

BOUNDARY SURVEY

15 John Clark Lane

Situated in the City of Hudson,
County of Summit, State of Ohio
PPN 3200950

SCUDDER D. & ALBERTA L.
KELVIE
BOOK 436 P. 70
04/15/1990
PPN 3201616

GEORGE FADDOUL
& VALERIE H. STRONG
& ALICE GOUHAS
DOC. NO. 56025054
01/31/2014
PPN 3201615

3/4" IRON PIPE
FND & USD

N89°18'58"E 275.00' R&U

210.50' R&U

HIROSHI YOKOYAMA
DOC. NO. 55611764
03/27/2009
PPN 3201339

WALLACE PAUL KITHCART &
WANDA SUE KITHCART
CO-TRUSTEES
DOC. NO. 56262671
12/09/2016

PAUL J. STENGER, TRUSTEE
DOC. NO. 56316573
08/02/2017
PPN3200950
REC.3.0509 ACRES
SURVEY 2.8441 ACRES

3/4" IRON PIPE
FND & USD

50°33'22"E 450.50' R&U

SUMMIT HOUSING/
DEVELOPMENT CORP
DOC. NO. 55957289
05/21/2013
PPN 3200131

240.00' R&U

5/8" IRON PIN
FND & USD

R/W

5/8" IRON PIN
FND & USD

R/W

3/4" IRON PIPE
FND & USD

R/W

S89°18'58"W 214.00' R&U

S89

S89°18'58"W 275.00' R&U

S89°18'58"W 300.00' R&U

1" IRON PIN
FND & USD IN
MON BOX

JOHN CLARK LANE 60'

SOUTH MAIN STREET 60'

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

SURVEY LEGEND

- - 5/8" x 30" Iron Pin Set w/cap Lewis Land Professionals
- - Iron Pin Found & Described
- - Monument Found & Used
- ⊙ - Iron Pipe Found & Described

Fnd. (F) - Found Obs. (O) - Observed
Msd. (M) - Measured Deed (D) - Deed
Usd. (U) - Used Calc. (C) - Calculated
Rec. (R) - Record Plat (P) - Plat

The "Basis of Bearings" for this survey is **Grid North** of the NAD83 (2011), Ohio State Plane, North Zone as established by GPS Observation.

Lewis Land Professionals, Inc. has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING BOUNDARY SURVEY WAS PREPARED FROM ACTUAL FIELD MEASUREMENTS IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE, AND ALL MONUMENTS WERE EITHER FOUND OR SET AS SHOWN HEREON.

Joseph A. Burgoon
Joseph A. Burgoon, Professional Surveyor No. S-8325

01/18/18

Date

Lewis Land Professionals, Inc.

Civil Engineering & Surveying
8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
Phone: (330) 335-8232
www.landprosinc.com

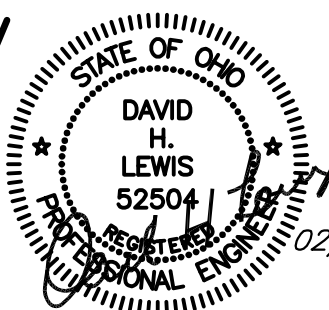
SHEET 1 OF 3

PROJ. No. 17-348 DRAWING NAME 17-348LP.dwg

LOT IMPROVEMENT PLAN

15 John Clark Lane

Situated in the City of Hudson,
County of Summit, State of Ohio
PPN 3200950



02/12/18

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

****TREE PROTECTION FENCING
REQUIRED AROUND TREES THAT
ARE TO BE SAVED NEAR WORK
AREA WITH ORANGE SNOW
FENCING. THESE TREE NUMBERS
INCLUDE BUT ARE NOT LIMITED TO:
1, 2, 3, 4, 5, 6, 7, 11, 12, 14, 15,
17, 22

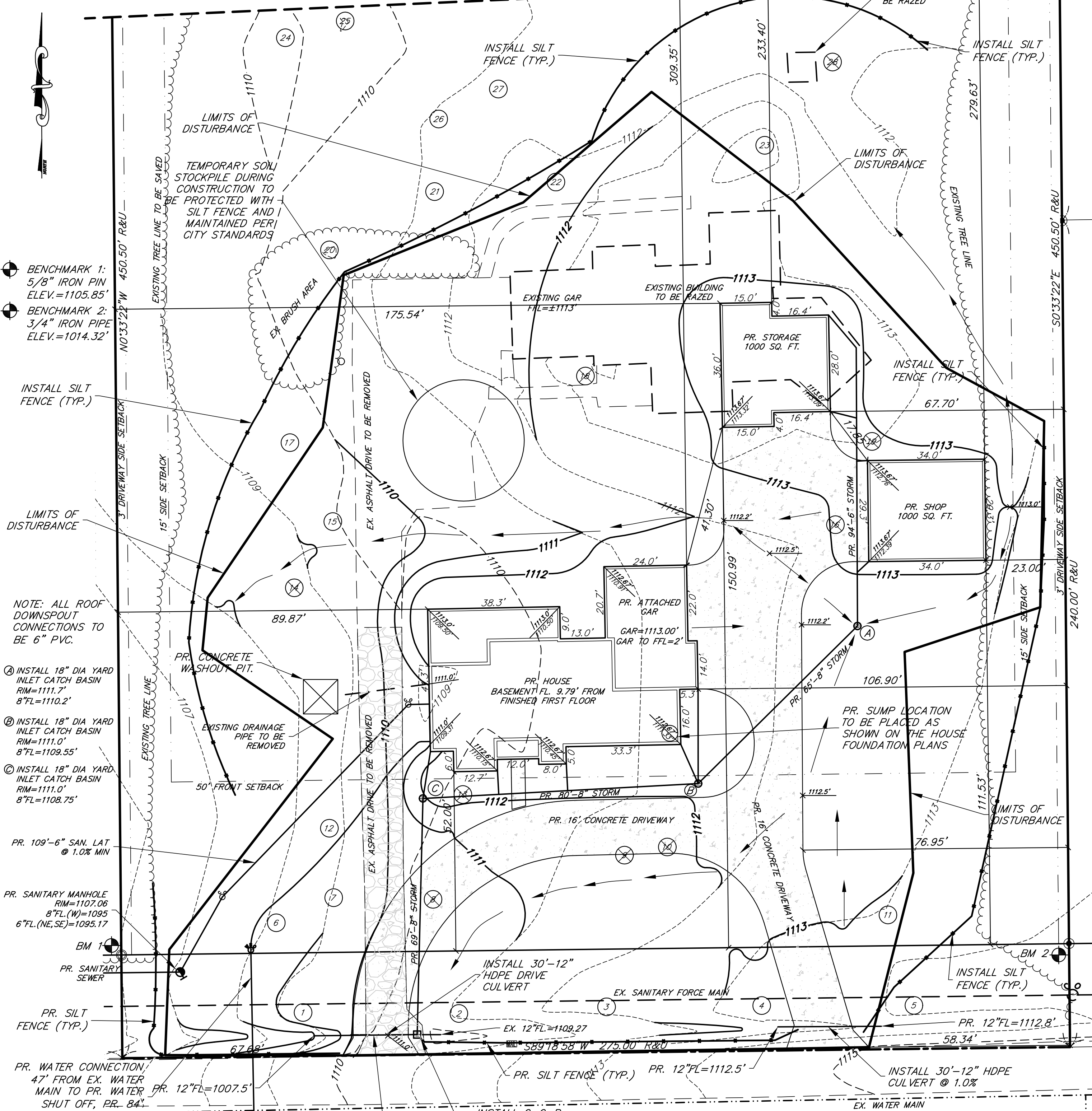
HUDSON

ENGINEERING DEPARTMENT

☒ Approved
☐ Approved, as noted
☐ Rejected

Approved By Anthony Colabrese
2:07 am, Feb 14, 2018

MATCH LINE SEE SHEET 3



NOTE: ALL ROOF
DOWNSPOUT
CONNECTIONS TO
BE 6" PVC.

- ① INSTALL 18" DIA YARD
INLET CATCH BASIN
RIM=1111.7'
8"FL=1110.2'
- ② INSTALL 18" DIA YARD
INLET CATCH BASIN
RIM=1111.0'
8"FL=1109.55'
- ③ INSTALL 18" DIA YARD
INLET CATCH BASIN
RIM=1111.0'
8"FL=1108.75'

PR. 109'-6" SAN. LAT
@ 1.0% MIN

PR. SANITARY MANHOLE
RIM=1107.06
8"FL(W)=1095
6"FL(NE,SE)=1095.17

BM 1

PR. SANITARY
SEWER

PR. SILT
FENCE (TYP.)

PR. WATER CONNECTION
47' FROM EX. WATER
MAIN TO PR. WATER
SHUT OFF, PR. 84'
FROM PR. W.S.O. TO
PR. HOUSE.

1. GRADES SHALL COMPLY WITH THE APPROVED GRADING
PLAN ON FILE WITH CORRESPONDING GOVERNMENT
OFFICE. ALL UTILITIES ARE PER DESIGN PLAN.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD
DRAIN, NATURAL WATER COURSES OR STREET) ACROSS
ENTIRE LOT.
3. ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING
LATERS AND VERIFY IF PROPER CONNECTIONS CAN BE
MADE TO HOUSE. CONTACT CORRESPONDING
GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
5. CONTRACTOR TO NOTIFY UTILITIES PROTECTION
SERVICES PRIOR TO CONSTRUCTION.
6. NO LAWN AREAS TO BE MOWED SHALL HAVE A
SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
7. SUMP PUMP REQUIRED, DESIGN & LOCATION TO BE
DETERMINED BY BUILDER.
8. NO DETERMINATION OF THE PRESENCE OF WETLAND
AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
9. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY
SURVEY.
10. A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL
BE PLACED WITHIN THE STORM & SANITARY CONNECTION
TRENCH TO THE LEVEL OF THE STONE BACKFILL ABOVE
THE PIPE.

Foundation dimensions shown are for rough field layout only,
see Architectural House Plans for all dimensions.
The Contractor/Owner must verify all foundation dimensions
& proposed grades shown on this topographic survey. Cuts
between hubs shall be compared for discrepancies. Any
error resulting from failure to check shall not be the
responsibility of Lewis Land Professionals, Inc.

FIN 1st FLR. = 1115.00'
TOP/WALL = 1114.00'
GARAGE = 1113.00'
BASEMENT FLR. = 1105.21'
BOTTOM/FOOTER = 1104.21'

CONTRACTOR NOTE:
EXCAVATING CONTRACTOR SHALL
REFER TO ARCHITECTURAL
BUILDING PLANS FOR ACTUAL
DIMENSIONS BETWEEN FLOORS &
BOTTOM OF FOOTER, WALL
SECTIONS, UNEXCAVATED AREAS,
& FOUNDATION WINDOW OPENINGS.

