCCO DESIGN - ARCHITECTS

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS  
LOT 87**  
LAWSON COMMUNITY ID

**GARAGE HANDING**  
**GARAGE LEFT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME	<b>CRAWFORD</b>
NPC PLAN NUMBER	<b>TBD</b>
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME  
**PLAN 2843**

SHEET  
3.31b



PLOTTED: November 15, 2017 / Rudolph Sanchez / PLAN-2843-RC-COVER.DWG



# OHIO DIVISION -LOT 87

River Oaks

## CRAWFORD

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL / ELECTRICAL / PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.

### 3 - CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- 2) SLOPE ON DRIVE SHALL BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS.
- 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- 7) CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

### 4 - MASONRY

- 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- 4) PROVIDE ICE-SHIELD PER CODE
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- 1) WINDOW CALL OUT PER WINDOW SCHEDULE. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- 2) REVIEW ALL WINDOW HOR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE
- 5) FIRE RATED GARAGE DOOR AS REQUIRED BY CODE
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- 1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- 1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- 2) ALL BEARING HEADERS TO BE 2 X 8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE.
- 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE.
- 4) ALL 2x8 HEADERS SPF #2 UNLESS NOTED OTHERWISE.
- 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- 1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### WINDOW DATA:

SIMONTON WINDOWS PERFORMANCE DATA				
WINDOWS				
	R VALUE	U FACTOR	SHGC	VT
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.13	0.32	0.28	0.54
ARGON WITH GRIDS				
3/4" LOW-E/270 CLEAR	3.03	0.33	0.26	0.48
SLIDING GLASS DOORS				
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.45	0.29	0.29	0.57
ARGON WITH GRIDS				
3/4" LOW-E 270/CLEAR	3.23	0.31	0.26	0.50

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
PLANNING CENTER	66	5.28	12.40	2.64	5.30	
KITCHEN/NOOK	319	25.52	65.94	12.76	31.62	
GATHERING	270	21.60	49.60	10.80	21.20	
POWDER ROOM	27	N/A	N/A	29.7	50.00	
DEN	124	9.92	37.20	4.96	15.90	
DINING ROOM	160	12.80	24.80	6.40	10.60	
OWNER'S SUITE	248	19.84	45.50	9.92	18.90	
OWNER'S BATHROOM	85	N/A	12.40	93.5	100.00	
TOILET ENCLOSURE	18	N/A	N/A	19.8	50.00	
GAME ROOM	260	20.80	35.10	10.40	14.70	
BEDROOM 2	145	11.60	16.90	5.80	7.00	
BEDROOM 3	163	13.04	28.60	6.52	11.90	
BEDROOM 4	150	12	28.60	6.00	11.90	
BATH 2	52	N/A	N/A	57.20	100	

### APPLICABLE CODES:

2006 RESIDENTIAL CODE OF OHIO  
2006 INTERNATIONAL PLUMBING CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2008 NATIONAL ELECTRIC CODE  
2006 INTERNATIONAL FIRE CODE  
2006 INTERNATIONAL ENERGY CONSERVATION CODE

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
AD3.7	
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a1	ELEVATION "1" - FRONT AND REAR ELEVATIONS
7.01a2	ELEVATION "1" - SIDE ELEVATIONS & ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

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Cleveland Division  
387 Medina Rd. Suite 1700  
Medina, OH 44256



Cover Sheet  
Specifications & General Notes

PRODUCTION MANAGER Jamey Heinzman CURRENT RELEASE DATE: 11/15/2017	
REV #	DATE / DESCRIPTION
△	
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PROJECT TYPE  
SINGLE FAMILY

COMMUNITY NAME  
RIVER OAKS  
LOT 87  
LANSON COMMUNITY ID  
---

GARAGE HANDING  
GARAGE LEFT

SPECIFICATION LEVEL  
TBD

PLAN NAME  
CRAWFORD  
NRC PLAN NUMBER  
TBD  
LANSON PLAN ID  
---  
LEGACY PLAN NUMBER / NAME  
PLAN 2843

SHEET  
0.00

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING  
ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS