

# HUNTINGTON ROAD 50'

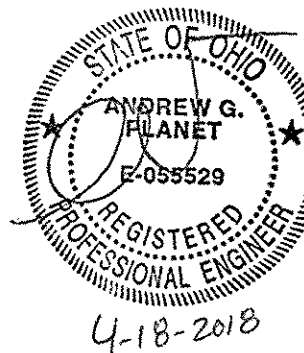
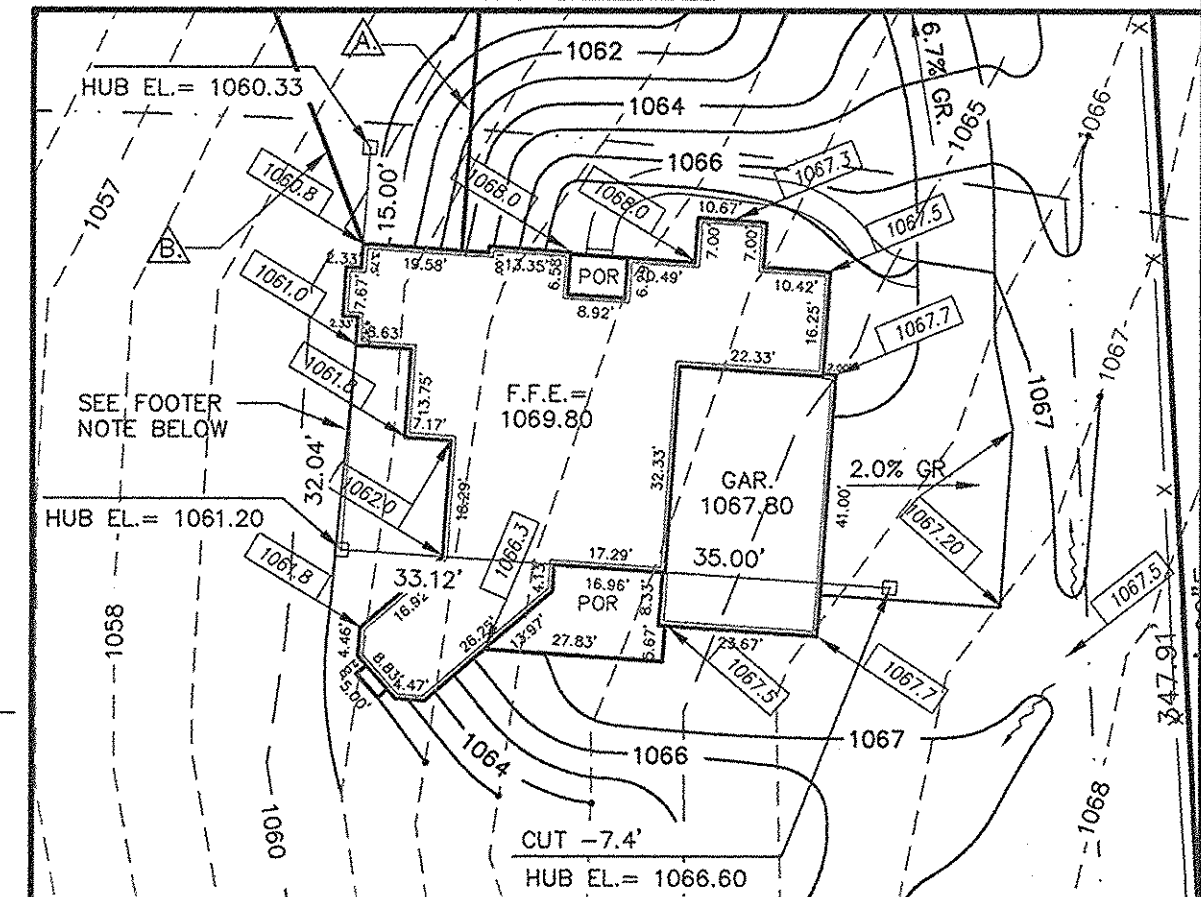
## C-1 CURVE DATA:

RAD.= 1180.89'  
ARC= 198.40'  
TAN= 99.43'  
DELTA= 09°37'34"  
CH.= 198.16'  
N 03°04'10" E

## LOT IMPROVEMENT PLAN

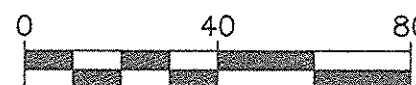
FOR MODERN HOME CONCEPTS  
SITUATED ON PARTS OF SUBLOT 2 AND SUBLOT 3 IN  
THE WESTERN RESERVE RANCH ESTATES PART 1, CITY OF  
HUDSON, SUMMIT COUNTY, STATE OF OHIO  
APRIL, 2018

## ENLARGED GRADING PLAN: 1" = 30'



## LEGEND

- x 1214.0 EXISTING SPOT ELEVATION
- 1214.0 PROPOSED SPOT ELEVATION
- - - 1214 - - - EXIST. CONTOUR
- 1214 PROPOSED CONTOUR
- SWALE FLOW
- OFF-SET HUB W/ TACK SET
- PL. = PLAN DATA



SCALE: 1" = 40'



BENCHMARK:  
TOP CASTING SAN. MH.  
ELEV. = 1059.50

## GENERAL CONSTRUCTION NOTES:

- INSTALL NEW SANITARY WYE AT MAIN W/ AN INSERTA-TEE CONNECTION.  
EX. 8" FL. = 1049.5 +/-  
NEW 4" FL. = 1050.2 +/-  
INSTALL 130 L.F. - 4" SAN. CONN. @ 5.4% PROP. 4" FL. @ HSE. = 1057.2.

- PROP. 6" STM. @ HSE. = 1059.2.  
INSTALL 115 L.F. - 6" STM. @ 6.2%  
PROP. 6" FL. @ OUTLET = 1052.0, INSTALL 8 L.F. 6" ROCK RIP-RAP PROTECTION.

## FOOTER NOTE:

FOOTERS SHALL BE DEEPEMED WHERE NECESSARY TO MAINTAIN PROPER FROST PROTECTION.

## PROP. RESIDENCE ELEVATIONS:

GAR. FLR. = 1067.80  
1st. FLR. = 1069.80  
TOP/FDN. = 1068.84  
BSMT FLR. = 1060.17  
BOT. FOOTER = 1059.2

*Rolling & Hoyer, Inc.*

257 SOUTH COURT ST. SUITE 6  
MEDINA, OHIO 44256 DATE 04/16/18  
(330)723-1828 PROJ. No. 22.713  
FAX (330)723-6637

THE CONTRACTOR/OWNER MUST VERIFY ALL FOUNDATION DIMENSIONS & PROPOSED GRADES SHOWN ON THIS TOPOGRAPHIC SURVEY. CUTS BETWEEN HUBS SHALL BE COMPARED FOR DISCREPANCIES. ANY ERROR RESULTING FROM FAILURE TO CHECK SHALL NOT BE THE RESPONSIBILITY OF ROLLING & HOEVER, INC.

P.N. 30-10192  
1.614 Ac.  
JACK & DIANE N. FRIES  
HUNTINGTON ROAD  
DOC. No. 56352245

CAPPED IRON  
PIN FND. @  
0.70' S. &  
1.45' E.

196.96'  
S0° 50' 43"E

EX. 8" SAN.  
SEWER @ 6.3% (PL.)

EX. ASPH. PAVEMENT

EX. 28 L.F. - 12" C.P.P. @ 1.80%  
FL.(N.) = 1057.00 FL.(S.) = 1056.50

EX. SAN. MH.  
T/C = 1059.50  
8" FL. = 1053.15 (PL.)

CAPPED IRON  
PIN FND. @  
0.24' N. &  
1.07' E.

EX. WOOD SPLIT-RAIL FENCE. PART OF FENCE TO BE  
REMOVE FOR DRIVEWAY CONSTRUCTION.

EX. TREE  
TO BE REMOVED

PROP. 12' W. CONC.  
DRIVE @ 6.7%

EX. SPLIT-RAIL  
FENCE

PROP. RESIDENCE W/  
9' HI. BSM'T. WALLS  
(SEE ENLARGED  
DETAIL)

IRON PIPE  
FND. & USD.

68.3'

15' SIDE YARD SETBACK

IRON PIPE  
FND. & USD.



LIST OF DRAWINGS

1. ELEVATIONS
2. ELEVATIONS
3. FOUNDATION PLAN
4. FIRST FLOOR PLAN
5. FINISHED BASEMENT
6. MISCELLANEOUS
7. DETAILS

SQUARE FOOTAGE TOTALS

FIRST FLOOR	= 2843 SQ. FT.
GARAGE	= 1011 SQ. FT.
PORCH	= 95 SQ. FT.
COVERED PATIO	= 245 SQ. FT.
BASEMENT SLAB	= 2624 SQ. FT.
FINISHED BASEMENT	= 146 SQ. FT.



Homeowners : \_\_\_\_\_

We have reviewed all pages and approve them for construction.

Signature \_\_\_\_\_ Date \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

PROPERTY OF MODERN HOME CONCEPTS. ANY  
REPRODUCTION WITHOUT WRITTEN PERMISSION  
IS PROHIBITED.

REVISION

1177 GURCH HILL COURT  
WOOSTER, OHIO 44691  
(330) 464-3364

MODERN HOME  
CONCEPTS

DRAWN BY  
J.R.S.

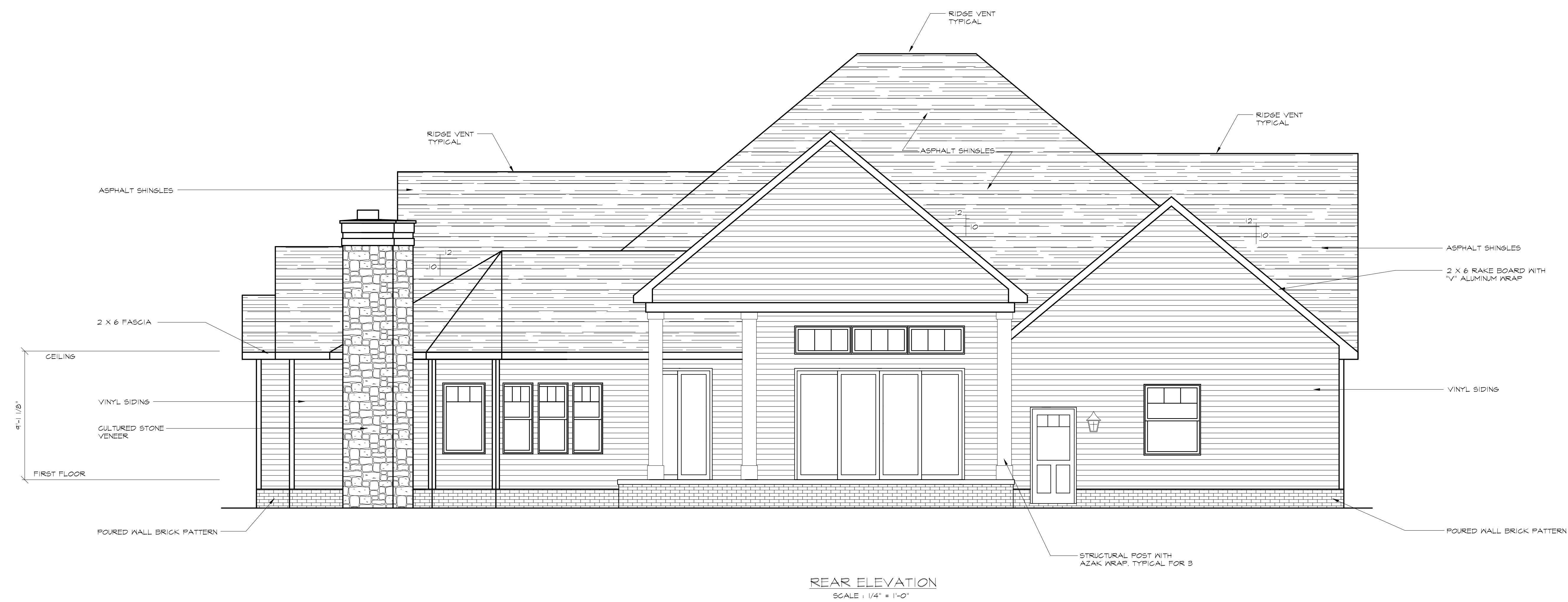
DATE  
3/4/18

SCALE  
1/4" = 1'-0"

DRAWING NUMBER

1

MHC065



REVISION

1177 CHURCH HILL COURT  
WOOSTER, OHIO 44691  
(330) 464-3364

1177 CHURCH HILL COURT  
WOOSTER, OHIO 44691  
(330) 464-3364

MODERN HOME  
CONCEPTS

DRAWN BY  
J.R.S.

DATE  
3/4/18

SCALE  
1/4" = 1'-0"

DRAWING NUMBER  
2

MHC065

[illegible]

WINDOW SCHEDULE				
MANUFACTURER JELD-KEN				
LOCATION	MANUFACTURER NUMBER	ROUGH OPENING SIZE	VENTING R L	WALL SIZE H' X W'
B1	MPCC4B4B	4'-0" X 4'-0"		8' X 6'
B2	MPCC4B4B	4'-0" X 4'-0"		8' X 6'
B3	MPCC4B4B	4'-0" X 4'-0"		8' X 6'
B4	MPCC4B4B	4'-0" X 4'-0"		8' X 6'

TOP OF WINDOWS TO BE FLUSH WITH TOP OF POURED WALL

REVISION

PROPOSED RESIDENCE FOR  
FRIES RESIDENCE  
523 HUNTINGTON ROAD

T CHURCH HILL COURT  
DOOSTER, OHIO 44691  
(330) 464-3369

MODERN HOME  
CONCEPTS

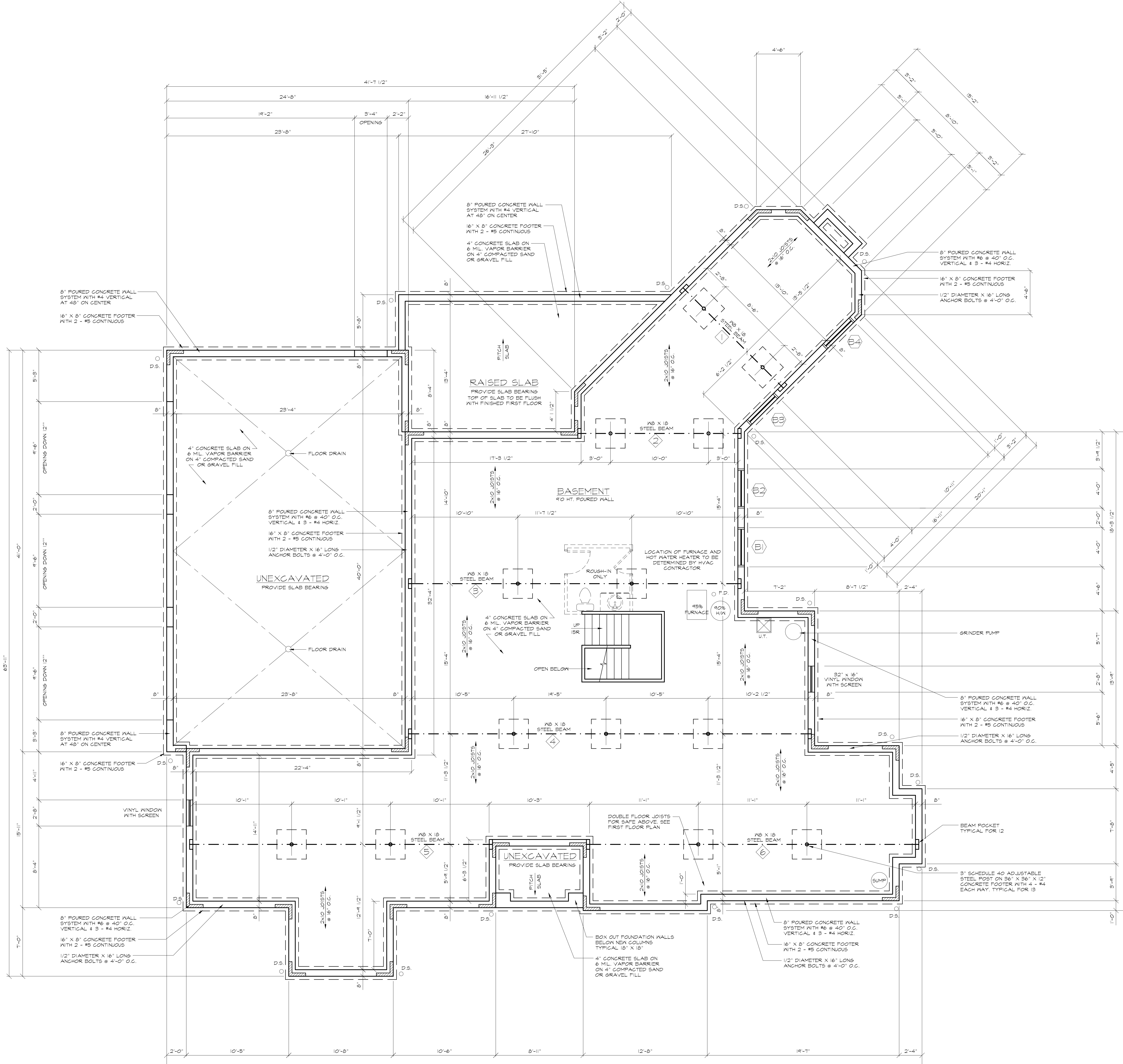
DRAWN BY  
J.R.G.

DATE  
3/9/18

SCALE

DRAWING NUMBER

3



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

NOTES :

ALL L.V.L.'s SIZES TO BE VERIFIED BY LUMBER SUPPLIER/STRUCTURAL ENGINEER

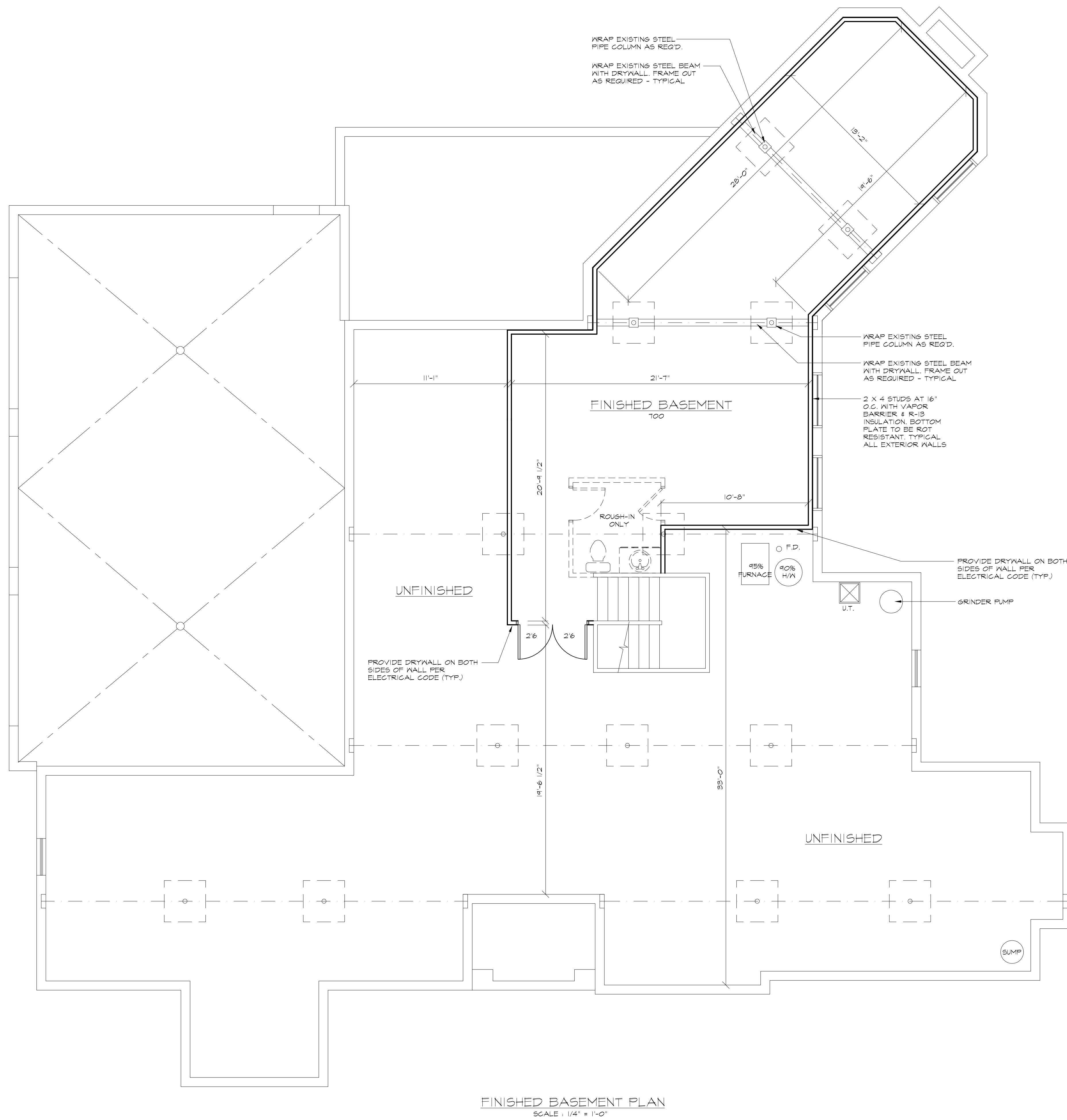
ALL STEEL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.



DENOTES WALL ABOVE

PROPERTY OF MODERN HOME CONCEPTS. ANY  
REPRODUCTION WITHOUT WRITTEN PERMISSION  
IS PROHIBITED





PROPERTY OF MODERN HOME CONCEPTS. ANY REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED

REVISION

MODERN HOME CONCEPTS  
PROPOSED RESIDENCE FOR  
FRIS RESIDENCE  
1528 HUNTINGTON ROAD  
HUDSON, OHIO

MODERN HOME CONCEPTS  
1177 GURCH HILL COURT  
WOOSTER, OHIO 44691  
(330) 464-3584

DRAWN BY  
J.R.S.