SURVEY LEGEND

- - 5/8" x 30" Iron Pin Set w/cap Lewis Land Professionals
- - Iron Pin Found & Described
- - Monument Found & Used
- - Iron Pipe Found & Described

Fnd. (F) - Found Obs. (O) - Observed
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Rec. (R) - Record Plat (P) - Plat

JOHN CLARK LANE

LEGEND

PR.=PROP.=PROPOSED
EX.=EXISTING

① TREE

TEMPORARY
CONSTRUCTION DRIVE

⊗ TREE TO BE REMOVED

PR. CONC. DRIVE

CLEANOUT

PROPOSED GRADE
existing grade

SWALE = DRAINAGE FLOW/SWALE

DENOTES: CONSTRUCT
CLAY BULKHEAD DAM IN
ALL UTILITY TRENCHES



TWO WORKING DAYS
BEFORE YOU DIG
Call 1-800-362-2764
TOLL FREE
Outside Ohio 216-744-5191
OHIO UTILITIES PROTECTION SERVICE

DATE	DESCRIPTION	BY
1/12/18	PRELIMINARY	TRP
01/17/18	FINAL UP TO CLIENT	TRP
01/21/18	ADDRESS ENGINEERING COMMENTS	JLS
02/07/18	ADDRESS ENGINEERING COMMENTS	JLS
02/12/18	ADD LIMITS OF CONSTRUCTION	JLS

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SHEET 2 OF 3

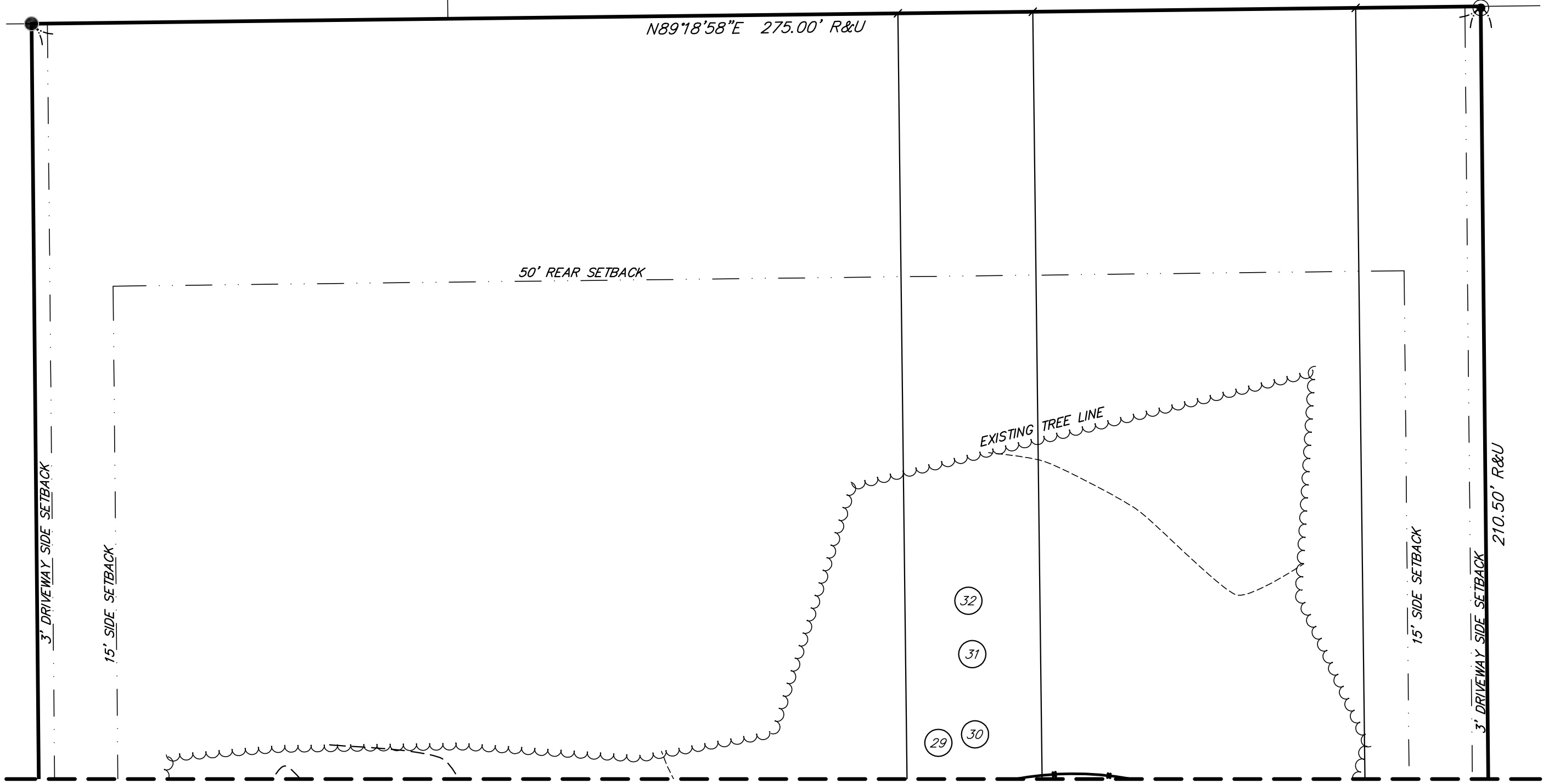
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LOT IMPROVEMENT PLAN

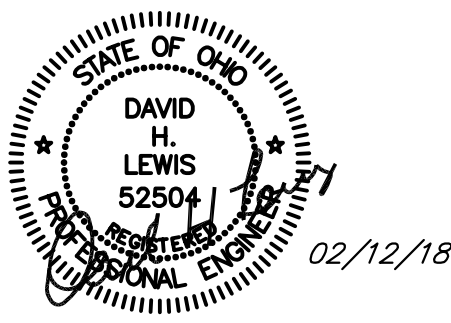
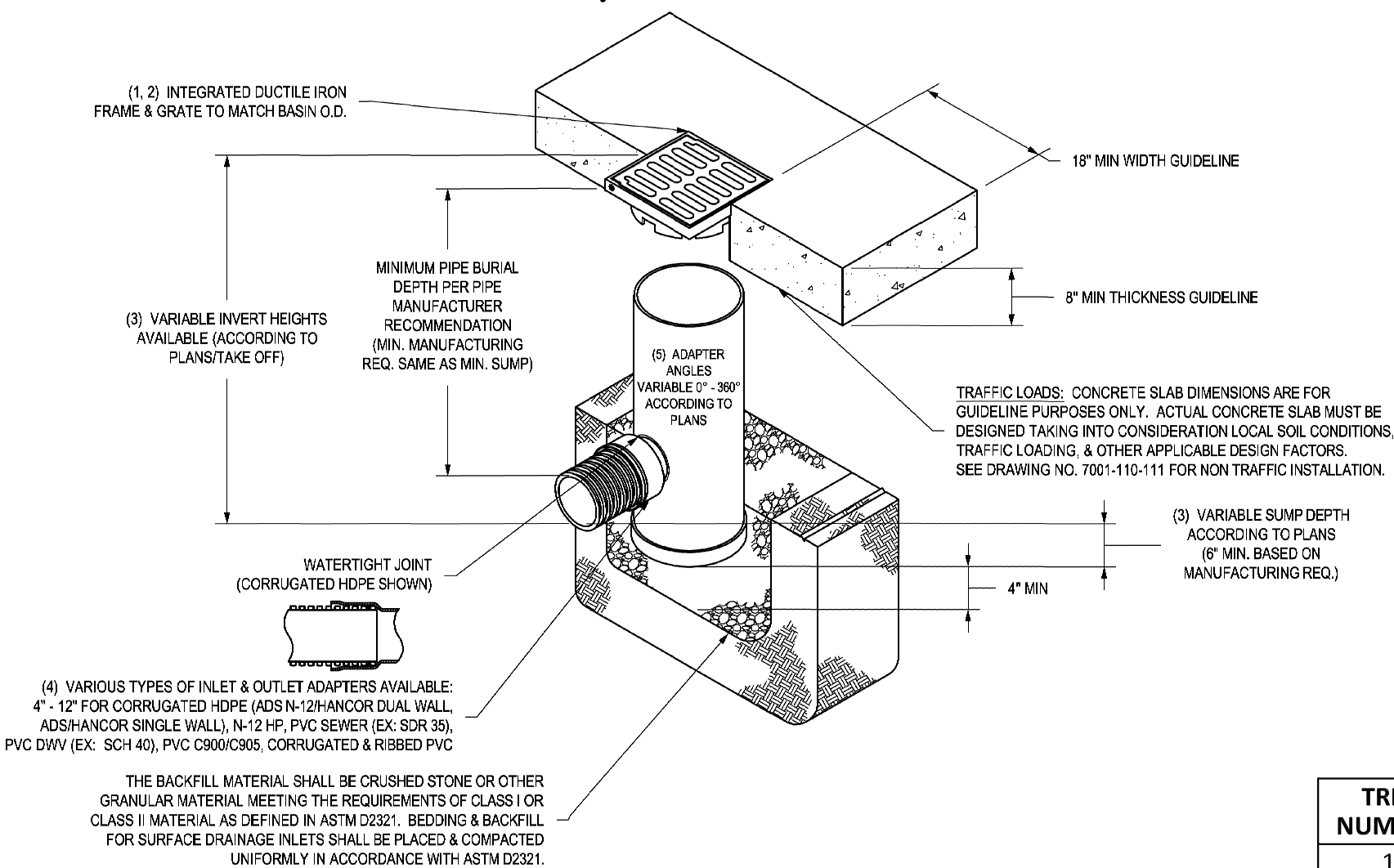
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NOTES:

1. WATER SERVICE TO BE BORED. OPEN CUTTING OF THE EXISTING PAVEMENT SHALL NOT BE PERMITTED.
2. ALL EXCAVATIONS WITHIN THE CITY OF HUDSON RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF HUDSON ENGINEERING STANDARDS.
3. ALL MOT SHALL BE IN ACCORDANCE WITH THE OMUTCD.
4. EQUIPMENT AND VEHICLES SHALL NOT BE PARKED IN THE ROADWAY.
5. ALL TREES TO BE SAVED NEED ROOTING PROTECTION. SILT FENCE WILL BE PLACED ALONG PROPERTY LINES IN AN EFFORT TO PROTECT NEIGHBORING TREES.
6. ALL WORK PERFORMED WITHIN THE CITY OF HUDSON RIGHT-OF-WAY REQUIRES INSPECTION BY THE CITY OF HUDSON ENGINEERING DEPARTMENT.
7. CONSTRUCTION ENTRANCE SHALL CONSIST OF MIN. 6" THICK #1 @ 2 AGGREGATE INSTALLED MIN. 70' IN LENGTH ON GEO-TEXTILE FABRIC.
8. SOILS AND DEBRIS SHALL NOT BE DEPOSITED ON ROADWAYS. CONTRACTOR SHALL BE REQUIRED TO CLEAN ADJACENT ROADWAYS UPON CITY'S REQUEST.



