

APPROVED: _____ DATE _____
STAFF APPROVAL

APPROVED: _____ DATE _____
ENGINEERING DEPT. APPROVAL

APPROVED: _____ DATE _____
LANDSCAPE ARCHITECT APPROVAL

OHIO
HUDSON
ENGINEERING DEPARTMENT

☒ Approved
☐ Approved, as noted
☐ Rejected

Approved By Anthony Calabro
10:07 am, Dec 20, 2017

BUILDER: PULTE HOMES OF OHIO, LLC.
ADDRESS: 387 MEDINA ROAD SUITE 1700, MEDINA, OHIO 44256
PHONE: 330-239-1587

OWNER: _____
ADDRESS: _____
PHONE: _____



NOTE:
FINAL LOCATION OF (3) TREES
TO BE DETERMINED AND INSTALLED
BY PURCHASER IN COMPLIANCE
WITH CITY OF HUDSON LAND
DEVELOPMENT CODE (1207.04J).

INITIAL SITE BENCHMARK:
SUMMIT COUNTY GEODETIC MONUMENT HU 118
STATE PLAN COORDINATE
N 572,745.649
E 2,250,912.641
ELEVATION = 1006.912 NAVD 1988

NOTES:
DOWNSPOUTS TO BE CONNECTED TO
STORM SEWER CONNECTION
SUMP PUMP REQUIRED FOR FOOTER DRAINS

NOTE:
PURCHASER TO INSTALL
MINIMUM OF 3 TREES
PER MUNICIPAL REQUIREMENTS

NOTE:
PURCHASER TO INSTALL LANDSCAPING PER CITY
OF HUDSON LANDSCAPING REQUIREMENTS.

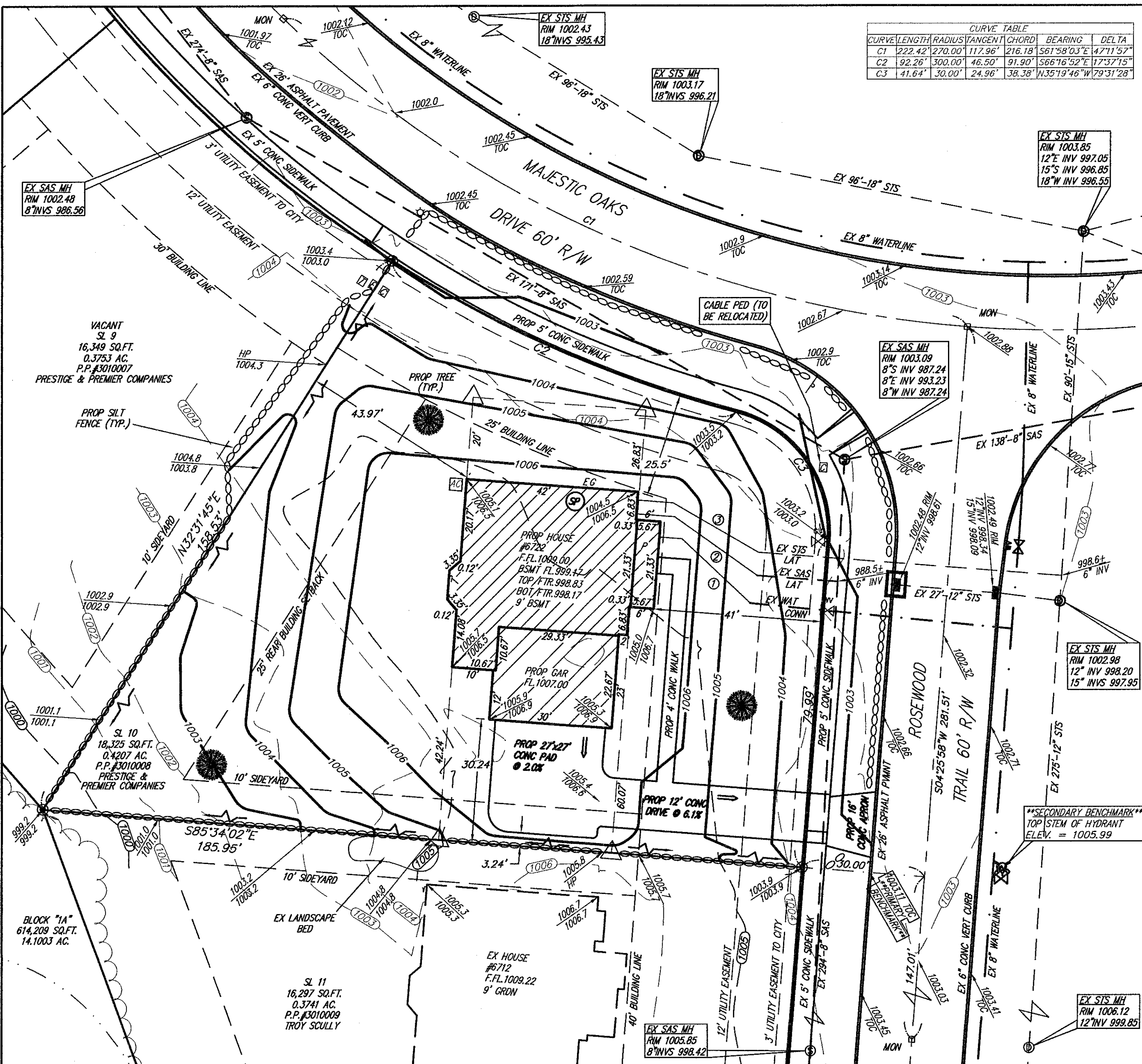
NOTE:
PER ARB, EGRESS WINDOW WELLS SHOULD BE NO
MORE THAN 6" ABOVE FINISHED GRADE