DATE  
3/4/18

SCALE  
1/4" = 1'-0"

DRAWING NUMBER  
5

MHC065



WINDOW SCHEDULE				
LOCATION	MANUFACTURER	ROUGH OPENINGS	VENTING	WALL SIZE
1	TSHT266-2	5'-0" X 5'-6"		4'-"
2	TSHT266-2	6'-0" X 5'-6"		4'-"
3	TSHT266-2	4'-0" X 4'-0"		4'-"
4	TSHT266-2	6'-0" X 5'-6"		4'-"
5	CUSTOM ARCH TRANS	6'-0" X 7'-6"		4'-"
6	TSHT266-2	2'-6" X 5'-0"		4'-"
7	TSHT266-2	4'-0" X 4'-0"		4'-"
8	TSHT266-2	7'-0" X 5'-6"		4'-"
9	MPGC28123	3'-0" X 1'-0"		4'-"
10	MPGC28123	3'-0" X 4'-8"	L & R	4'-"
11	TSHT266-2	3'-0" X 5'-0"		4'-"
12	TSHT266-2	3'-0" X 5'-0"		4'-"
13	TSHT266-2	3'-0" X 5'-0"		4'-"
14	MPGC28123	3'-0" X 5'-0"		4'-"
15	MPGC28123	3'-0" X 5'-0"		4'-"
16	TSHT266-2	3'-0" X 5'-0"		4'-"
17	TSHT266-2	3'-0" X 5'-0"		4'-"
18	TSHT266-2	3'-0" X 5'-0"		4'-"
19	TSHT266-2	6'-0" X 8'-0"		4'-"
20	14496 SLIDER	12'-0" X 8'-0"		6'-"
21	3 - MFGC4824	12'-0" X 2'-0"		4'-"
22	TSHT266-2	4'-0" X 5'-0"		4'-"

WINDOW #5 TO HAVE 8'-0" HEADER HEIGHT & 5'-10" RADIUS  
WINDOW #10 TO HAVE 8'-0" HEADER HEIGHT  
WINDOW #21 TO HAVE 1'-0" HEADER HEIGHT

TEMPERED GLASS REQUIRED BY R.C.O. R 308.4 "HAZARDOUS LOCATIONS"

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING MATERIALS:

- GLAZING IN EXTERIOR DOORS EXCEPT JALOUSIES.
- GLAZING IN FIXED OR SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BUTTLED GLOSET DOOR ASSEMBLIES.
- GLAZING IN EXTERIOR STORM DOORS.
- GLAZING IN SECTION R 308.4 ITEM 6 IN WALLS PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET, STORAGE AREA OR BATHROOM. GLAZING IN THESE APPLICATIONS SHALL COMPLY WITH SECTION R 308.4 ITEM 1.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF AN EXPOSED PANEL IS LESS THAN 60" ABOVE THE DRAIN INLET AND 36" HORIZONTALLY FROM THE INSIDE EDGE OF THE TUB OR COMPARTMENT.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" AREA OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL OTHER THAN THOSE LOCATIONS DESCRIBED IN PRECEDING ITEMS NO. 5 AND NO. 6 WHICH MEETS ALL OF THE FOLLOWING CONDITIONS:
  - 1) EXPOSED AREA OF AN INDIVIDUAL PANEL GREATER THAN 9 SQUARE FEET.
  - 2) EXPOSED BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
  - 3) EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, AND
  - 4) ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING.
- GLAZING IN RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE INCLUDING STRUCTURAL BALUSTER PANELS AND NON STRUCTURAL INFILL PANELS.
- GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IN THE POOL OR SPA SIDE IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" HORIZONTALLY OF THE WALKING SURFACE OF A SWIMMING POOL OR SPA. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANELS IN MULTIPLE GLAZING.
- GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE OVER THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREA, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4" OR MORE IN DIAMETER.

NOTE: ALL STAIRS SHALL COMPLY WITH SECTION R 311.5 OF THE R.C.O. ALL CONSTRUCTION SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- ALL EXTERIOR DOORS SHALL HAVE A LANDING ON EACH SIDE OF THE DOOR. SEE EXCEPTIONS OR SECTION R 311.4.3 WHEN THESE LANDINGS MAY BE OMITTED.
- GUARDS SHALL BE INSTALLED AS REQUIRED BY SECTION R 312.1 OF THE R.C.O.
- HANDRAILS SHALL BE INSTALLED ON AT LEAST ONE SIDE OF CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. THE HANDRAIL SHALL BE LOCATED NOT LESS THAN 34" AND NOT MORE THAN 38" FROM THE SLOPED PLANE OF THE TREAD NOSING.

#### NOTES

ALL LVL'S SIZES TO BE VERIFIED BY LUMBER SUPPLIER/STRUCTURAL ENGINEER.  
ALL STEEL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER.

P.S.B. = PROVIDE SOLID BEARING

PROVIDE 3 NAILS INTO PLATE AT FIRST 3 BAYS AT EXTERIOR CORNERS

OVERLAP TOP PLATE AT ALL EXTERIOR WALL INTERSECTIONS

PROVIDE 3 NAILS EACH SIDE OF TOP PLATE AT ALL BUTT JOINTS

PROVIDE HORIZONTAL BRACING AT 8' AT BRACED WALL PANEL SECTIONS

ALL MICROCLAMS, MULTIPLE OF 3 OR MORE SHALL BE BOLTED PER MANUFACTURERS REQUIREMENTS

PROVIDE (2) FLOOR JOISTS BELOW ALL PARTITIONS (ABOVE) PARALLEL TO FLOOR JOISTS. PROVIDE SOLID BLOCKS BELOW ALL PARTITIONS (ABOVE) PERPENDICULAR TO FLOOR JOISTS.

CONTRACTOR IS TO VERIFY ALL STRUCTURAL, MECHANICAL, ELECTRICAL, & PLUMBING BEFORE STARTING CONSTRUCTION.

EGRESS WINDOWS TO MEET THE FOLLOWING:  
MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.  
MINIMUM OPENING HEIGHT OF 24"  
MINIMUM OPENING WIDTH OF 20"  
MINIMUM SILL HEIGHT OF 44"

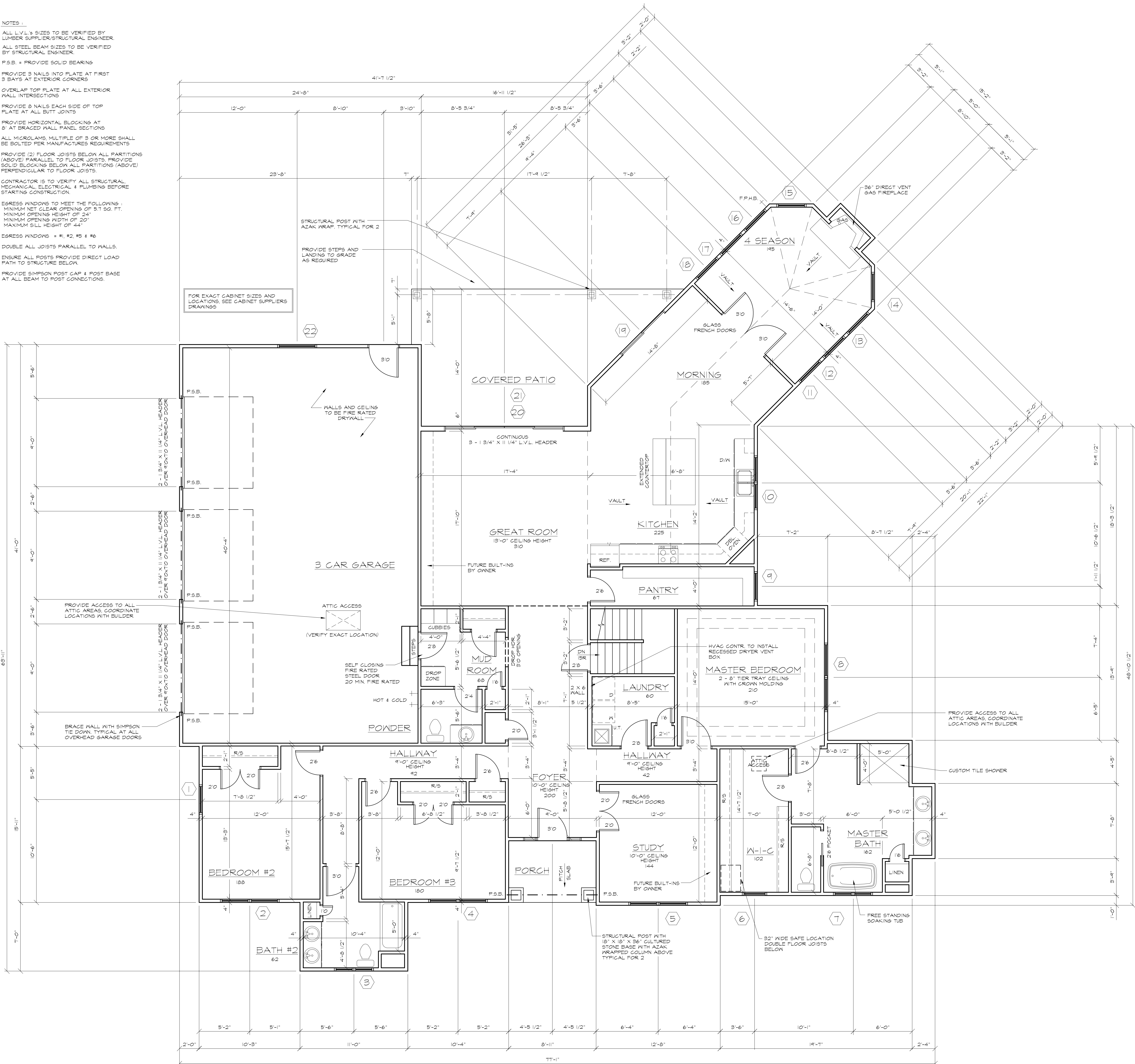
EGRESS WINDOWS = #1, #2, #5 & #6

DOUBLE ALL JOISTS PARALLEL TO WALLS.

ENSURE ALL POSTS PROVIDE DIRECT LOAD PATH TO STRUCTURE BELOW.

PROVIDE SIMPSON POST CAP & POST BASE AT ALL BEAM TO POST CONNECTIONS.

FOR EXACT CABINET SIZES AND LOCATIONS, SEE CABINET SUPPLIERS DRAWINGS



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PROPERTY OF MODERN HOME CONCEPTS. ANY REPRODUCTION WITHOUT WRITTEN PERMISSION IS PROHIBITED.

#### REVISION

NO.	DESCRIPTION

JOE ZIEGLER  
PROPOSED RESIDENCE FOR  
FRIES RESIDENCE  
7528 HUNTINGTON ROAD  
HUDSON, OHIO

1177 CUNY HILL COURT  
COLUMBUS, OHIO 43261  
(614) 464-3364

MODERN HOME  
CONCEPTS

DRAWN BY  
J.R.S.  
DATE  
3/14/18  
SCALE  
1/4" = 1'-0"

DRAWING NUMBER  
4

MHC065



GENERAL NOTES

WHEN THIS PLAN IS SUBMITTED FOR PERMIT IT IS UNDERSTOOD THAT THE BUILDER HAS REVIEWED THE DOCUMENTS AND HAS ACCEPTED THE PLANS AS READY TO CONSTRUCT. IF QUESTIONS ARISE CONTACT THE DESIGNER IMMEDIATELY.