18" NYLOPLAST DRAIN BASIN: 2812AG __ X
MATCH LINE SEE SHEET 2



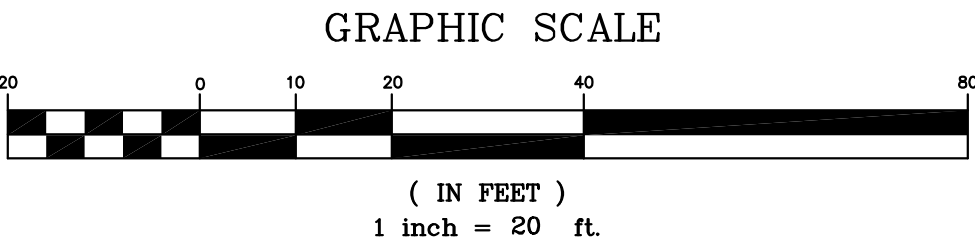
NYLOPLAST CATCH BASIN DETAIL
NOT TO SCALE

E:\2015\2015-20-29\15-28\15-286\sump pump detail crop.tif

STORM CONNECTION & OVERFLOW DETAIL
NOT TO SCALE

TREE NUMBER	SIZE	DESCRIPTION
1	24"	OAK
2	24"	OAK
3	24"	OAK
4	24"	OAK
5	24"	OAK
6	12"	PINE
7	10"	PINE
8	12"	PINE
9	18"	PINE
10	18"	PINE
11	10"	PINE
12	10"	PINE
13	18"	ELM
14	18"	APPLE DEAD
15	15"	PINE
16	36"	WILLOW

TREE NUMBER	SIZE	DESCRIPTION
17	18"	APPLE
18	18"	MAPLE
19	24"	MAPLE
20	36"	MAPLE
21	24"	MAPLE
22	12"	PINE
23	30"	OAK
24	18"	APPLE
25	18"	APPLE
26	15"	LOCUST
27	15"	LOCUST
28	40"	LOCUST DEAD
29	15"	PINE
30	15"	PINE
31	15"	PINE
32	15"	PINE

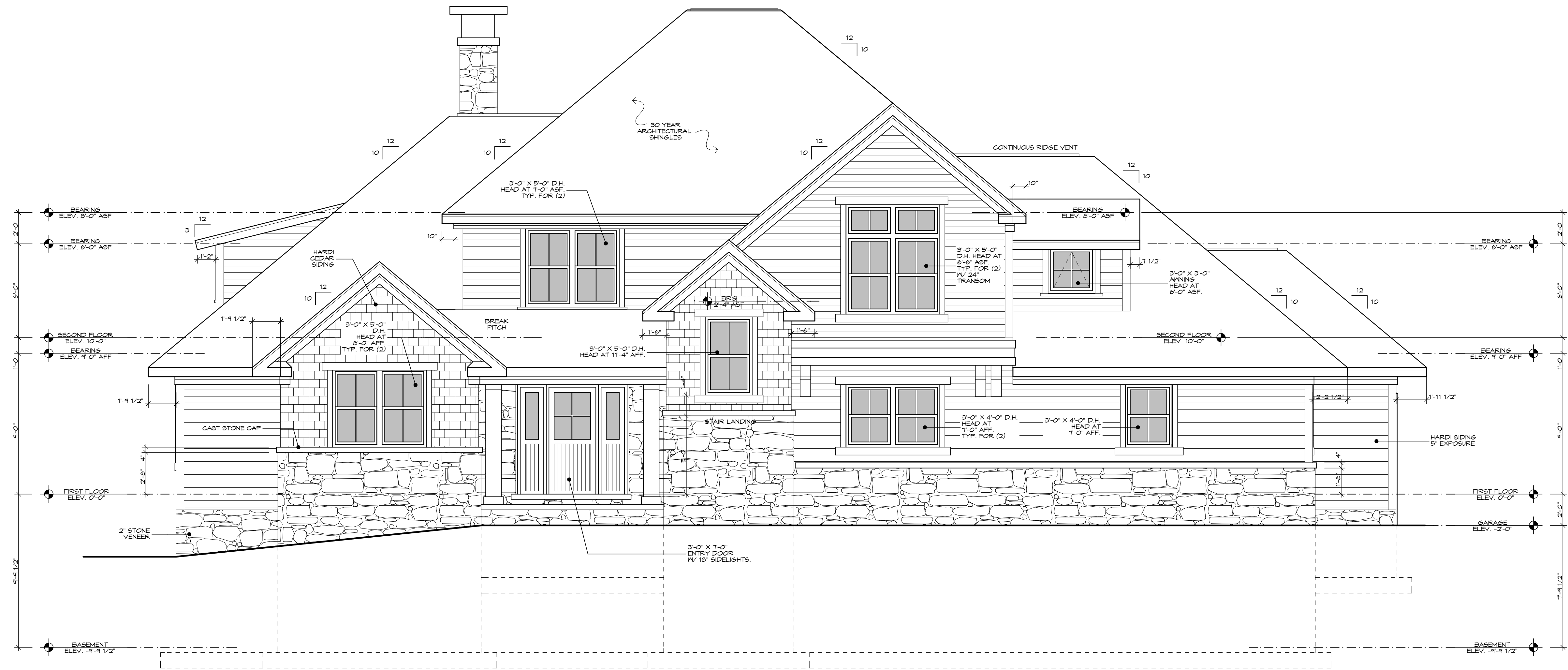


- LEGEND
- PR.=PROP.=PROPOSED
 - EX.=EXISTING
 - # TREE
 - PROPOSED GRADE
 - SWALE = DRAINAGE FLOW/SWALE
 - TREE TO BE REMOVED
 - PR. CONC. DRIVE
 - DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES

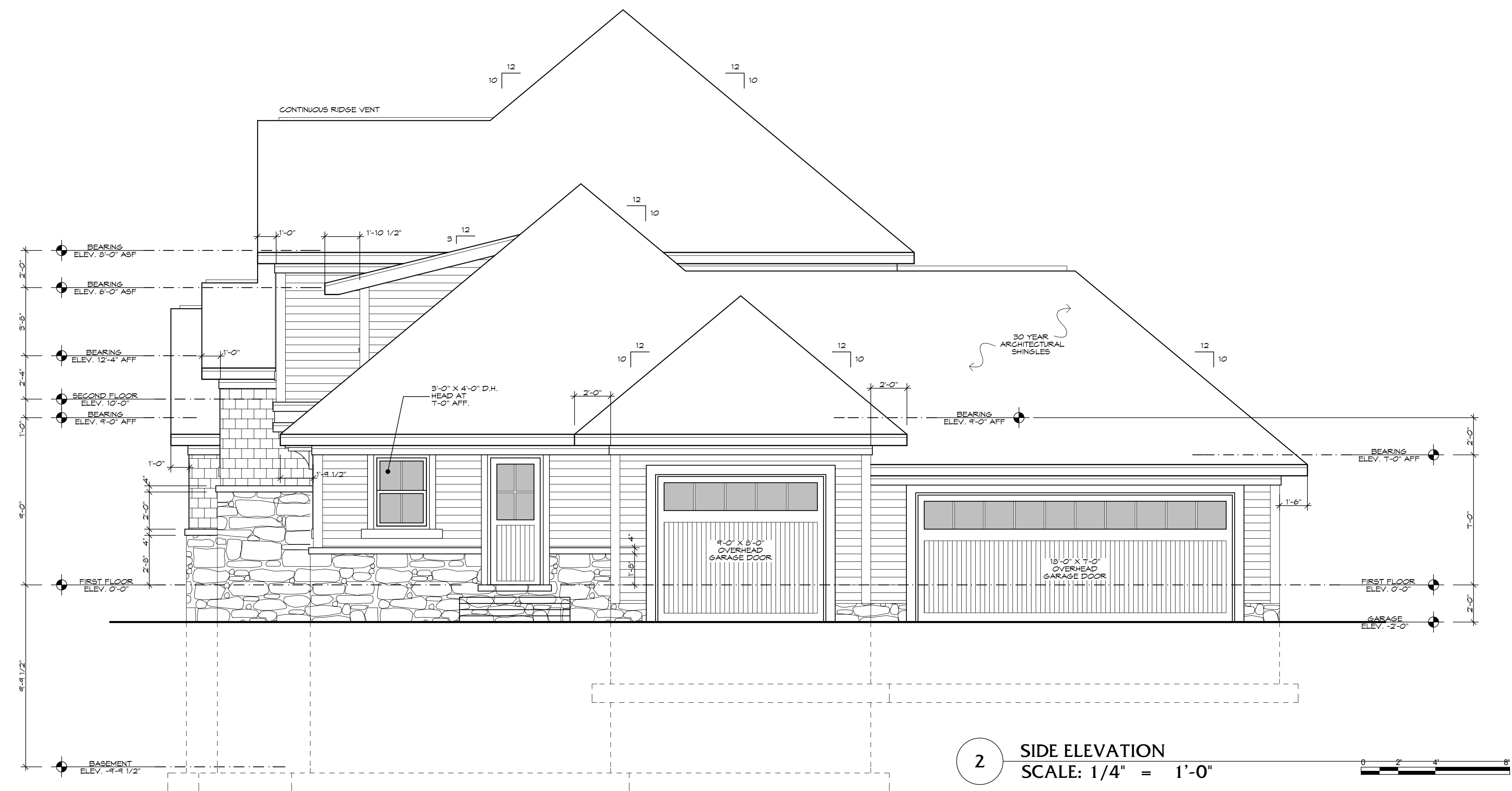
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SHEET 3 OF 3
PROJ. No. 17-348 DRAWING NAME 17-348LIP.dwg



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PENINSULA
ARCHITECTS

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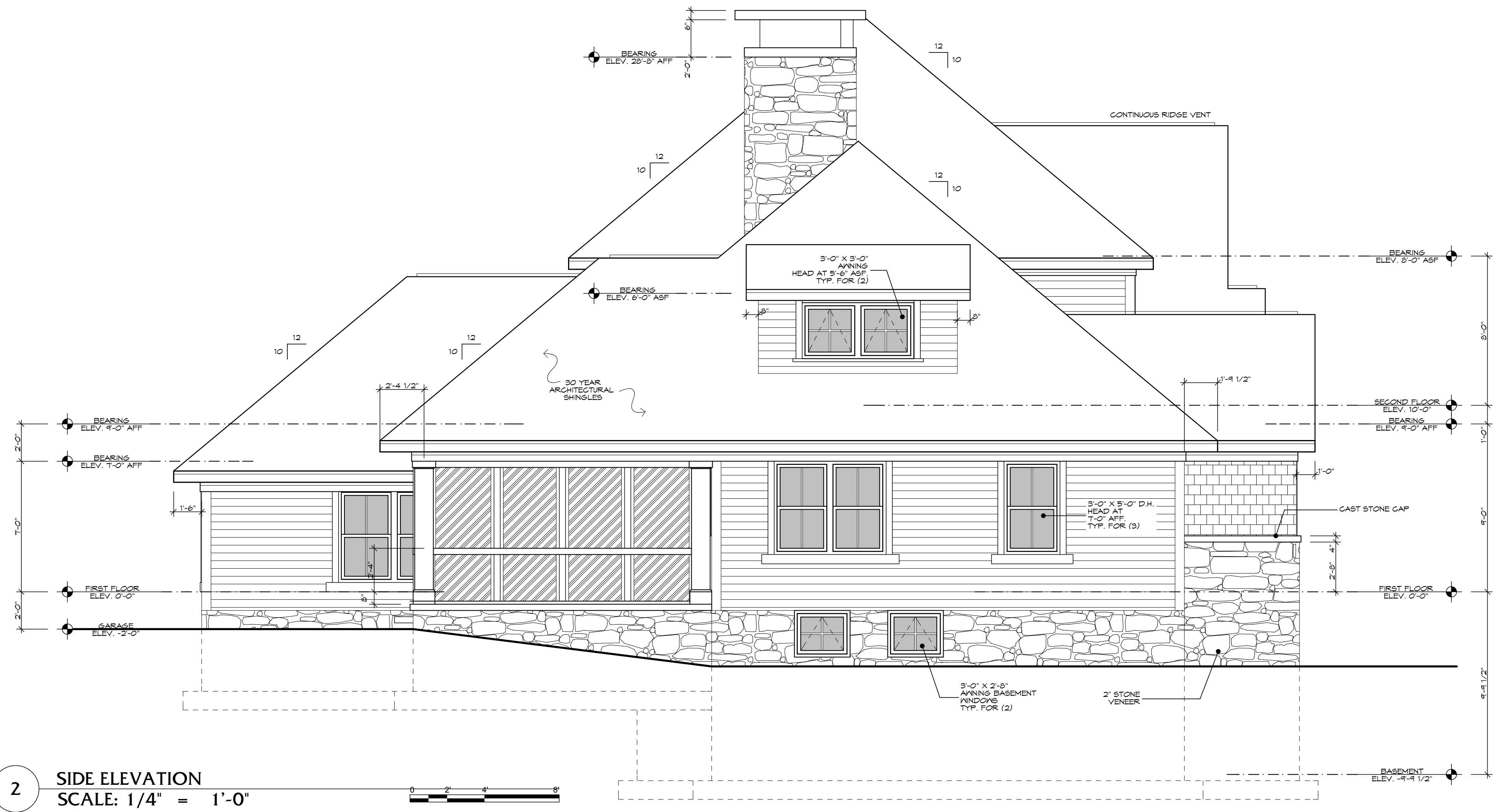
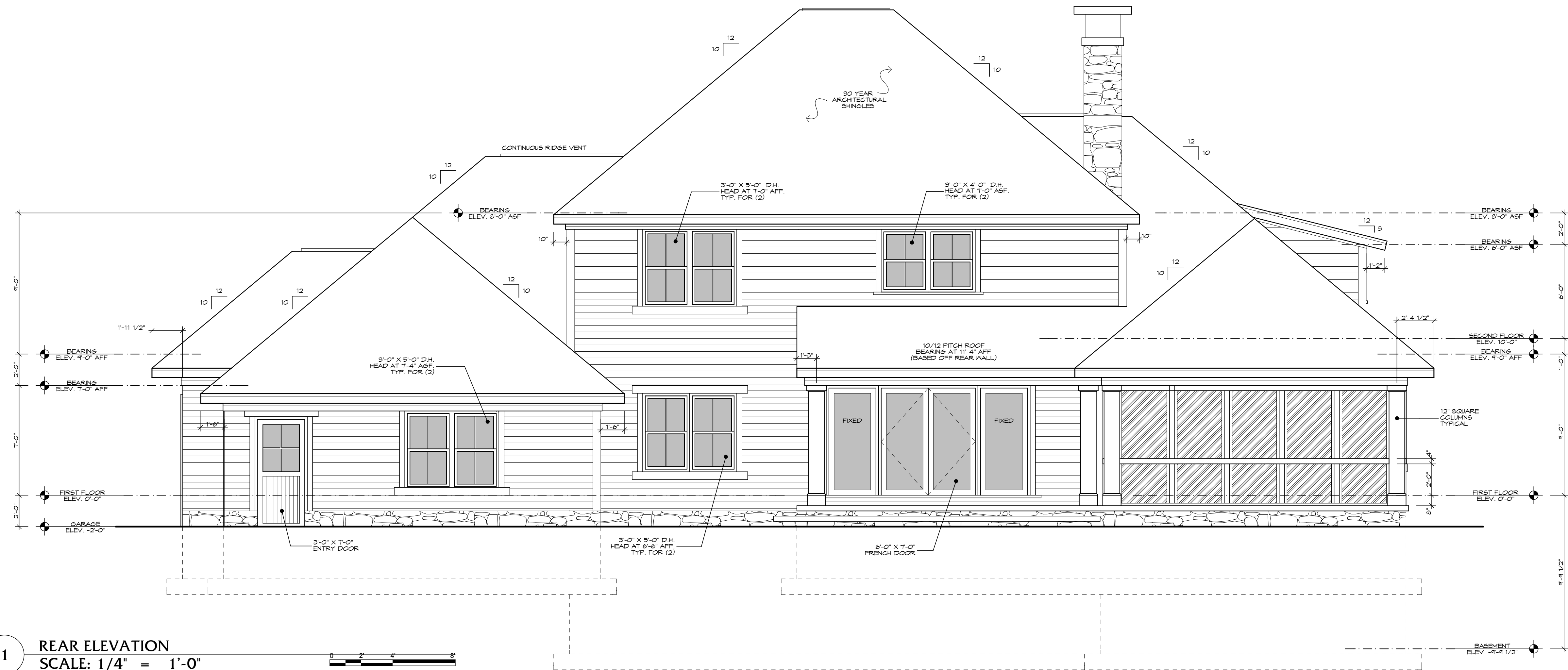
The Stenger Residence
15 JOHN CLARK LANE
HUDSON, OHIO