PRIMARY BENCHMARK
TOC/BOC ELEV @ P/L
IN FRONT OF SUBLOT 10/11
ELEV. = 1003.11

SECONDARY BENCHMARK
TOP STEM OF HYDRANT
IN FRONT OF SUBLOT 39
ELEV. = 1005.99

**THE CONTRACTOR MUST CHECK THE
BENCHMARK WITH THE CURB GRADES
PRIOR TO DIGGING THE FOUNDATION.**

NOTE:
ALL PROPOSED FOOTERS WILL REQUIRE SURVEY
CERTIFICATION ONCE SET AND PRIOR TO THE
COMPLETION OF HOME CONSTRUCTION



CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING
C1	222.42	270.00	117.96	216.18	S61°58'03\"E
C2	92.26	300.00	46.50	91.90	S66°16'52\"E
C3	41.64	30.00	24.96	38.38	N35°19'46\"W

GRAPHIC SCALE



(IN FEET) 1 inch = 20 ft.

PERCENTAGE OF
LOT COVERAGE = 21.8%

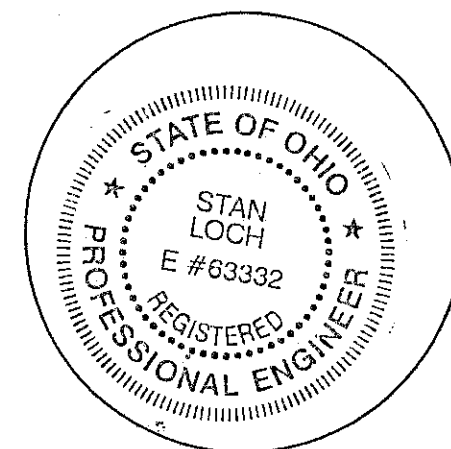
HOUSE COVERAGE = 2,421 SQ.FT.
DRIVEWAY COVERAGE = 1,332 SQ.FT.
WALKWAY COVERAGE = 234 SQ.FT.
TOTAL COVERAGE = 3,987 SQ.FT.

DATE OF SURVEY:
NOVEMBER 15th, 2017

TYPE OF HOUSE:
PLAN# ATWATER
ELEVATION: 2
GAR: 3 CAR SIDE LEFT W/9' BASEMENT
& FIREPLACE

- ① = PROP 1\" WAT CONN
- ② = PROP 6\" PVC SAS CONN @ 1.0% MIN 10% MAX
- ③ = PROP 6\" PVC SIS CONN @ 1.0% MIN 10% MAX

- LEGEND:
- = PROPOSED TREE
 - = EX MONUMENT
 - = EX CURB INLET
 - ⊙ = EX SANITARY MANHOLE
 - = EX YARD DRAIN
 - ⊙ = IRON PIN SET 5/8\"X30\" REBAR CAPPED \"AZTECH #8249\"
 - = EXISTING GRADE
 - - - = PROPOSED GRADE
 - ∞ = PROP SILT FENCE
 - = INLET PROTECTION
 - ⊗ = EX HYDRANT
 - ⊕ = EX WATER VALVE
 - ⊙ = SUMP PUMP
 - ⊙ = EX STORM MANHOLE
 - = SWALE
 - = FLOW ARROW
 - ⊕ = ELECTRIC STUB
 - ⊕ = CABLE PEDESTAL
 - ⊕ = TELEPHONE PEDESTAL
 - ⊕ = TRANSFORMER BOX
 - ⊕ = AIR CONDITIONER
 - E = ELECTRIC CONNECTION
 - G = GAS CONNECTION
 - ▽ = OFFSET HUB
 - ⊕ = EX SIGN
 - ⊕ = GAS VALVE



I CERTIFY THAT THIS PLAN WAS
PREPARED BY ME AND IS CORRECT TO
THE BEST OF MY KNOWLEDGE AND
BELIEF.