ALL SPECIFICATIONS FOR THIS PROJECT SHALL CONFORM TO INTERNATIONAL CODE (LATEST EDITION) WHETHER INDICATED OR NOT. THE USE OF THESE DOCUMENTS IS RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REUSE OR REPRODUCTION OF THE DOCUMENTS (IN WHOLE OR IN PART) FOR ANY OTHER PURPOSE IS PROHIBITED.

IF A DISCREPANCY OR CONFLICT BETWEEN CODE REQUIREMENTS, DRAWING DETAILS, SPECIFICATIONS, ENGINEERING DATA, MANUFACTURERS RECOMMENDATIONS OR OWNER PROVIDED INFORMATION BECOMES KNOWN TO THE CONTRACTOR, HE OR SHE SHALL PROMPTLY REPORT THE CONFLICT OR DISCREPANCY TO THE OWNERS REPRESENTATIVE FOR CLARIFICATION AND CORRECTIVE ACTION. IN ADDITION ANY WORK INSTALLED IN CONFLICT WITH REQUIREMENTS IDENTIFIED HEREIN WITHOUT PROPER NOTIFICATION SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OR HER EXPENSE AND NO COST TO THE ARCHITECT, DESIGNER, ENGINEER, OCCUPANT OR BUILDING OWNER.

SUB-CONTRACTOR SHALL DETERMINE ERECTION PROCEDURE AND SEQUENCING AND PROVIDE WHATEVER BRACING THAT MAY BE REQUIRED TO COMPLETE THE WORK.

VERIFY ALL ROUGH OPENINGS WITH THE MANUFACTURER PRIOR TO FRAMING.

EACH SUB-CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED PERMITS AND SCHEDULE ALL INSPECTIONS AND COORDINATE ALL TRADES.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF ALL PERSONS INCLUDING EMPLOYEES AND PROPERTY.

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

ALL SYMBOLS AND ABBREVIATIONS USED ON THESE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE ABBREVIATIONS OR SYMBOLS AS TO THEIR EXACT MEANING THE DESIGNER SHALL BE NOTIFIED FOR CLARIFICATION.

ALL EXTERIOR WALLS ARE SHOWN AT 4" UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS ARE SHOWN AT 8 1/2" UNLESS NOTED OTHERWISE.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

NOTIFY CONTRACTOR OF ANY DISCREPANCIES. CONTRACTOR TO VERIFY ALL MEASUREMENTS ON SITE.

ALL WINDOWS ARE INDICATED BY FRAME SIZE. ALL WINDOWS SHALL HAVE DESIGN PRESSURE RATINGS IN ACCORDANCE WITH R.C.O. 612.5

PROVIDE 1 3/4" INSULATED METAL DOOR (C LABEL) OR EQUAL TO GARAGE.

SMOKE DETECTORS SHALL BE HARD WIRED AND INTERCONNECTED WITH BATTERY BACK UP.

PROVIDE CARBON MONOXIDE DETECTORS OUTSIDE EACH SLEEPING ROOM.

ALL UNDERGROUND ELECTRICAL LINES SHALL BE EMBEDDED IN SAND.

SUMP PUMPS (IF REQUIRED) SHALL HAVE AN IN LINE CHECK VALVE.

ALL HABITABLE ROOMS SHALL HAVE AGGREGATE SLABING OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM.

ROOMS USED FOR SLEEPING SHALL COMPLY WITH R.C.O. SECTION 3101 FOR EGRESS REQUIREMENTS.

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ALL SIDES WITH 5/8" GYPSUM BOARD.

ALL HANDRAILS SHALL BE MOUNTED BETWEEN 34" MIN. & 38" MAX. MEASURED FROM THE NOSING OF THE TREAD.

PORCH AND BALCONY RAILINGS SHALL FORM A GUARD NOT LESS THAN 36" IN HEIGHT WHEN MORE THAN 30" ABOVE FLOOR OR GRADE BELOW.

ALL BALUSTERS SHALL BE SPACED TO PROHIBIT A SPHERE 4" IN DIAMETER FROM PASSAGE THROUGH IT.

STEP FLASH ALL ROOF AND WALL INTERSECTIONS WITH KICK FLASHING AT GUTTER WALL LOCATIONS.

MINIMUM HEADROOM AT ALL STAIRS SHALL BE 6'-8".

PROVIDE HANDRAILS AT ALL STAIRS PER CODE.

ALL MECHANICAL FLEXES SHALL BE ROUTED TO THE REAR OF THE HOUSE.

CONDENSING UNITS SHALL BE PLACED IN THE REAR OR SIDE YARDS, DEPENDING ON ZONING. CONSULT WITH OWNER AND BUILDING OFFICIAL ON THE FINAL LOCATION.

ASSUMED SOIL BEARING CAPACITY IS 2,000 P.S.F. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THIS CAPACITY. A GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOME OWNER.

ALL GARAGE DOORS OPERATED BY AN ELECTRIC OPENER SHALL HAVE AN AUTOMATIC SAFETY/REVERSE FEATURE.

ALL STAIRS SHALL COMPLY WITH R.C.O. 311.141 NO RISER SHALL EXCEED 8 1/4" AND NO TREAD SHALL BE LESS THAN 4".

ALL TOILET AND BATH/SHOWER AREAS SHALL HAVE AN EXHAUST FAN VENTED TO THE EXTERIOR.

PROVIDE SILL PITCH ON ALL WINDOWS AND DOORS TOWARD THE EXTERIOR.

PROVIDE FAN FLASHING FOR ALL OPENINGS.

PROVIDE ALL NECESSARY UNSPECIFIED FLASHING.

PROVIDE ALL NECESSARY UNSPECIFIED ROOF SADDLES.

PROVIDE 36" OF CONTINUOUS "ICE GUARD" ROOF PROTECTION AT ALL EAVES.

PROVIDE ALL NECESSARY DOWN SPOUTS AND FOOTING DRAINS WITH CONNECTIONS TO LOCAL STORM SEWER.

VERIFY THE EXACT LOCATION OF THE WATER HEATER AND FURNACE PRIOR TO INSTALLATION OF FLOOR DRAINS.

VERIFY ALL COLOR SELECTIONS, FINISH SELECTIONS ETC. WITH THE OWNER.

IT IS THE RESPONSIBILITY OF THE BUILDER TO NOTIFY THE OWNER TO KNOW THAT ALL HOUSES HAVE THE POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN.

FOR ANY ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE PLANS, COMPLY WITH THE LATEST EDITION OF THE RESIDENTIAL CODE OF OHIO.

ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO RETAIN THE SERVICES OF A REGISTERED SURVEYOR OR ENGINEER TO COMPLETE AN ACCURATE SITE AND GRADING PLAN.

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO HAVE ALL ACTUAL MECHANICAL SYSTEMS DESIGNED AND INSTALLED BY LICENSED MECHANICAL SPECIALISTS.

ALL ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/800 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

MASONRY NOTES

ALL FOOTINGS TO BE 8" WIDER THAN THE WALL THEY SUPPORT AND BEAR ON UNDISTURBED SOIL OF BEARING CAPACITY.

THE TOP OF ALL FOOTINGS SHALL BE A MINIMUM OF 42" BELOW GRADE.

PROVIDE G.M.U. "LOOKOUTS" @ 4'-0" ON CENTER WHERE SHELVES ARE NOT PROVIDED.

PROVIDE 1/2" X 18" ANCHOR BOLTS OR TIE STRAPS @ 6'-0" ON CENTER AND ALL CORNERS.

PROVIDE SOLID MASONRY AT ALL BEAM BEARING LOCATIONS. SOLID MASONRY TO EXTEND DOWN TO FOOTING.

PROVIDE 1/2" CEMENT TIE & IRONITE DAMPROOFINGS ON ALL FOUNDATION WALLS.

PROVIDE GALVANIZED CORRUGATED METAL TIES @ 16" ON CENTER HORIZONTALLY & VERTICALLY FOR ALL MASONRY VENEERS.

PROVIDE 8" SOLDIER & 4" ROWLOCK AT ALL WINDOW AND DOOR OPENINGS. PROJECTED 1/2" WHERE NOTED.

PROVIDE KEEF HOLES @ 36" ON CENTER ON FIRST COURSE EXPOSED ABOVE GRADE AS REQUIRED.

PROVIDE 30# FELT OVER ALL SHEATHING TO RECEIVE BRICK VENEER. LAP ALL JOINTS A MINIMUM OF 6".

FLASHING SHALL BE INSTALLED PER SECTION 105.8 OF THE OHIO RESIDENTIAL CODE.

PROVIDE EXTERIOR COMBUSTION AIR FOR ALL FIREPLACES (MINIMUM 6 SQUARE INCHES).

FIREPLACE HEARTHING SHALL BE SIZED AS FOLLOWS:  
FIREBOX OPENINGS LESS THAN 6 SQ. FT. ± 16" WIDE FROM FACE OF FIREBOX  
FIREBOX OPENINGS GREATER THAN 6 SQ. FT. ± 20" FROM FACE OF FIREBOX

FOUNDATIONS SHALL NOT BE BACKFILLED UNLESS PROPERLY BRACED.

PROVIDE HORIZONTAL JOINT REINFORCING @ 16" ON CENTER VERTICALLY.

PROVIDE ONE (1) #6 BARR VERTICALLY (FULL HEIGHT) @ 32" ON CENTER IN BRIGATED CORE, UNLESS NOTED OTHERWISE.

SLOPE ALL SILLS AWAY FROM THE STRUCTURE.

STEP DOWN ALL FOOTINGS AS NECESSARY WHERE ANY UNEXCAVATED SLAB AREAS MEET A LOWER BASEMENT TO PROVIDE

STEP DOWN ALL FOOTINGS AS NECESSARY AT ALL WALK-OUT BASEMENT AREAS TO CONTINUOUSLY MAINTAIN THE MINIMUM REQUIRED DEPTH BELOW FINISH GRADE.

REINFORCEMENT TO BE PROVIDED BY MASONRY CONTRACTOR.

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSI. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 35 PSI. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN, AND ALSO DETERMINE THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS ARE WITHIN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 35 PSI IS THE CORRECT WALL LOADING. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

FRAMING NOTES

BUILDER AND/OR OWNER IS RESPONSIBLE TO VERIFY THAT ALL STRUCTURE MATCHES THE PLANS AS DRAWN AND DESIGNED.

ENGINEERED ROOF TRUSSES ARE THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER, LUMBER COMPANY AND TRUSS MANUFACTURER. TRUSS DESIGNED ROOF PLANS ARE TO BE REVIEWED BY THE TRUSS MANUFACTURER PRIOR TO PRINTING FINAL CONSTRUCTION SETS. DURING THIS REVIEW PROCESS IT WILL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY THAT ALL THE PLATE HEIGHTS, HEEL HEIGHTS AND ROOF PITCHES WILL CREATE A BUILDABLE PACKAGE. THE TRUSS MANUFACTURER IS ALSO RESPONSIBLE TO NOTIFY THE BUILDER AND/OR OWNER IF NECESSARY ADJUST THE SIZE OF OR ADD ANY BEAM, POST OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS.

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO FIELD VERIFY ALL AS BUILT DIMENSIONS OF FOUNDATION AND FRAMING PRIOR TO ORDERING TRUSSES.

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY OR ALL INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS.