DATE	
11-08-17	FOR REVIEW
11-13-17	FOR REVIEW
11-20-17	REVISIONS
12-04-17	OUT BUILDINGS
12-21-17	BANK SET
01-01-18	REVISIONS
01-22-18	FOR PERMIT
02-16-18	REVISIONS

DRAWN
BY
SCALE

AS NOTED

A3.0



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ARCHITECTS**

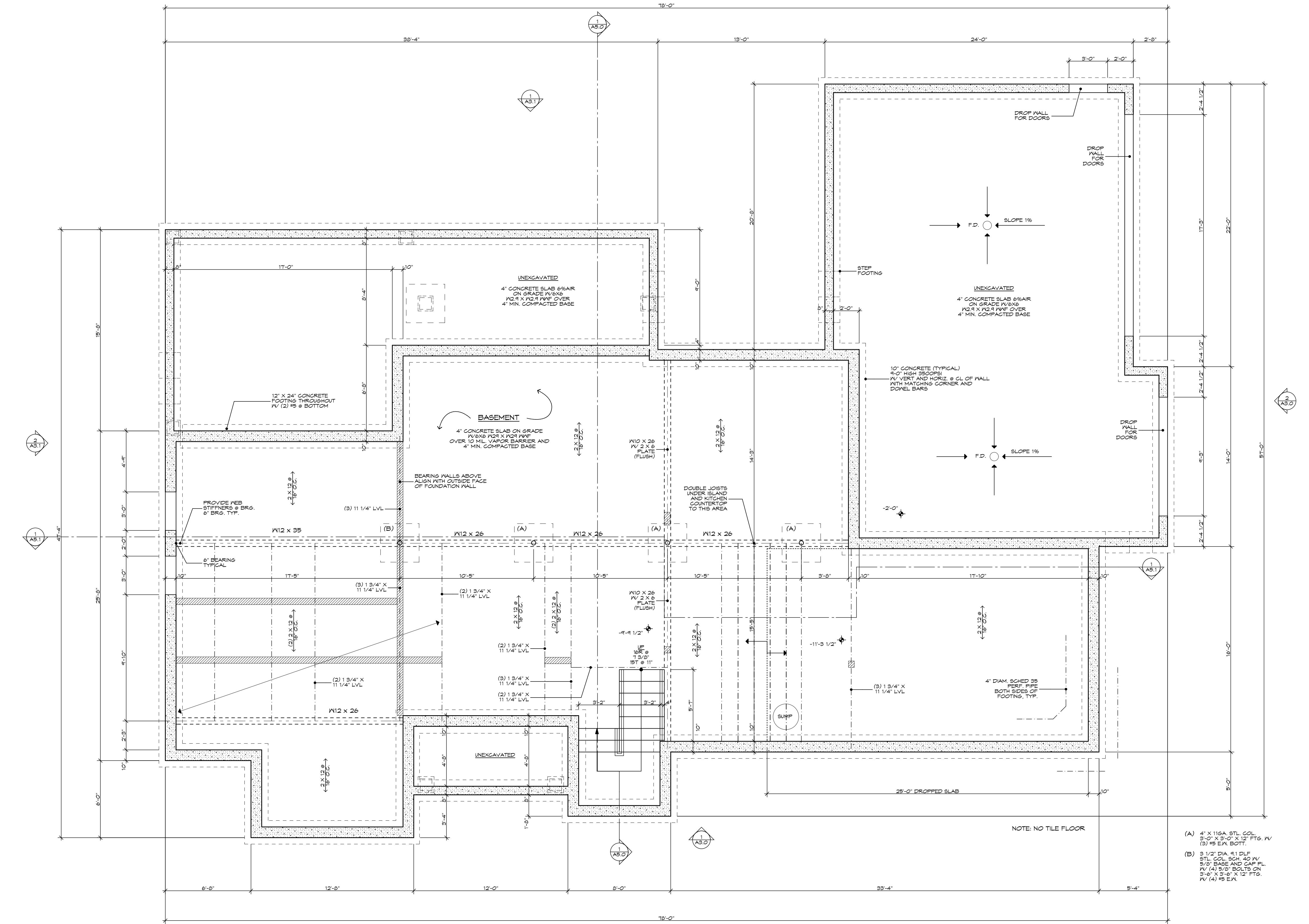
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The Stenger Residence

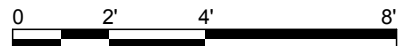
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DRAWN BY	
SCALE	AS NOTED

A3.1



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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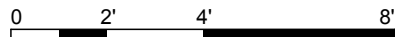
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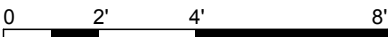
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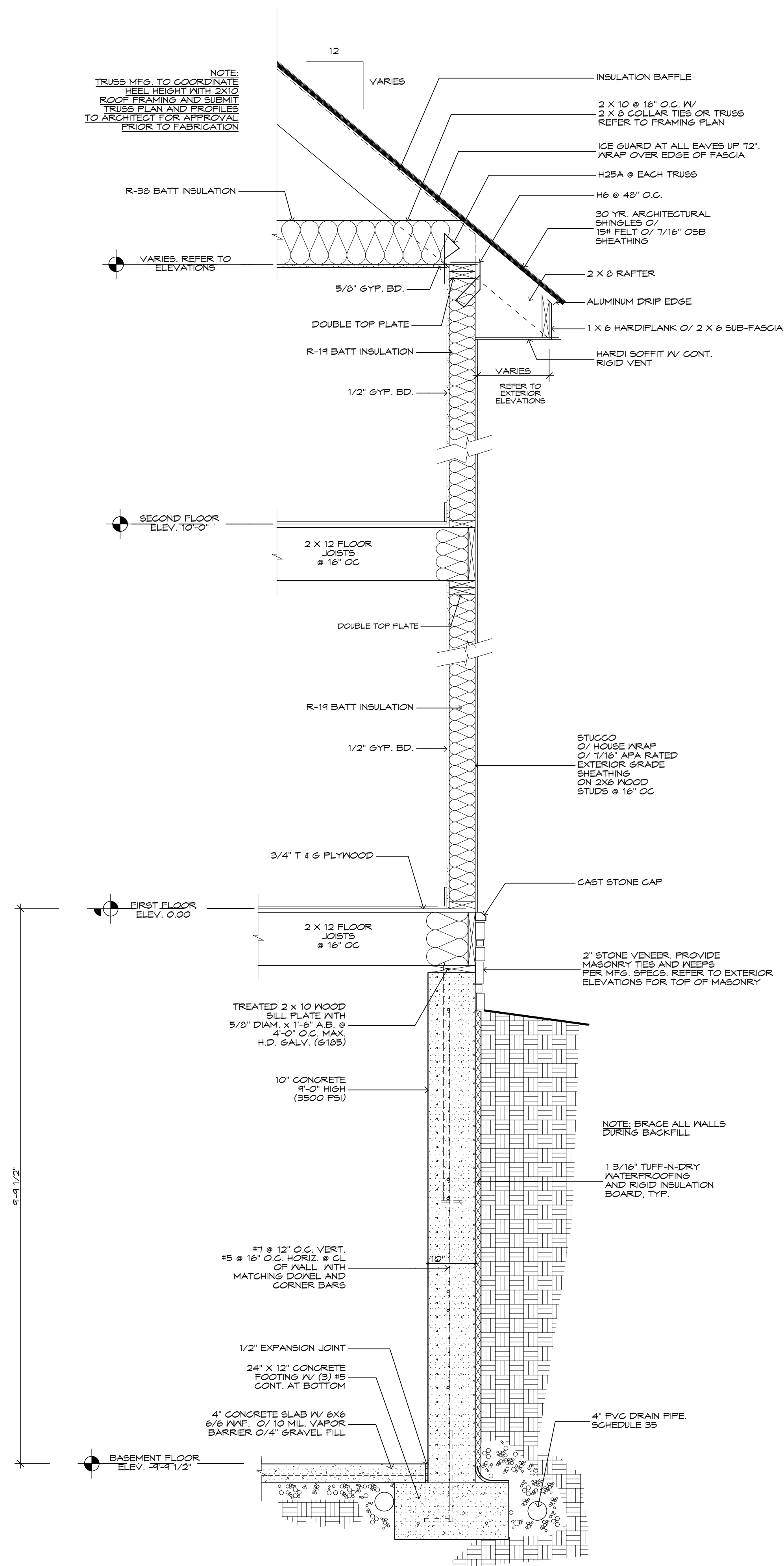
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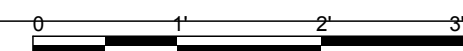
A1.0