11-29-17
STAN R. LOCH P.E. #63332 DATE

5425 WARNER ROAD - SUITE 12
VALLEY VIEW, OHIO 44125
440-602-9071

AZTECH
FAX 216-369-0259

ENGINEERING and SURVEYING
Civil Engineering - Land Surveying

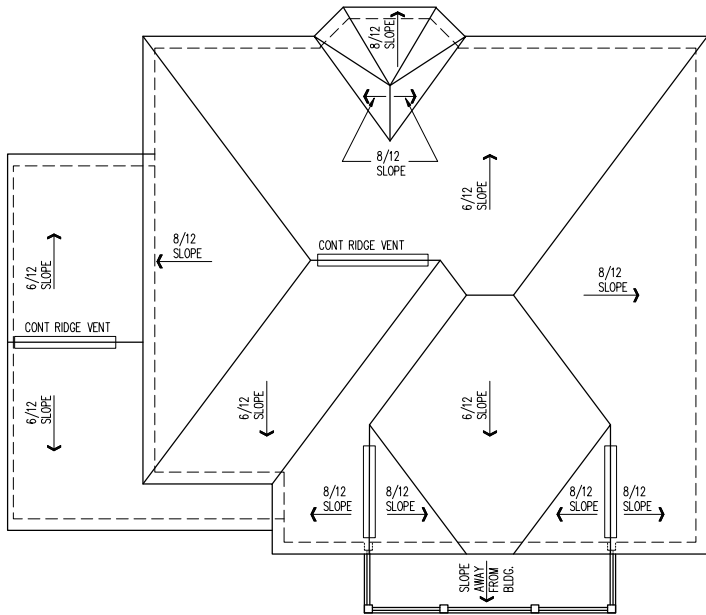
SHEET CONTENT

SITE PLAN
FOR
PULTE HOMES
SUBLOT 10
6722 ROSEWOOD TRAIL
IN THE
RESERVE AT RIVER
OAKS SUBDIVISION PH I
SITUATED IN THE
CITY OF HUDSON
COUNTY OF SUMMIT
STATE OF OHIO

REVISIONS			
NO.	DATE	DESCRIPTION	BY

HORIZ. SCALE		VERT. SCALE	
1\" = 20'			
DRAWN BY		DATE	
KEG		11-29-2017	
CHECKED BY		DRAWING NO.	
SRL		20142977	
JOB NO.		SHEET	
20142977		1 OF 1	

ATTIC VENTILATION SCHEDULE													
2 ELEVATION	LOC	1ST FLOOR ROOF			2ND FLOOR ROOF			GARAGE ROOF					
	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA
	RIDGE				2072	3.45	4.13	0.38	1.56				
	EAVE					3.45	9.56	0.38	2.25				
	TOTAL					6.90	13.69	0.76	3.81				



ROOF PLAN
 SCALE 1/8" = 1'-0"