ALL ENGINEERED FLOOR SYSTEMS SHALL BE DESIGNED BY THE MANUFACTURER.

PROVIDE 2 X 4 COLLAR TIES @ 4'-0" ON CENTER FOR ALL RAFTERS.

ALL HEADERS SHALL BE FREE FROM SPLITS, CHECKS & SHAKES.

PROVIDE DOUBLE HEADER JOIST AND TRIMMER AT ALL FLOOR OPENINGS.

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

PROVIDE 1" X 3" X" BRIDGING @ 8'-0" ON CENTER OR SOLID BLOCKING.

ALL ANGLED WALL TO BE 45 DEGREES UNLESS NOTED OTHERWISE.

ADJUST ALL OVERHANGS OF DIFFERENT PITCHES TO MAINTAIN CONSISTENT LEVEL.

ANY HIP OR VALLEY RAFTER EXCEEDING 20'-0" TO BE L.V.L.

DOUBLE ALL JOISTS AT CANTILEVER LOCATIONS.

ALL EXTERIOR CORNERS SHALL BE BRACED IN EACH DIRECTION WITH PLYWOOD.

IF FOAM SHEATHING IS USED, PROVIDE DIAGONAL LET-IN BRACING.

REPAIR / REPLACE ALL FRAMING DAMAGED BY MECHANICAL SYSTEMS INSTALLATION.

ALL WINDOW HEADERS SHALL BE AT 6' 10" 1/2" ABOVE FINISH FLOOR, UNLESS NOTED OTHERWISE.

ALL LUMBER IN CONTACT WITH MASONRY AND/OR CONCRETE SHALL BE PROTECTED FROM DECAY IN ACCORDANCE WITH D.O.C. 311.

PROVIDE 2'x4" CLEAR SPACINGS BETWEEN MASONRY FIREPLACES AND ALL WOOD FRAMING. PROVIDE FIRESTOPPING BETWEEN FLOOR LEVELS.

ALL SILL PLATES SHALL BE FULL WIDTH OF FOUNDATION WALLS BELOW.

ALL CUTTING, NOTCHING AND BORING SHALL BE DONE IN CONFORMANCE WITH D.O.C. R-602.6 & R-602.6.1

ALL JOISTS, BEAMS AND GIRDERS SHALL BEAR A MINIMUM OF 1 1/2" ON WOOD OR METAL, AND 3" ON MASONRY.

MILLWORK AND CABINET DESIGN SHALL BE BY OTHERS.

WALLS AND PARTITIONS INCLUDING TURNED OR STUCCOED OFF SPACES OF MASONRY OR CONCRETE WALLS, AND AT THE CEILING AND FLOOR OR ROOF LEVELS. FIRESTOPPING SHALL BE INSTALLED AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURRING AT SOFFITS OVER CABINETS, DROP CEILING, COVE CEILING, ETC.

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL LUMBER USED FOR THIS PROJECT MEETS THE MINIMUM REQUIREMENTS OF STRENGTH AND MOISTURE CONTENT SET FORTH BY THE STATE AND LOCAL BUILDING CODES.

ALL FRAMING LUMBER SHALL BE DOUGLAS FIR LARCH #2 WITH A MINIMUM MODULUS OF ELASTICITY IF 1,100,000.

ANY MISKULAM (L.V.) NOTED ON THESE DRAWINGS MUST MEET THE FOLLOWING DESIGN CRITERIA :  
MOE = 1,000,000 PSI      FS = 2,600 PSI

WALL STUDS SHALL BE A MINIMUM OF 2 X 4s @ 16" ON CENTER AND SHALL BE ONE PIECE FULL HEIGHT AND A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS NOTED OTHERWISE.

REFER TO THE TYPICAL WALL SECTION FOR SUB-FLOOR AND ROOF SHEATHING THICKNESSES AND MATERIAL TYPES. ALL LUMBER SHALL BE STAINED WITH THE GRADEMARK OF AN APPROVED TESTING AGENCY.

ALL WINDOW AND DOOR HEADERS TO BE 2 - 2 X 10 WITH 1/2" SHIM, UNLESS NOTED OTHERWISE.

ALL JACK STUDS SHALL BE BLOCKED BELOW THE DECK.

DOUBLE ALL FLOOR JOISTS AT WHIRLPOOL / BATH LOCATIONS.

ALL PARTITIONS OVER 10'-0" HIGH SHALL BE FRAMED WITH 2 X 6 @ 16" ON CENTER.

PROVIDE 3 - 2 X 4 STRUCTURAL COLUMN @ WOOD BEAM BEARING POINTS.

PROVIDE 3" STEEL COLUMN @ STEEL BEARING POINTS.

PROVIDE 2 X 6 TOP PLATE OF ALL STEEL BEAMS. STAGGER BOLT @ 2'-0" ON CENTER WITH 3/8" BOLTS.

PROVIDE GALVANIZED JOIST HANGERS @ ALL FUSH BEAMS. INSTALL PER MANUFACTURERS SPECIFICATIONS.

PROVIDE 2 X 8 STIFFBACKS @ 10'-0" ON CENTER FOR ALL CEILING JOISTS.

CONCRETE NOTES

ALL FOOTING CONCRETE SHALL BE 3,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH).

ALL SLABS ON GRADE SHALL BE 4,000 P.S.I. (28 DAY COMPRESSIVE STRENGTH).

PROVIDE CONTROL JOINT & MIDPOINT OF GARAGE IN BOTH DIRECTIONS.

PROVIDE SAWN OR HAND TROWELED CONTROL JOINTS @ 8'-0" ON CENTER EACH WAY IN DRIVEWAYS.

PROVIDE CONTROL JOINTS IN ALL WALKS EQUAL TO THE WIDTH OF THE WALK.

PROVIDE 6 MIL VAPOR BARRIER UNDER ALL INTERIOR AND GARAGE SLABS.

PROVIDE EXPANSION JOINTS AS REQUIRED BY CODE.

USE AN APPROVED CURING COMPOUND ON ALL FLAT SURFACES.

THE USE OF ADMIXTURES IS PROHIBITED.

INSULATION NOTES

PROVIDE OPTION FOR LYONENE INSULATION.

ALL INSULATION SHALL BE INSTALLED FULL AND THICK IN THE CAVITY PER MANUFACTURERS SPECIFICATIONS.

WALLS : 3 1/2" BATTS (R-5 MINIMUM)

FLAT CEILINGSS : 10 1/4" BATTS (R-44 MINIMUM)

VAULTED CEILINGSS : 8 1/2" BATTS (R-30 MINIMUM)

BOX ENDS 10 1/4" (R-38 MINIMUM)

SLAB EDGES 2 1/4" R-5/ID EXTRUDED POLYSTYRENE (R-10 MINIMUM)

PROVIDE VENTILATION BATTLES AT ALL RAFTER SPACES.

CAULK ALL OPENINGS IN EXTERIOR WALLS. FOAM ALL OPENINGS IN TOP PLATES.

PROVIDE 2 1/4" THERMADRY STYROFOAM INSULATION ON ALL EXTERIOR FOUNDATION WALLS. FULL DEPTH (R-10 MINIMUM)

ALL PENETRATIONS SHALL BE SEALED WITH BUTYL TAPE.

PROVIDE HOUSE WRAP PER LOCAL CODE.

PROVIDE SEALANTS AT ANY WATER MIGRATION POINTS IN THE CONSTRUCTION.

INSULATION SHALL BE INSTALLED AS ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R VALUES AND LOCATIONS.

STEEL NOTES

ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH A.S.T.M. SPECIFICATION A-36.

ALL STRUCTURAL STEEL FOR COLUMNS SHALL COMPLY WITH A.S.T.M. SPECIFICATION A-53 GRADE B OR A-501.

ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH A.S.T.M. SPECIFICATION A6015 GRADE 60.

GYPSUM NOTES

PROVIDE 5/8" REGULAR GYPSUM BOARD THROUGHOUT ENTIRE STRUCTURE EXCEPT AS NOTED.