A2.0



A TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



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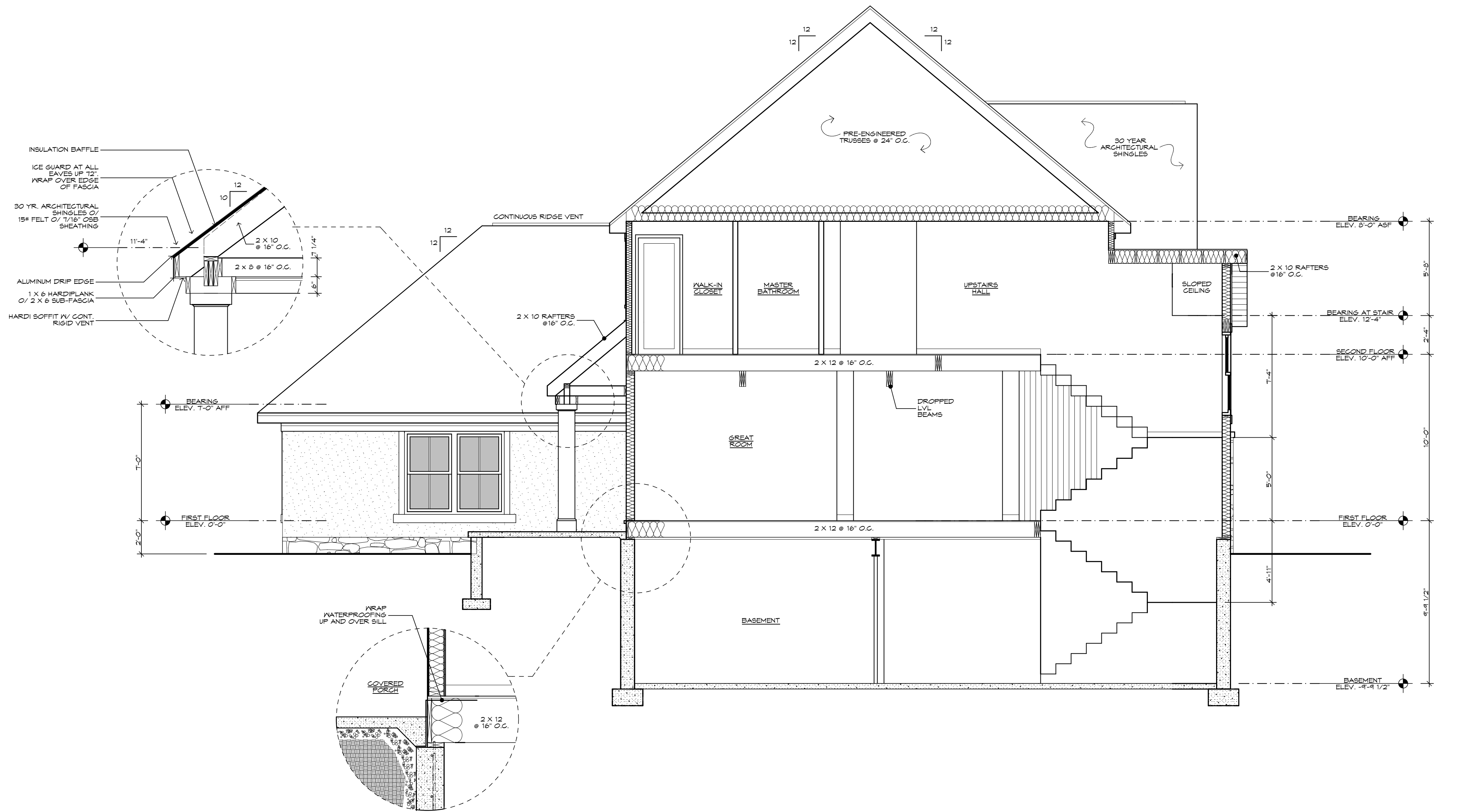
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DRAWN BY	
SCALE	AS NOTED

A4.0



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

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A5.0



1 BUILDING SECTION
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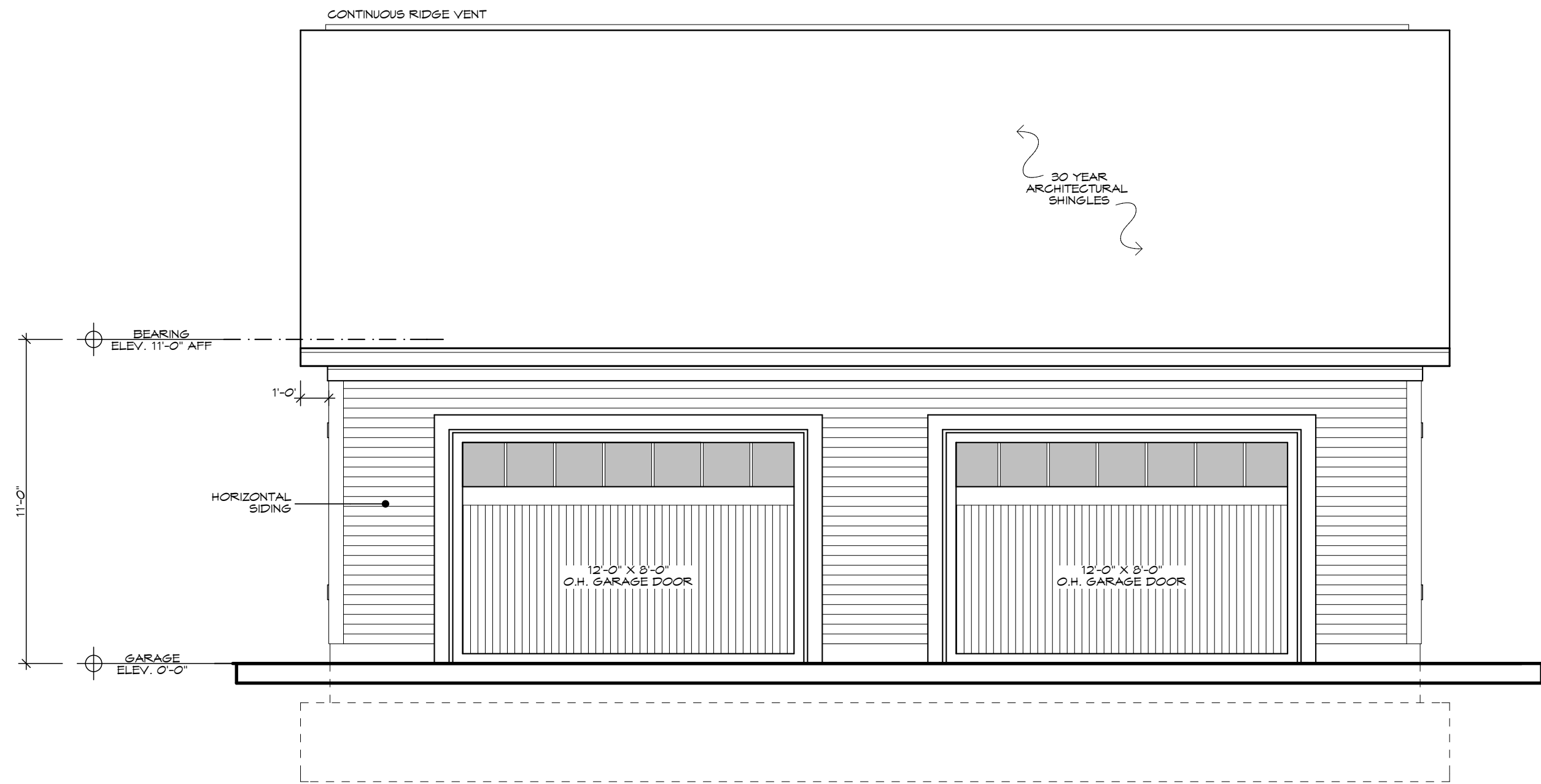
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SCALE