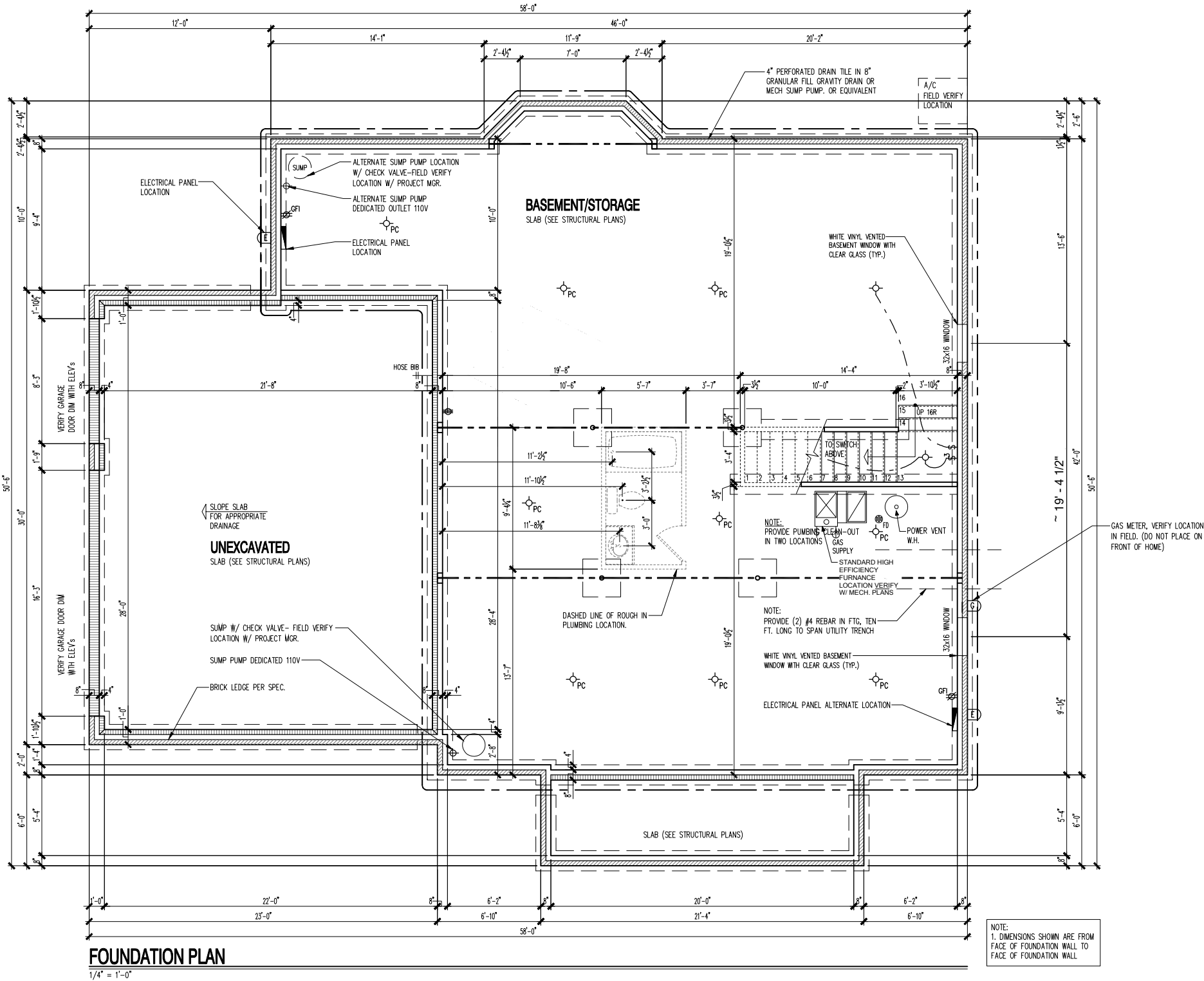
LEFT ELEVATION
 SCALE 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE 1/4" = 1'-0"

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 11/20/2017	
REV #	DATE / DESCRIPTION
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△	
△	
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PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 10
LANSON COMMUNITY ID	---
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	ATWATER
NPC PLAN NUMBER	1642
LANSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3295



PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 11/20/2017	
REV #	DATE / DESCRIPTION
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PROJECT TYPE
SINGLE FAMILY

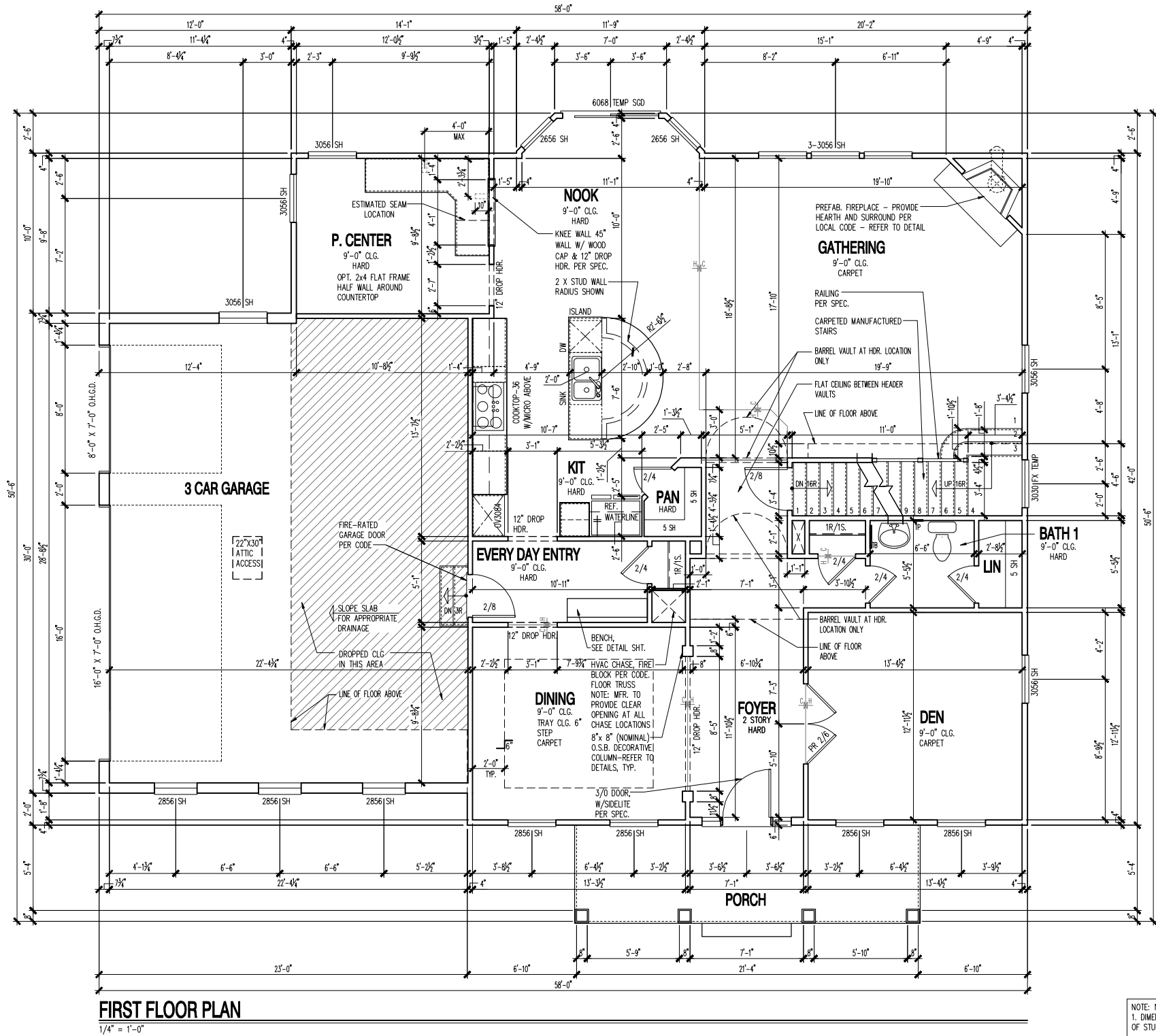
COMMUNITY NAME
RIVER OAKS
LOT
10
LANSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LANSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
1.30a