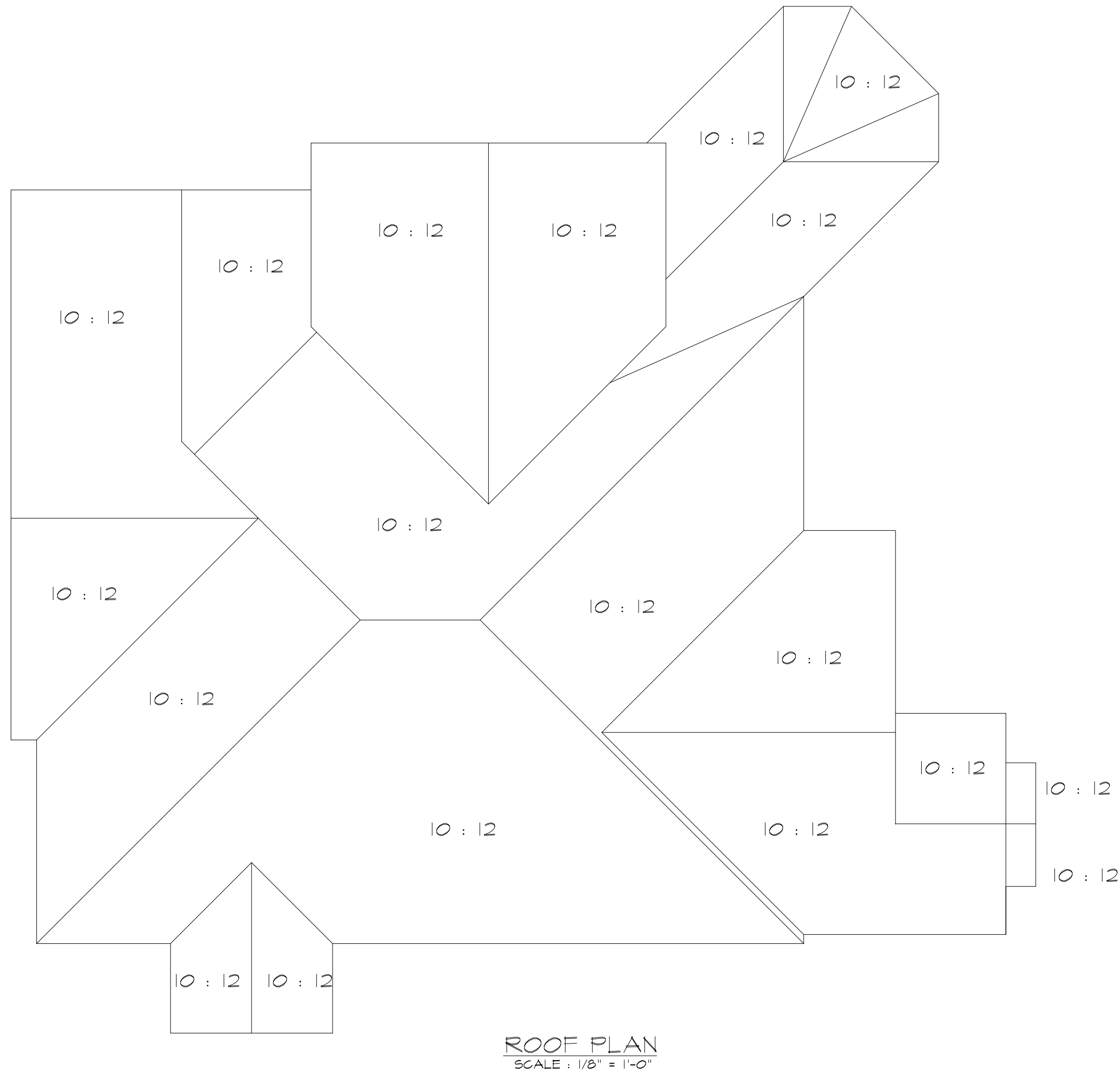
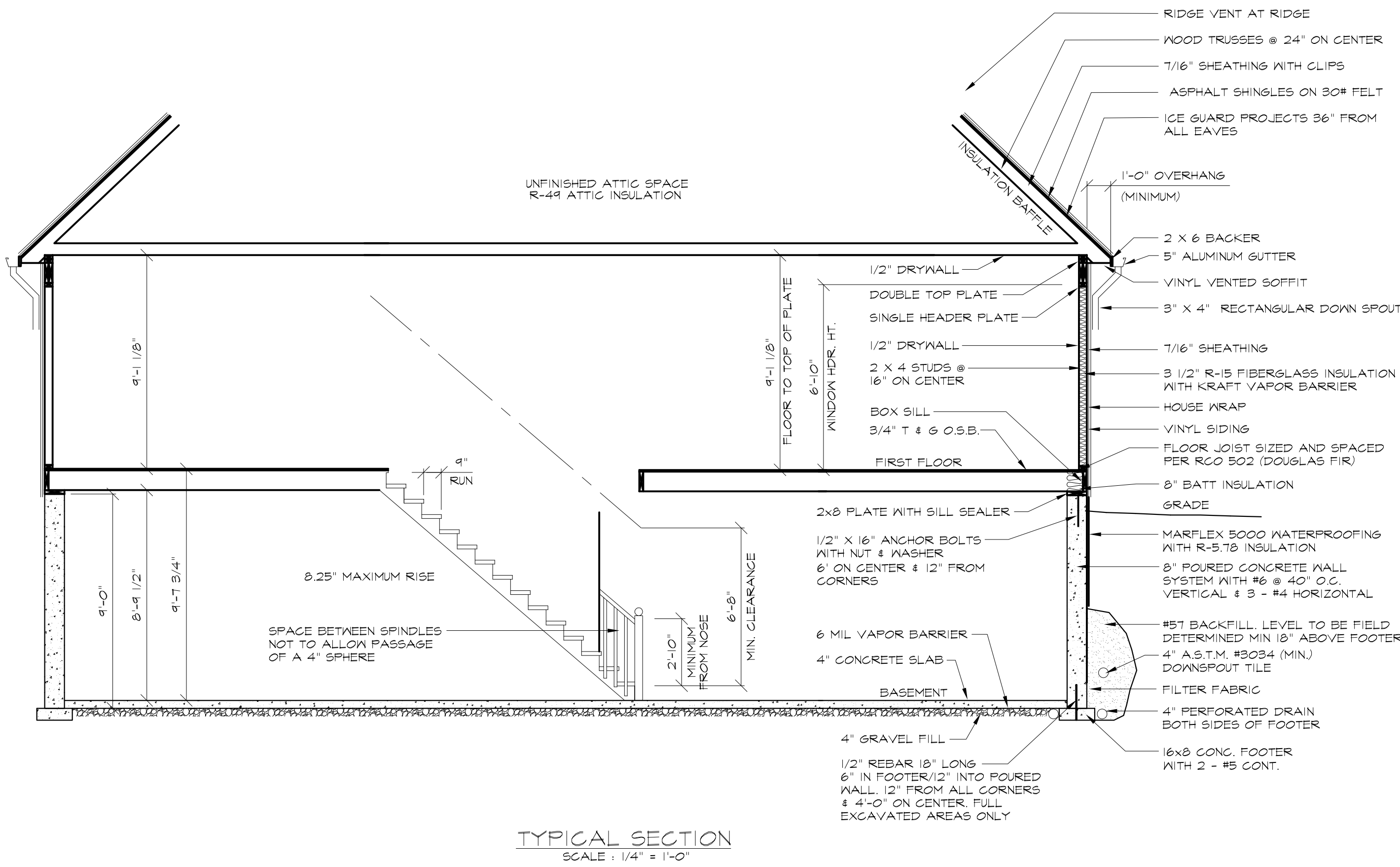
PROVIDE 5/8" TYPE "X" FIRE CODE GYPSUM BOARD THROUGHOUT GARAGE AND WALLS COMMON TO HOUSE.

PROVIDE 5/8" GYPSUM BOARD ON ALL ATTIC ACCESS PANELS.

PROVIDE WATER RESISTANT GYPSUM BOARD IN ALL BATH & TOILET AREAS.

PROVIDE DUROCK OR EQUAL ON ALL TILED AREAS OF TUB DECK AND SHOWER STALLS.

ALL CEILINGSS AND WALLS TO HAVE SMOOTH FINISH.



REVISION

JOHN DESSAULT ON  
PROPOSED RESIDENCE FOR  
FRIES RESIDENCE  
7528 HUNTINGTON ROAD  
HUDSON, OHIO

1177 CARTHILL COURT  
WOODSTER, OHIO 44691  
(330) 464-3564

MODERN HOME  
CONCEPTS

DRAWN BY  
J.R.S.

DATE  
3/4/18

SCALE  
1/4" = 1'-0"

DRAWING NUMBER  
6

MHC065

PROPERTY OF MODERN HOME CONCEPTS. ANY  
REPRODUCTION WITHOUT WRITTEN PERMISSION  
IS PROHIBITED.

DESIGN LOADS			
COMPONENT	LIVE LOAD	DEAD LOAD	TOTAL LOAD
ATTIC (WALK-UP STORAGE)	30 P.S.F.	12 P.S.F.	42 P.S.F.
ATTIC (LIMITED STORAGE)	20 P.S.F.	12 P.S.F.	32 P.S.F.
ATTIC (NO STORAGE)	10 P.S.F.	12 P.S.F.	22 P.S.F.
DECKS	40 P.S.F.	12 P.S.F.	52 P.S.F.
EXTERIOR BALCONIES	60 P.S.F.	12 P.S.F.	72 P.S.F.
GUARDRAIL AND HANDRAILS	200 P.S.F.	12 P.S.F.	212 P.S.F.
GUARDRAIL INFILL COMPONENTS	50 P.S.F.	12 P.S.F.	62 P.S.F.
PASSENGER VEHICLE GARAGES	50 P.S.F.	12 P.S.F.	62 P.S.F.
ROOMS (OTHER THAN SLEEPING ROOMS)	40 P.S.F.	12 P.S.F.	52 P.S.F.
SLEEPING ROOMS	30 P.S.F.	12 P.S.F.	42 P.S.F.
STAIRS	40 P.S.F.	12 P.S.F.	52 P.S.F.
ROOFS	25 P.S.F.	12 P.S.F.	37 P.S.F.
SNOW	25 P.S.F.	N/A	25 P.S.F.
WIND	90 M.P.H.	N/A	90 M.P.H.
SOLID BEARING	2,000 P.S.F.	N/A	2,000 P.S.F.

REVISION

JOE ZISKA/PT ON  
PROPOSED RESIDENCE FOR  
FRIES RESIDENCE  
7528 HUNTINGTON ROAD  
HUDSON, OHIO

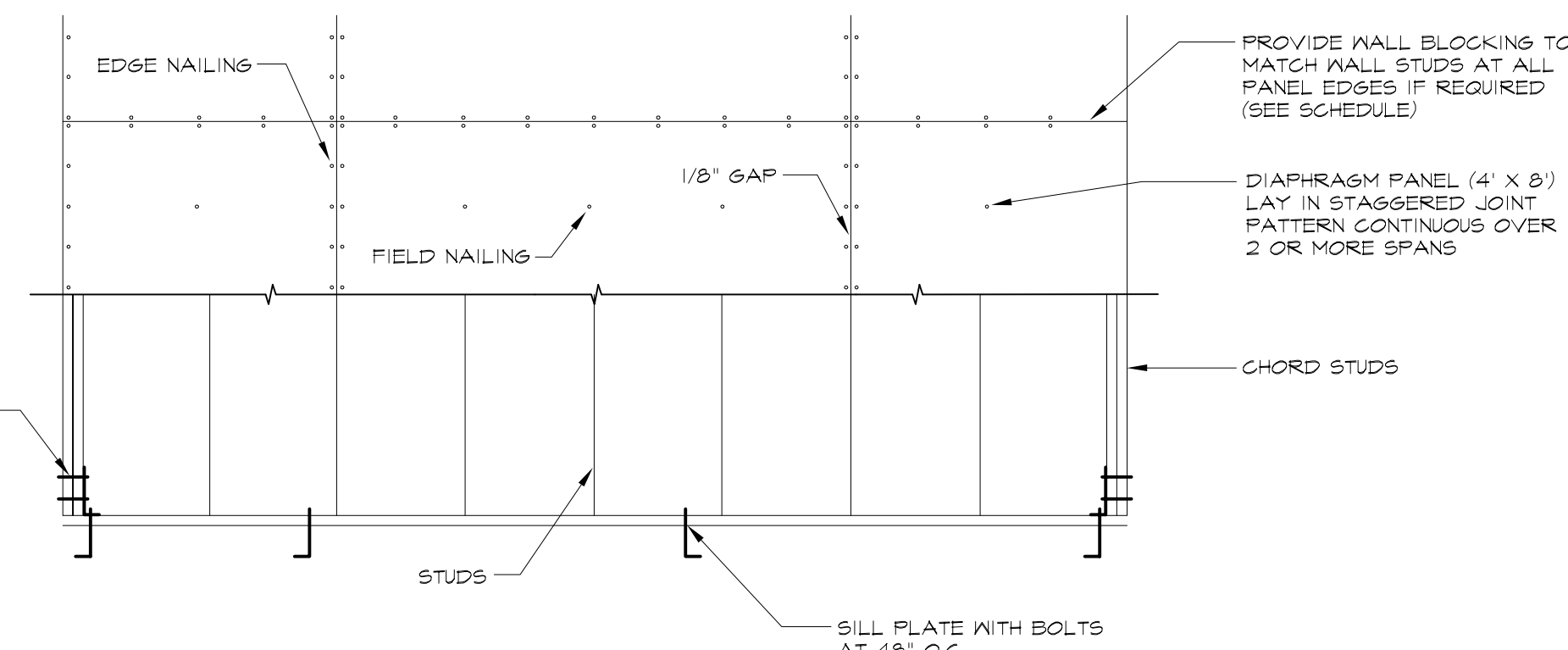
1177 GURCH HILL COURT  
WOOSTER, OHIO 44691  
(330) 464-3564