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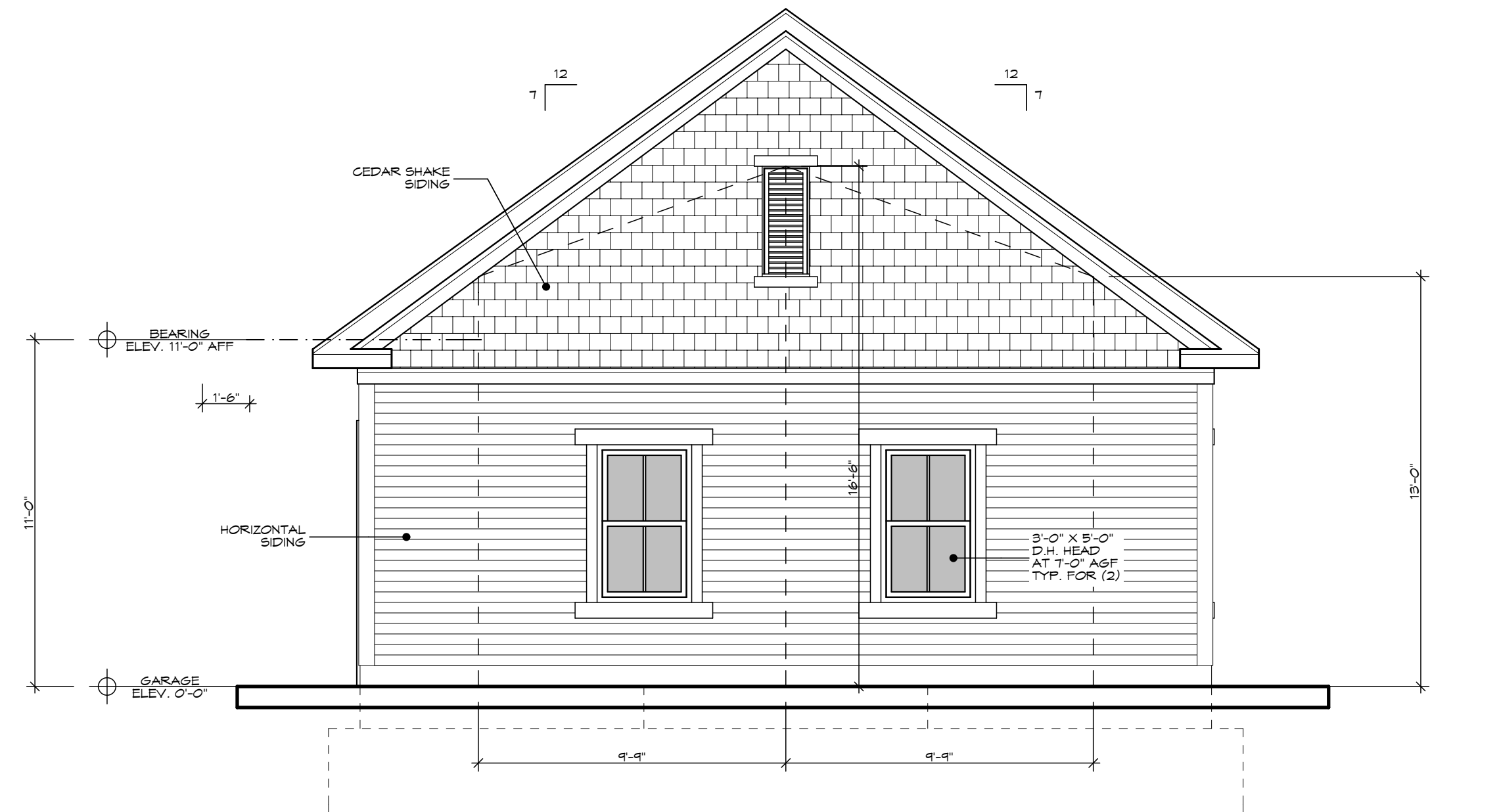
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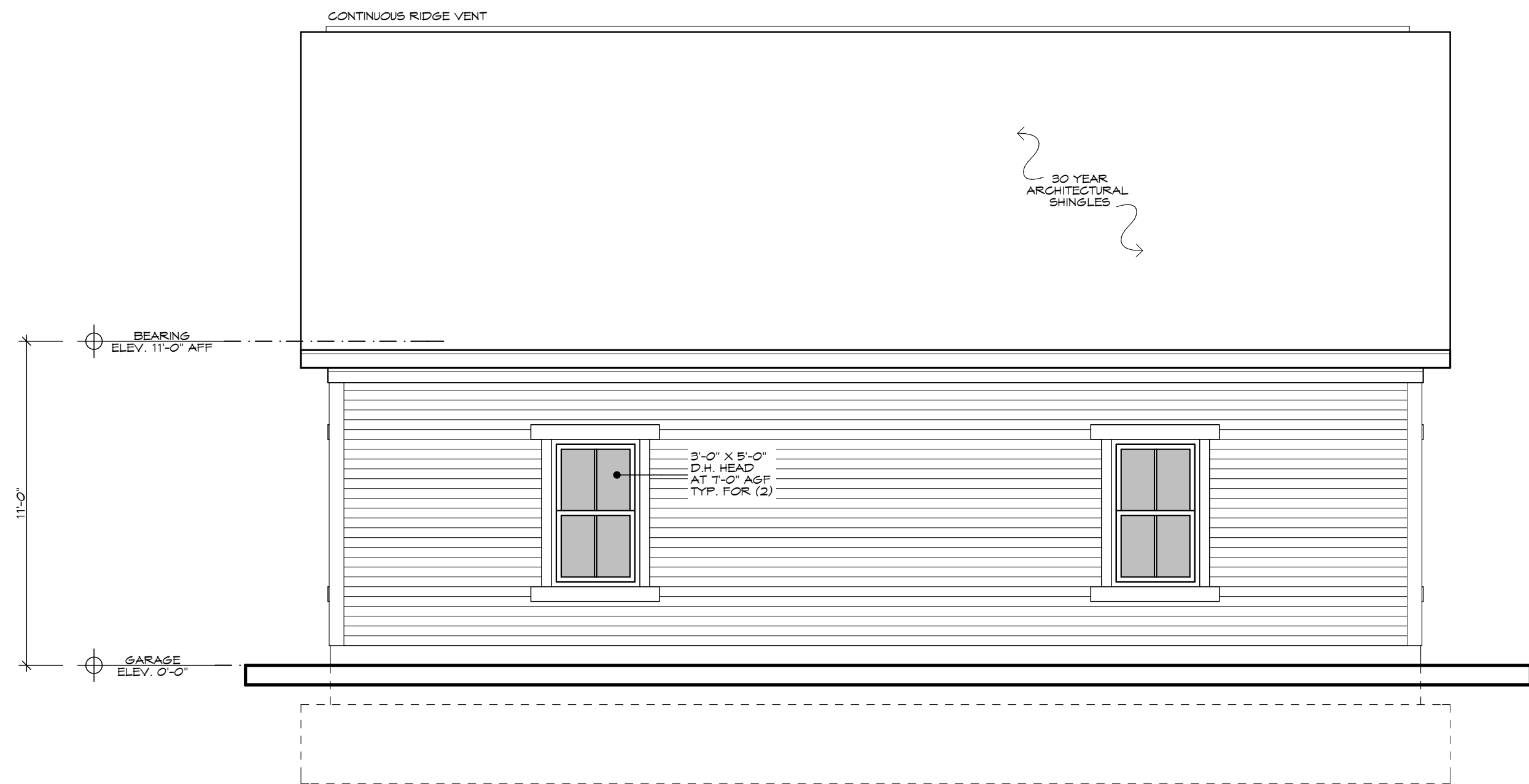
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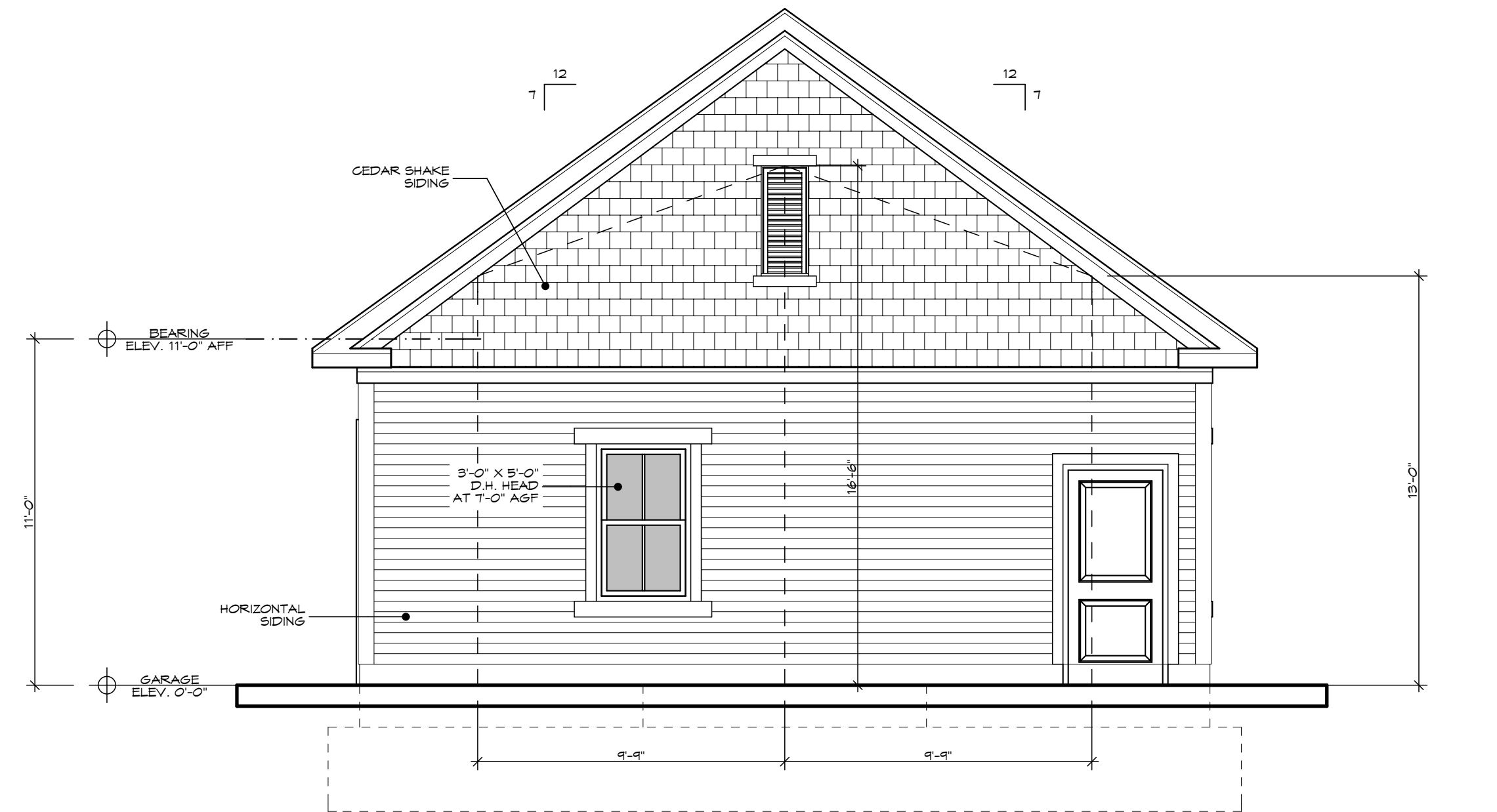
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