NOTE: NOT ALL NOTES APPLY
1. DIMENSIONS SHOWN ARE FROM FACE
OF STUD WALL TO FACE OF STUD WALL.



Second Floor Plan

[illegible]

PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME	RIVER OAKS
LOT 10	
LAWSON COMMUNITY ID	

**GARAGE HANDING
GARAGE LEFT**

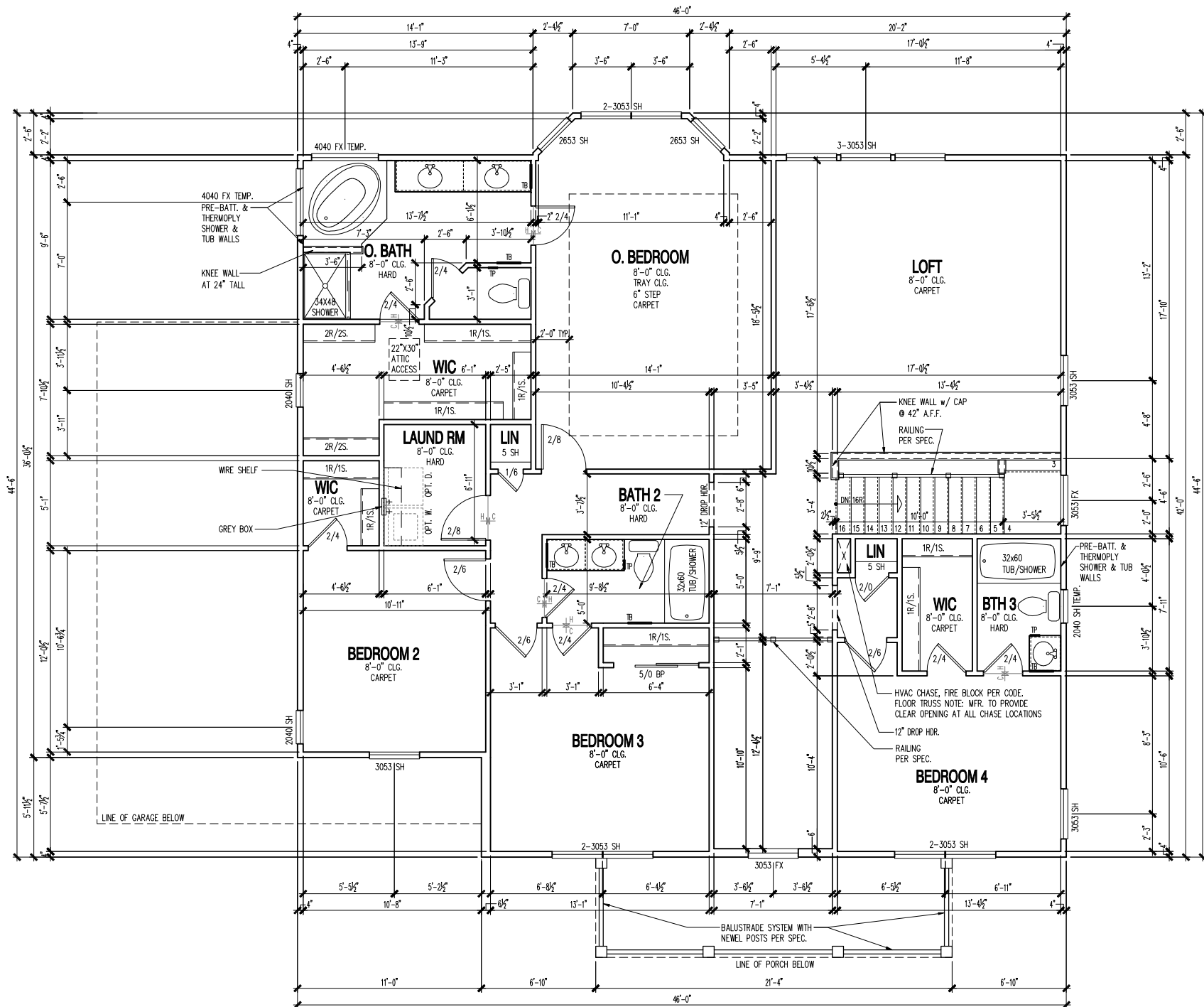
SPECIFICATION LEVEL	TBD
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PLAN NAME	ATWATER
NPC PLAN NUMBER	1642
UNION PLAN ID	