MODERN HOME  
CONCEPTS

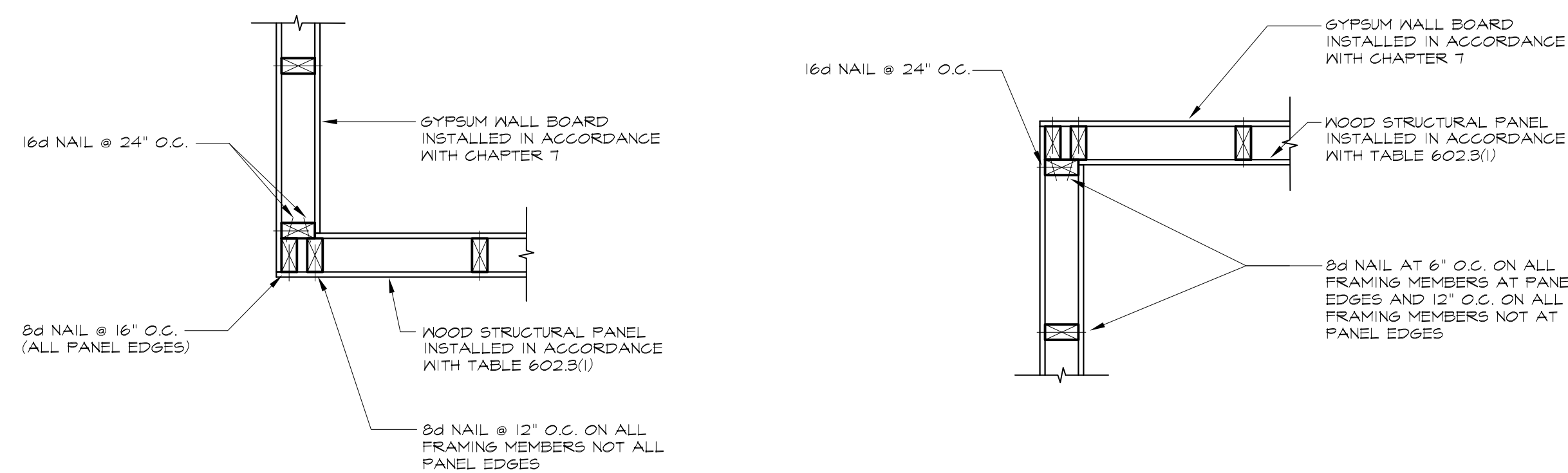
DRAWN BY  
J.R.S.  
DATE  
3/14/18  
SCALE  
1/4" = 1'-0"