**PENINSULA
ARCHITECTS**

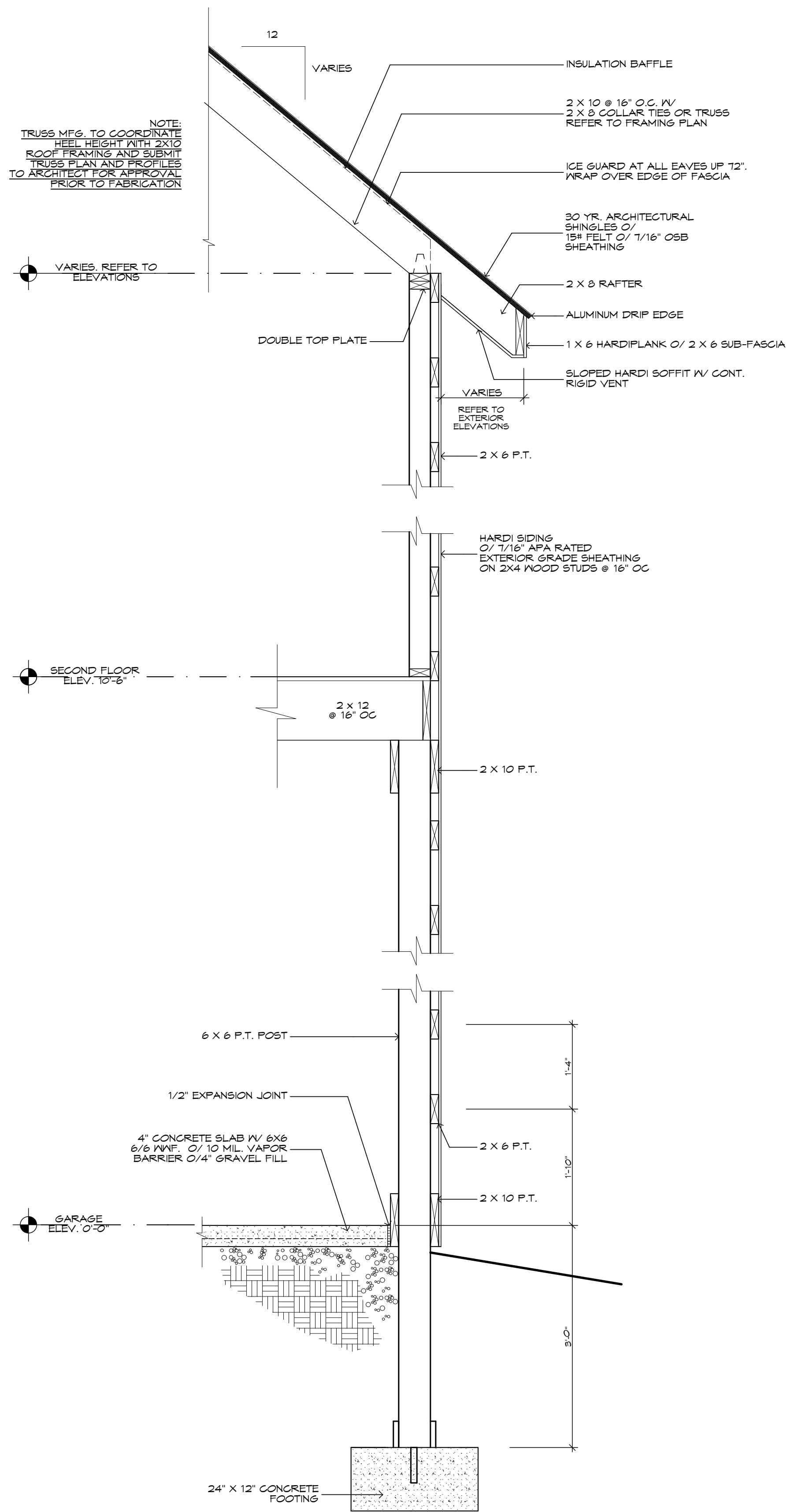
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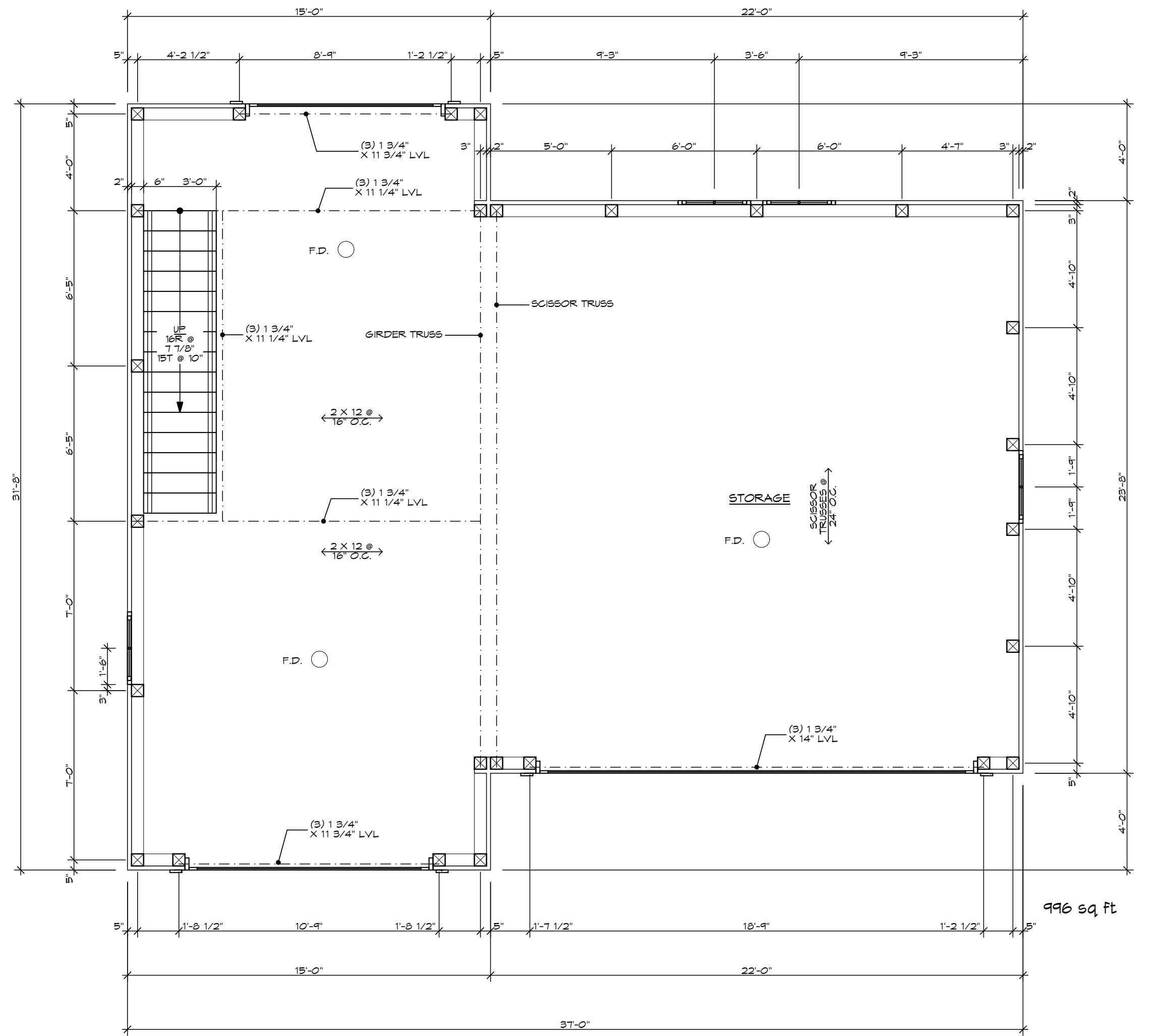
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DRAWN BY	
SCALE	AS NOTED

A6.1



TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"



1 STORAGE BUILDING PLAN
SCALE: 1/4" = 1'-0"

**PENINSULA
ARCHITECTS**

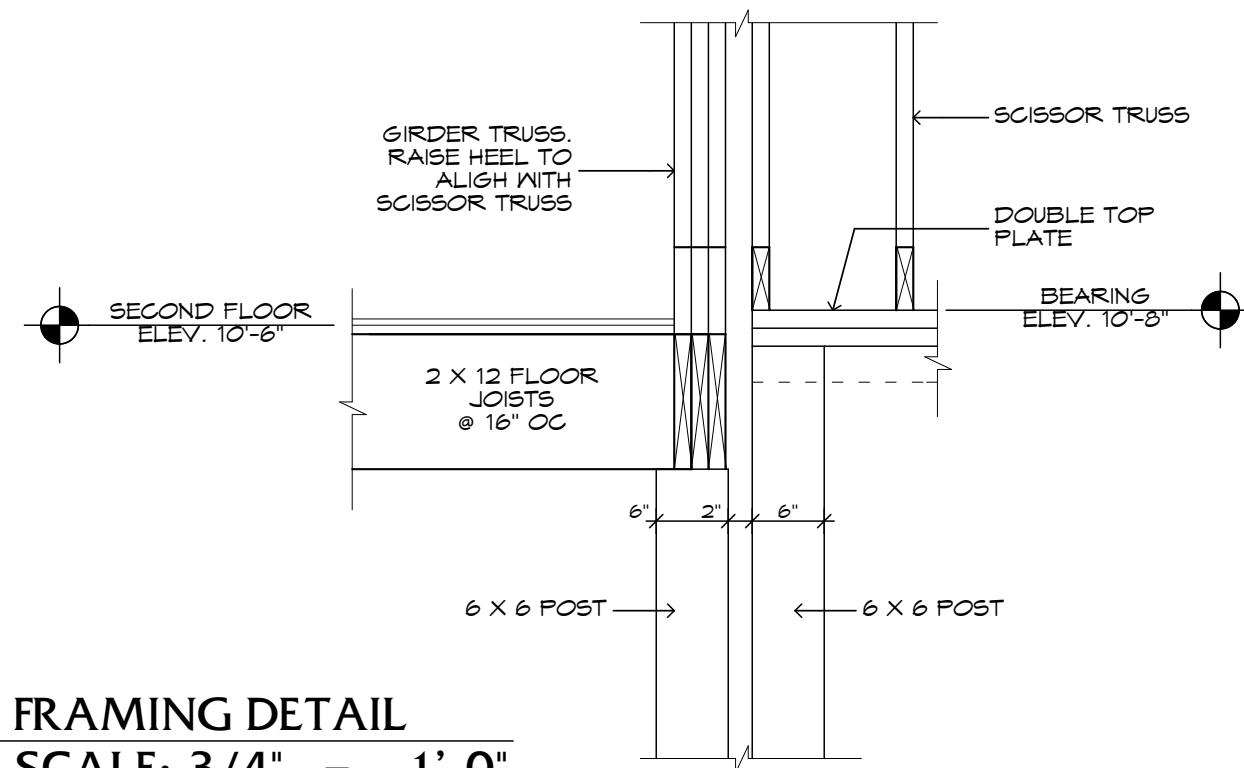
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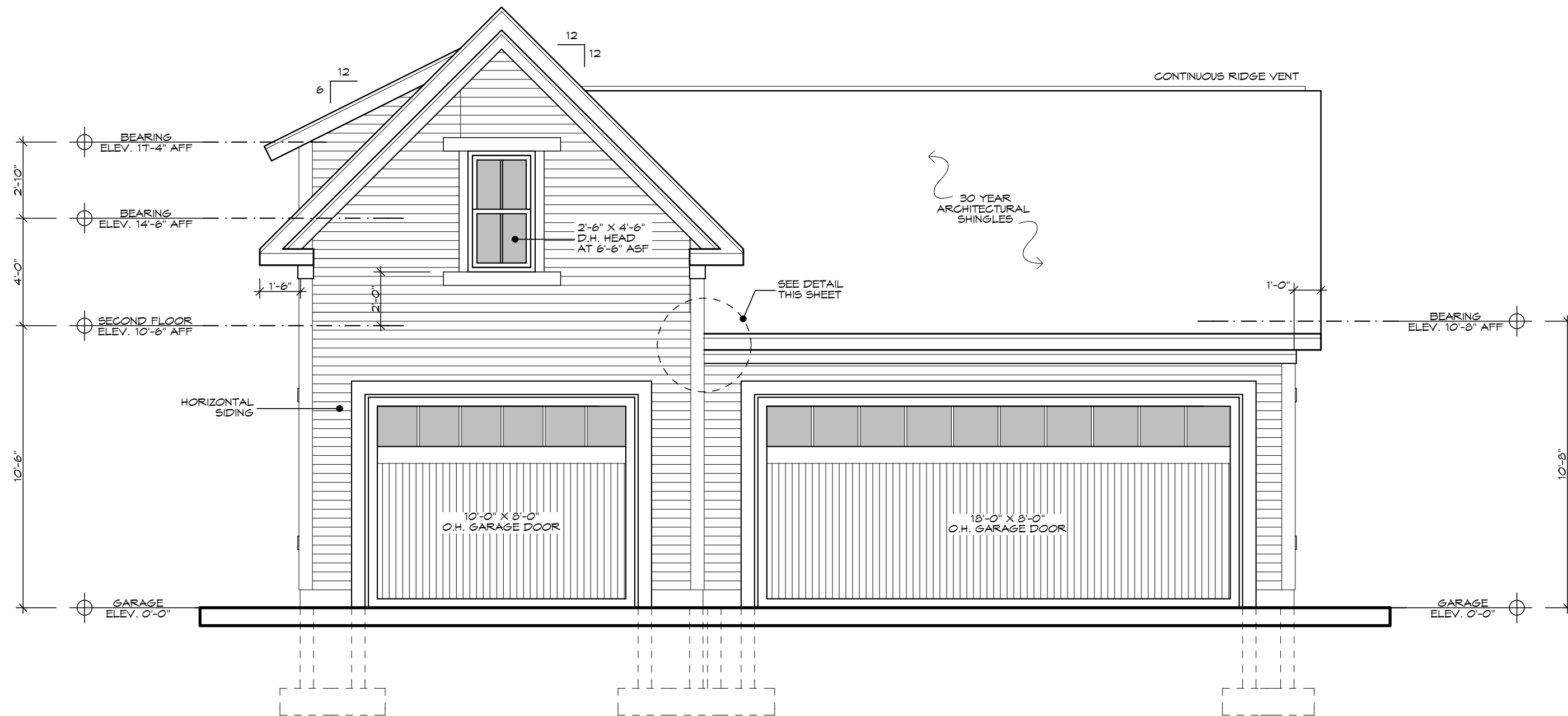
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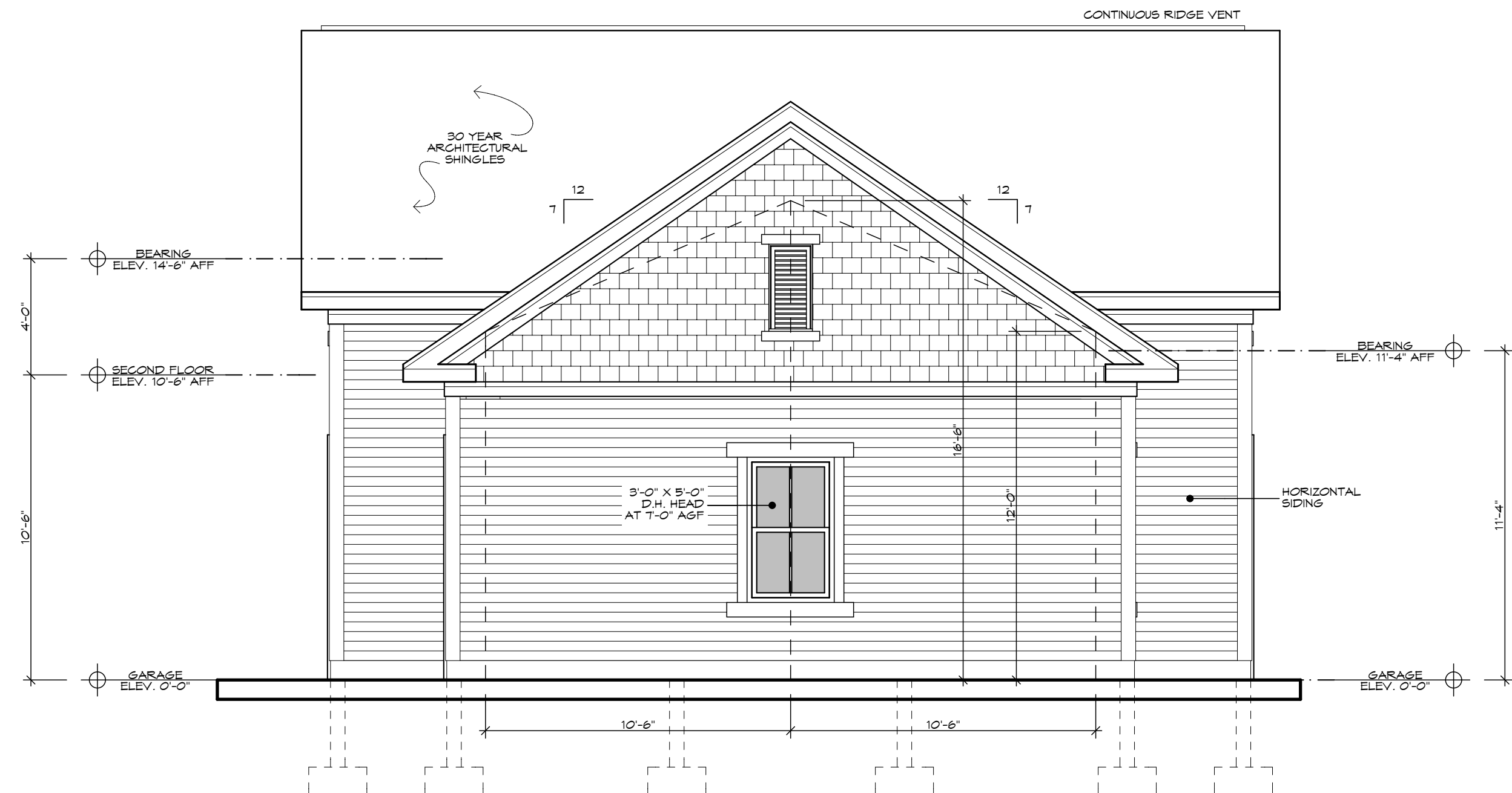
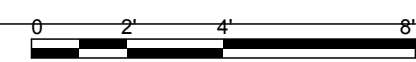
A6.2