LEGACY PLAN NUMBER / NAME
PLAN 3295

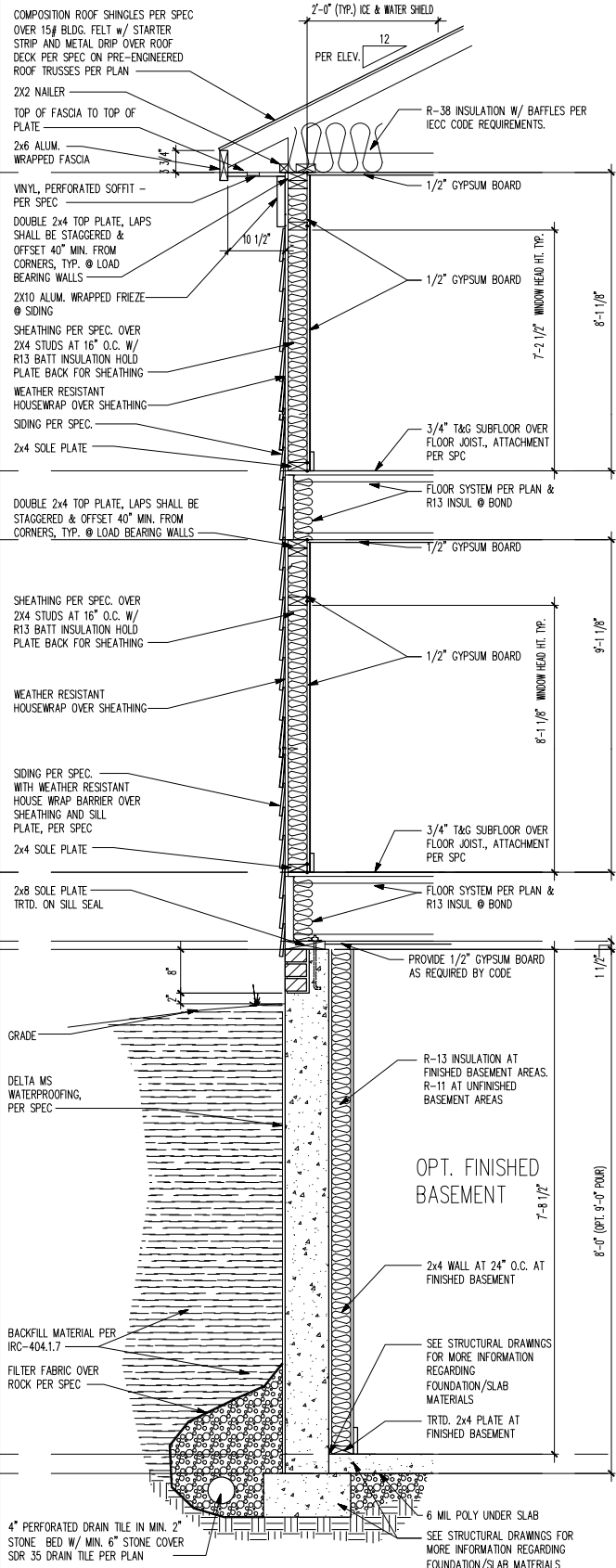
SHEET

2.20a



SECOND FLOOR PLAN

NOTE:
1. DIMENSIONS SHOWN ARE FROM FACE OF STUD
WALL TO FACE OF STUD WALL.