DRAWING NUMBER  
7

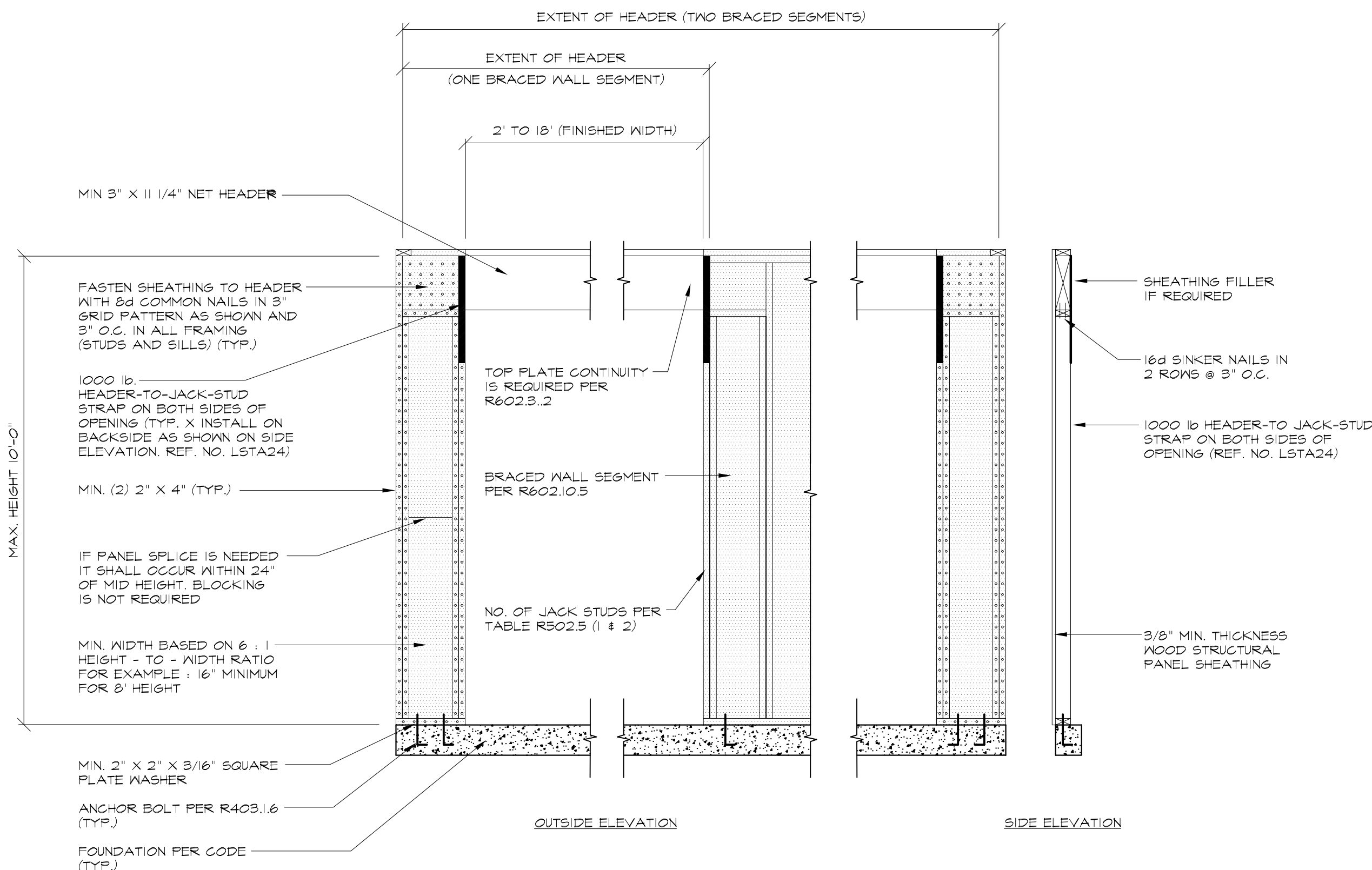
MHC065



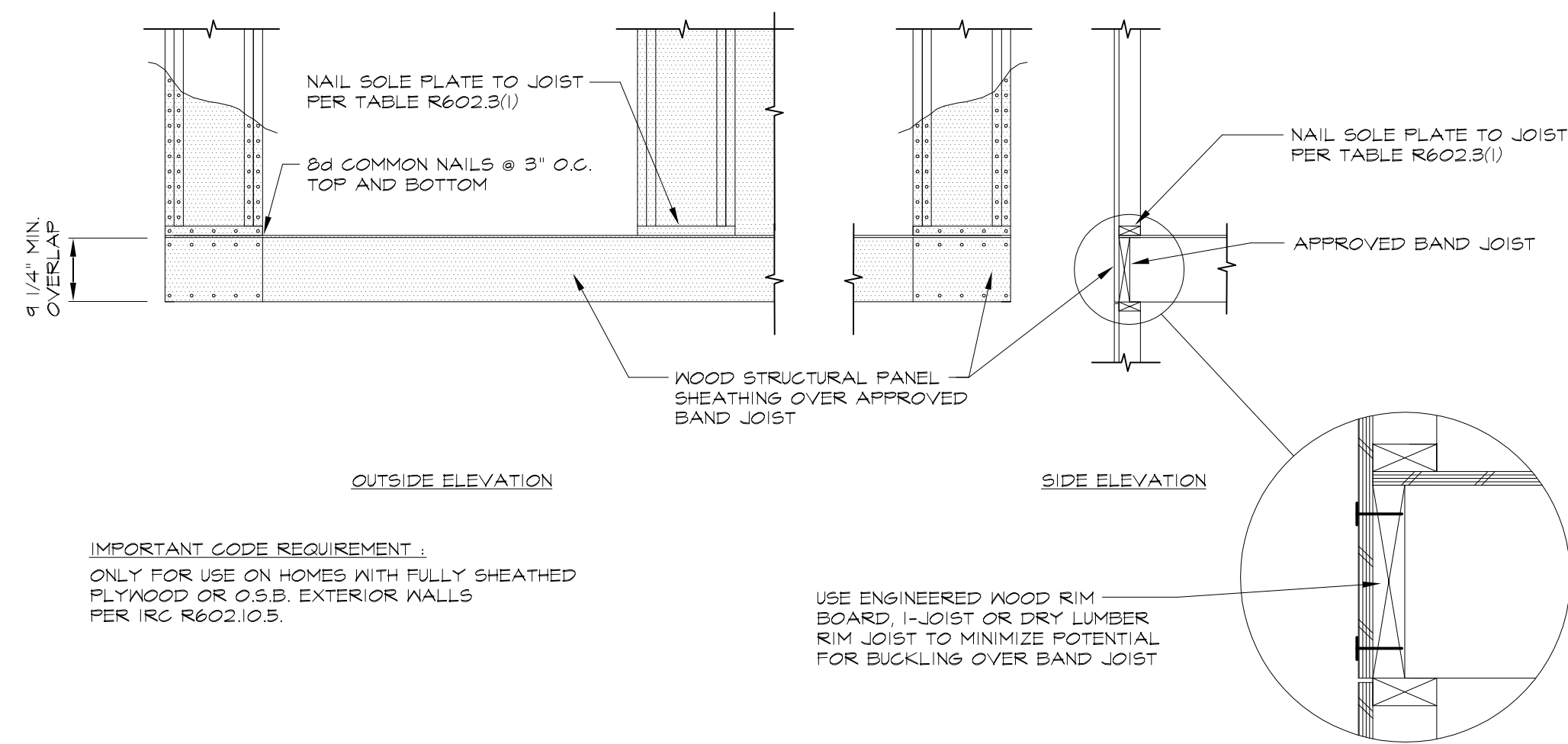
TYPICAL SHEAR WALL (BRACED WALL)  
ELEVATION DETAIL  
NOT TO SCALE



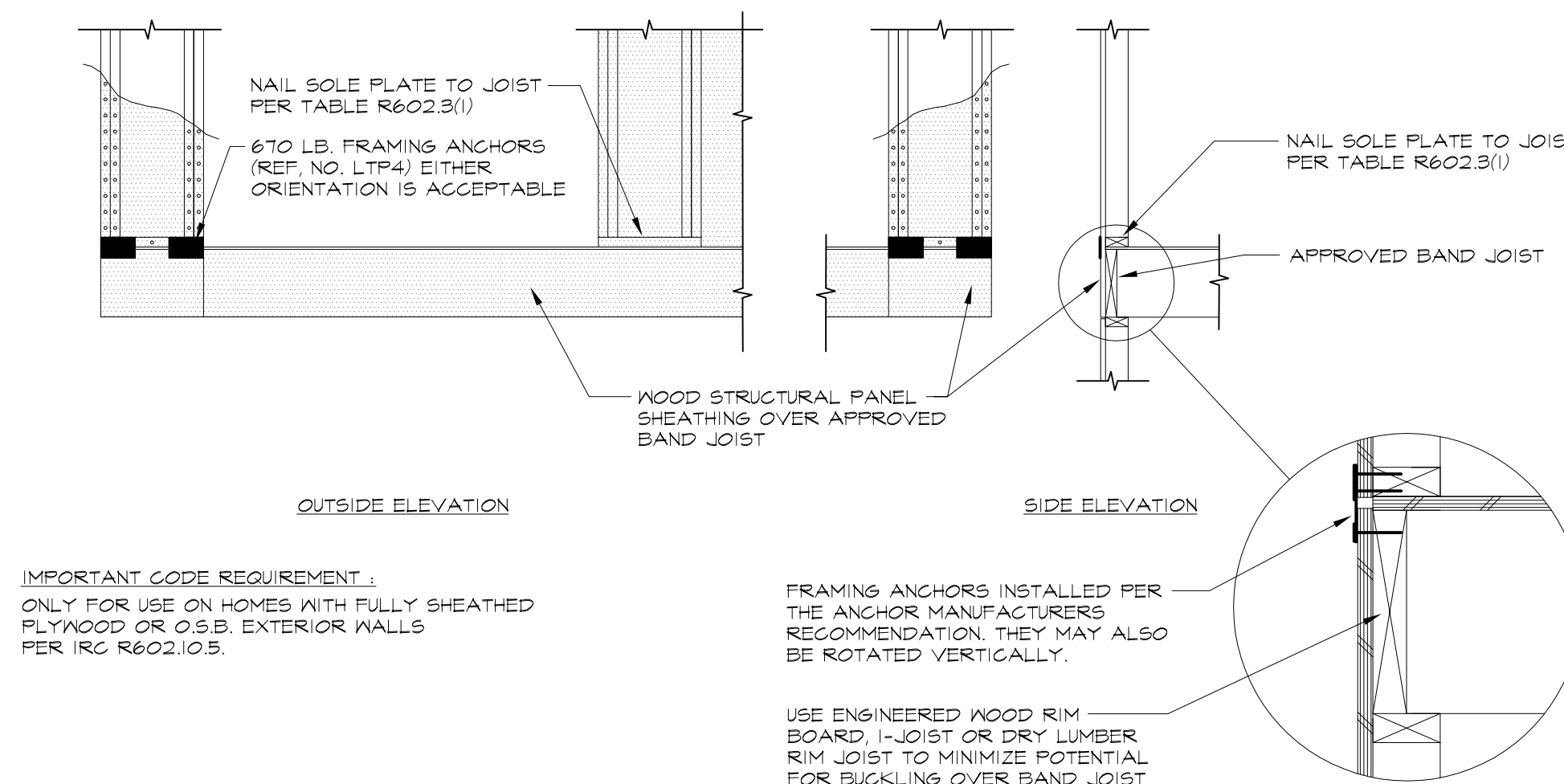
BRACED WALL METHOD 10.5 FIGURE  
R602.10.5 EXTERIOR CORNER FRAMING  
SCALE: 1\"/>



A.P.A. DETAIL OF NARROW WALL BRACING METHOD  
WITHOUT HOLD-DOWNS  
SCALE: 1/2\"/>



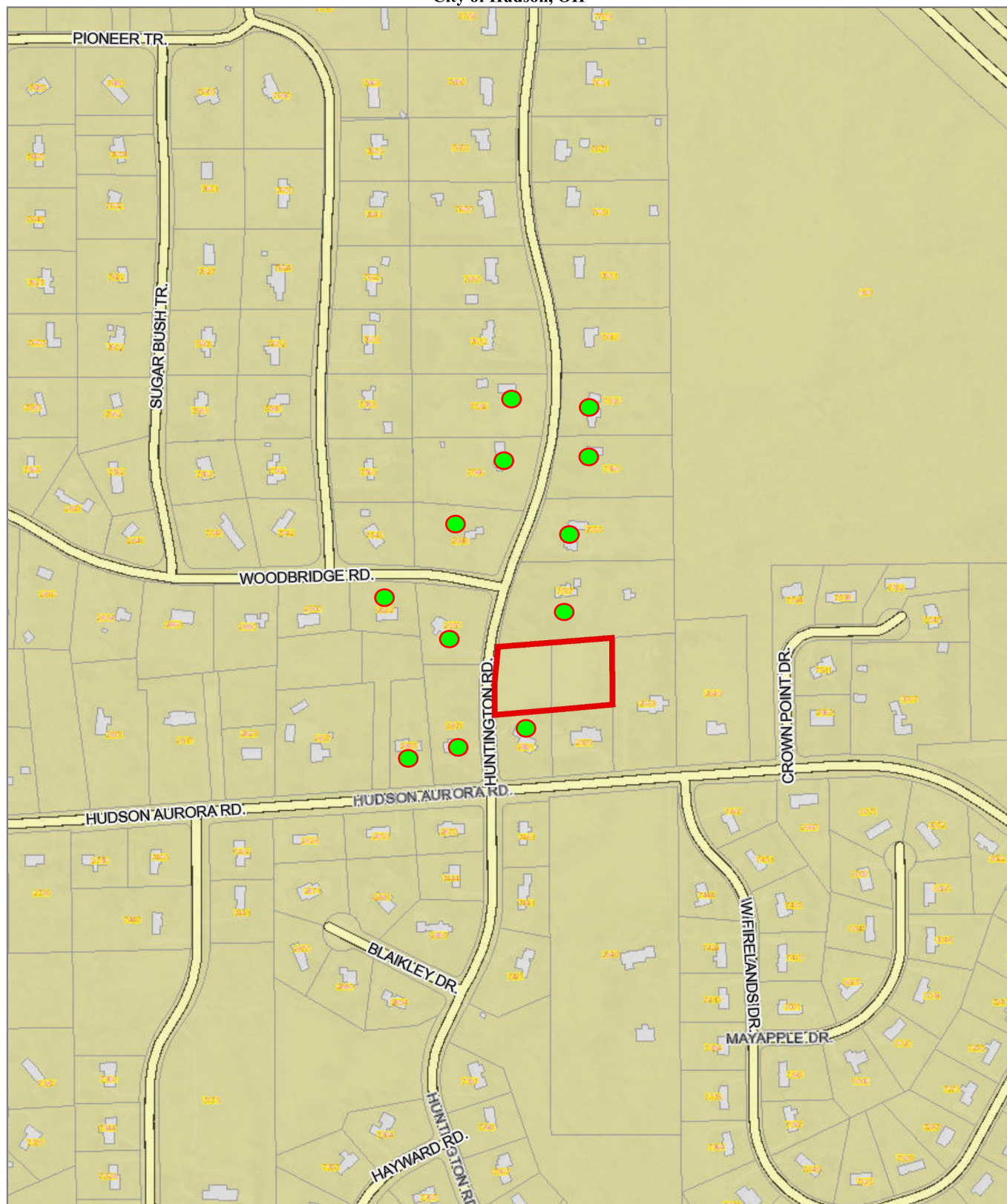
A.P.A. DETAIL OF NARROW WALL BRACING METHOD  
WITHOUT HOLD-DOWNS  
SCALE: 1/2\"/>



A.P.A. DETAIL OF NARROW WALL BRACING METHOD  
WITHOUT HOLD-DOWNS  
SCALE: 1/2\"/>



## City of Hudson, OH



Owner Name	Fries Jack	NumOcc	No Addresses Exist in the Master Address List for this Parcel
Legal Description	WESTERN RESERVE RANCH ESTATES PART I LOTS 2-3 ALL PB 45 PGS 97-100	No. Utility Accounts	No Account Information
Parcel ID	3010192	Sewer Provider	NA
Site Address	HUNTINGTON RD	Water Owner	NA
Owner Address	12130 WILSON RD	Electric Provider	NA

7537 Huntington





2855 Hudson  
Aurora Rd





2871 Hudson  
Aurora Rd





2891 Hudson  
Aurora Rd



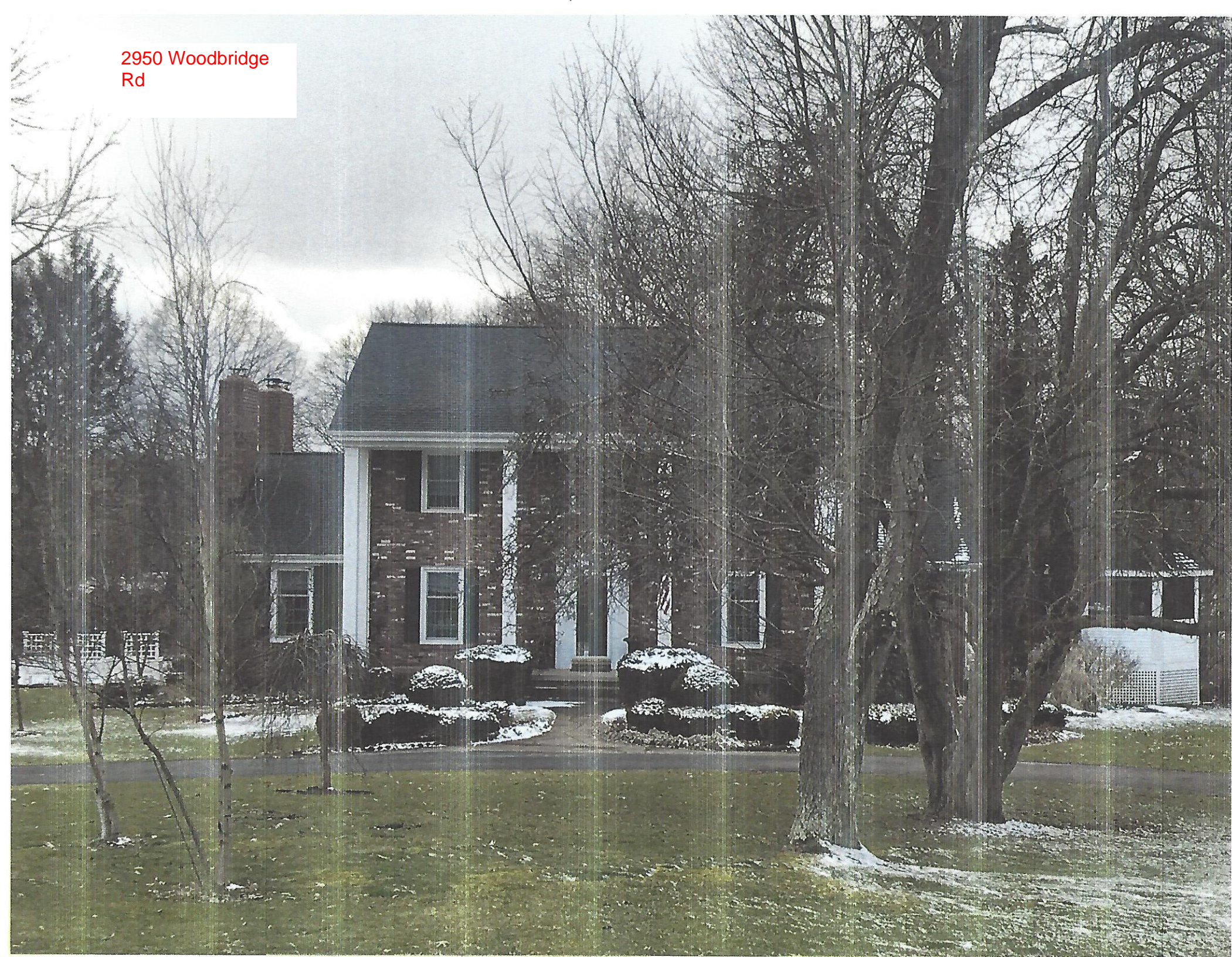


2922 Woodbridge  
Rd





2950 Woodbridge  
Rd





7555 Huntington Rd





7566 Huntington Rd





7569 Huntington Rd





7592 Huntington Rd





7593 Huntington Rd





2949 Woodbridge  
Rd