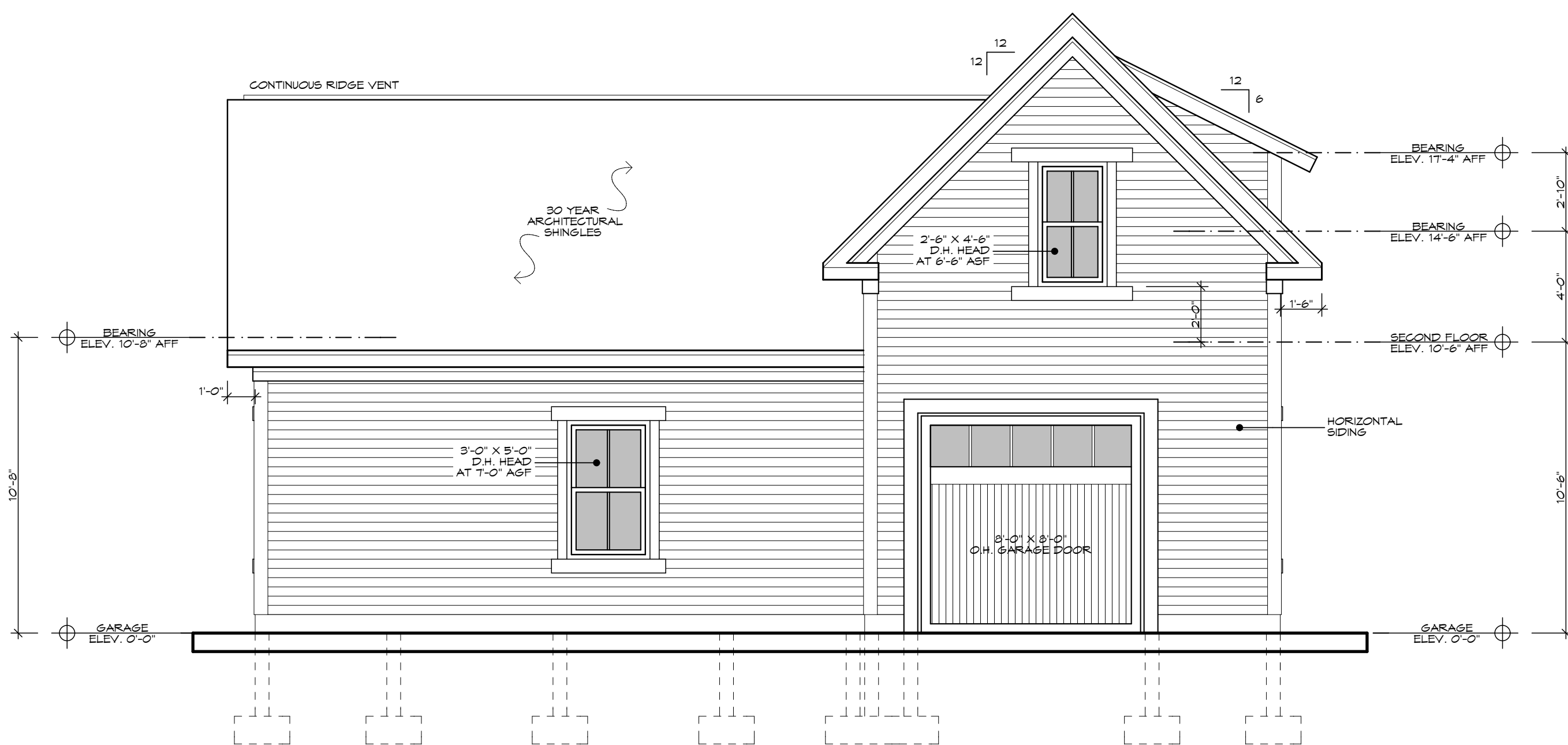
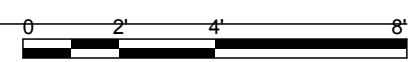
A FRAMING DETAIL
SCALE: 3/4" = 1'-0"



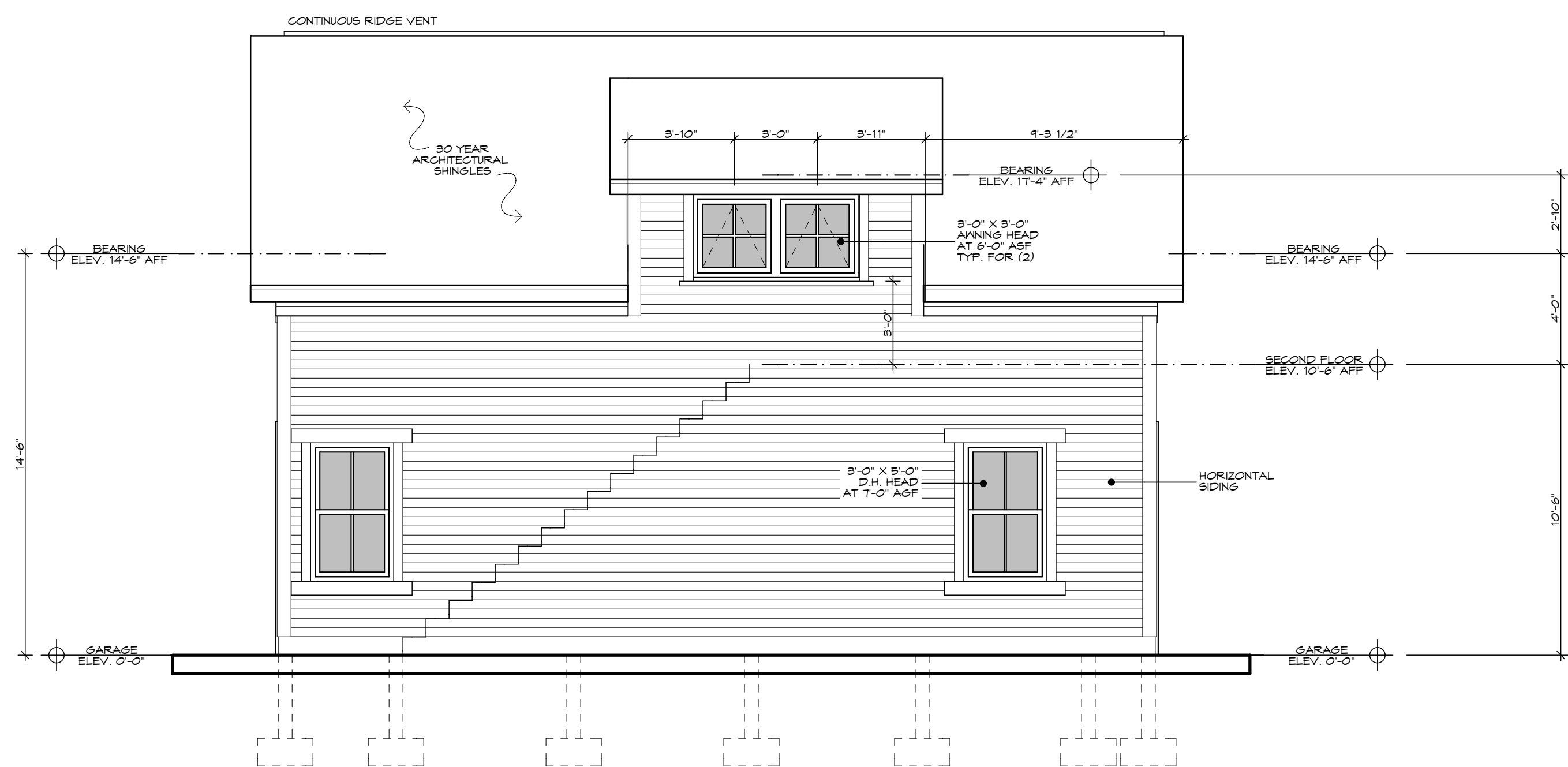
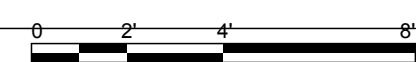
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



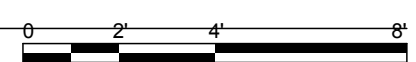
2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



PENINSULA
ARCHITECTS

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The Stenger Residence
15 JOHN CLARK LANE
HUDSON, OHIO

DATE	
11-08-17	FOR REVIEW
11-13-17	FOR REVIEW
11-20-17	REVISIONS
12-04-17	OUT BUILDINGS
12-21-17	BANK SET
01-01-18	REVISIONS
01-22-18	FOR PERMIT
DRAWN BY	
SCALE	AS NOTED

A6.3

City of Hudson, OH



Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Map Scale
1 inch = 198 feet
2/8/2018



30 John Clark Lane



25 John Clark Lane



236 S Main Street



12 John Clark Lane