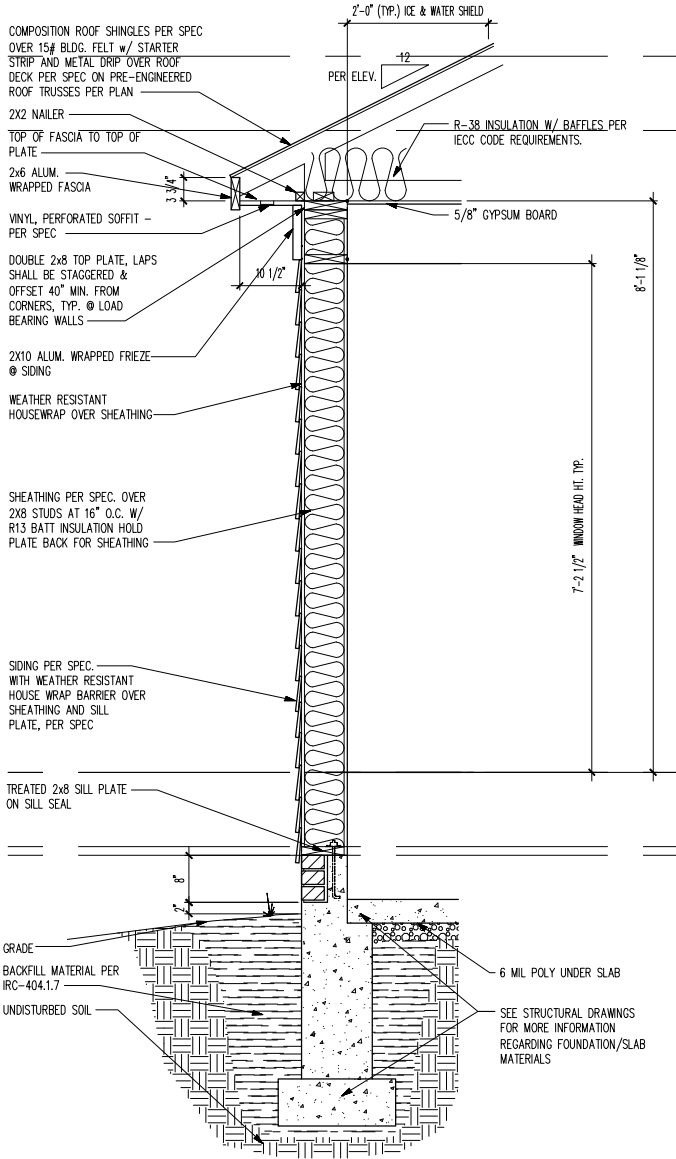


TYPICAL WALL SECTION - sides & rear

SCALE 1/2" = 1'-0"

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 11/20/2017	
REV #	DATE / DESCRIPTION
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PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 10
LAWSON COMMUNITY ID	---
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	ATWATER
NPC PLAN NUMBER	1642
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3295
SHEET	3.31a



TYPICAL WALL SECTION - garage
 SCALE 1/2" = 1'-0"

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 11/20/2017	
REV #	DATE / DESCRIPTION
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PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS LOT 10
LAWSON COMMUNITY ID	---
GARAGE HANDING	GARAGE LEFT
SPECIFICATION LEVEL	TBD
PLAN NAME	ATWATER
NPC PLAN NUMBER	1642
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	PLAN 3295
SHEET	3.31b

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERS
 ARCHITECT OF RECORD: GODDUCO DESIGN - ARCHITECTS



OHIO DIVISION -LOT 10

River Oaks

Atwater

1 - GENERAL BUILDING & DESIGN REQUIREMENTS	8 - DOORS AND WINDOWS	FRAMING:
1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED. 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200. 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC. 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS. 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.	1) WINDOW CALL OUT PER WINDOW SCHEDULE VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS 4) FRONT DOOR WIDTH AS REQUIRED BY CODE 5) GARAGE DOOR AS REQUIRED BY CODE 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.	1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATING. 2) ALL BEARING HEADERS TO BE 2X8 SPF #2 OR EQUAL UNLESS NOTED OTHERWISE. 3) ALL 2x10 & 2x12 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE. 4) ALL 2x8 HEADERS TO BE SPF #2 UNLESS NOTED OTHERWISE. 5) PROVIDE 1x BLOCKING UNDER ALL EXTERIOR SLIDING DOORS. 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE). 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PILES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM. 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES. 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
2 - SITE CONSTRUCTION	15 - MECHANICALS	ROOF:
1) SOIL BEARING CALCULATIONS BASED ON 2000 PSF MIN 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPROOFING MATERIALS.	1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.	1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE. 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
3 - CONCRETE	16 - ELECTRICAL	LIGHT & VENT CALCULATIONS:
1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6% 2) SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT. 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL. 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS. 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPROOFING MATERIALS. 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS. 7) CALCULATIONS FOR COLUMN PADS BASED ON 2000 PSF SOIL BEARING. 8) FOUNDATION WALLS & FOOTER DEPTH TO BE VERIFIED IN FIELD.	1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC. 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES. 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS. 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC. 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE. 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY. 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE. 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.	ROOM SQ. FT. LIGHT REQ'DLIGHT SUPP'VENT REQ'DVENT SUPP'NOTES FIRST FLOOR PLANNING CENTER 115 9.2 24.80 4.60 10.60 GATHERING ROOM 367 29.36 49.60 14.68 21.20 KITCHEN/NOOK 331 26.48 46.94 13.24 22.72 DINING ROOM 161 12.88 24.80 6.44 10.60 DEN 173 14.08 37.20 7.04 15.90 PONDER ROOM 35 N/A N/A 1.12 50.00 SECOND FLOOR GAME ROOM 299 23.92 46.80 11.96 19.60 OWNER'S SUITE 282 22.64 40.80 11.32 17.20 BEDROOM 2 131 10.48 26.80 5.24 11.90 BEDROOM 3 159 12.16 23.40 6.08 9.80 BEDROOM 4 152 12.16 35.17 6.08 14.70 OWNER'S BATH 111 N/A 24.80 118.8 120.00 TOILET ENCLOSURE 16 N/A N/A 20.9 50.00 BATH 3 48 N/A N/A 59.40 60.00 BATH 4 37 2.96 5.20 1.48 50.00 BATH 1 35 N/A N/A 37.40 50.00 APPLICABLE CODES: 2009 INTERNATIONAL RESIDENTIAL CODE (SECTION 602) 2012 INTERNATIONAL RESIDENTIAL CODE 2013 RESIDENTIAL CODE OF OHIO 2011 INTERNATIONAL PLUMBING CODE 2011 INTERNATIONAL MECHANICAL CODE 2011 NATIONAL ELECTRIC CODE 2011 INTERNATIONAL FIRE CODE 2009 INTERNATIONAL ENERGY CONSERVATION CODE
4 - MASONRY	GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:	
1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS 2) MASONRY VENEER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C. 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION. 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX. SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING	1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (259 MM). 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.	
5 - METALS	WALLS:	
6 - WOOD AND PLASTICS	FLOORS:	
7 - THERMAL & MOISTURE PROTECTION		
1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED. 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW. 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE 4) PROVIDE ICE-SHIELD PER CODE 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS. 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.		

PLAN SHEET INDEX	
SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
AD 3.7	ARCHITECTURAL DETAILS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.02a1	ELEVATION "2" - FRONT AND REAR ELEVATIONS
7.02a2	ELEVATION "2" - SIDE ELEVATIONS & ROOF PLAN
S-1.0	1ST FLOOR FRAMING PLAN
S-1.1	1ST FLOOR FRAMING PLAN
S-1.2	1ST FLOOR FRAMING PLAN
S-1.3	1ST FLOOR FRAMING PLAN
S-1.4	1ST FLOOR FRAMING PLAN
S-1.5	1ST FLOOR FRAMING PLAN
S-1.6	1ST FLOOR FRAMING PLAN
S-2.0	2ND FLOOR FRAMING PLAN
S-2.1	2ND FLOOR FRAMING PLAN
S-2.2	2ND FLOOR FRAMING PLAN
S-2.3	2ND FLOOR FRAMING PLAN
S-3.0	ROOF FRAMING PLAN
S-3.1	ROOF FRAMING PLAN
S-3.2	ROOF FRAMING PLAN
S-3.3	ROOF FRAMING PLAN
S-4.0	WALL BRACING DETAILS
SD.01	TYPICAL FOUNDATION DETAILS
SD.02	TYPICAL FOUNDATION DETAILS
SD.03	TYPICAL FOUNDATION DETAILS

Cleveland Division
387 Medina Rd. Suite 1700
Medina, OH 44256

Cover Sheet
Specifications & General Notes

PRODUCTION MANAGER
Jamey Heinzman
CURRENT RELEASE DATE: 11/20/2017

REV # | DATE | DESCRIPTION
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS
LOT 10
LANSON COMMUNITY ID

GARAGE HANDING
GARAGE LEFT

SPECIFICATION LEVEL
TBD

PLAN NAME
ATWATER
NPC PLAN NUMBER
1642
LANSON PLAN ID

LEGACY PLAN NUMBER / NAME
PLAN 3295

SHEET
0.00