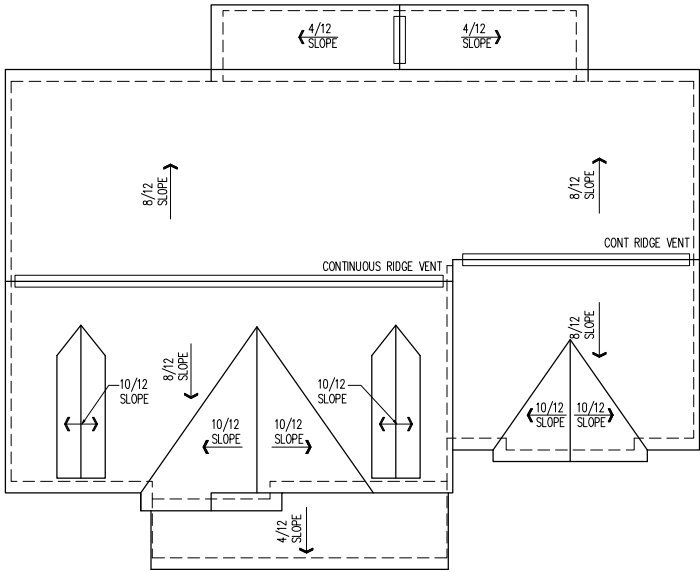




ATTIC VENTILATION SCHEDULE												
1 ELEVATION	LOC	1ST FLOOR ROOF		2ND FLOOR ROOF		N/A		N/A		N/A		
	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP	AREA	REQ'D	SUPP
	208	0.35	0.83	2078	3.47	7.38						
	EAVE	0.35	0.83		3.47	6.13						
TOTAL			0.70	1.66		2.96	13.51					



ROOF PLAN  
SCALE: 1/8" = 1'-0"



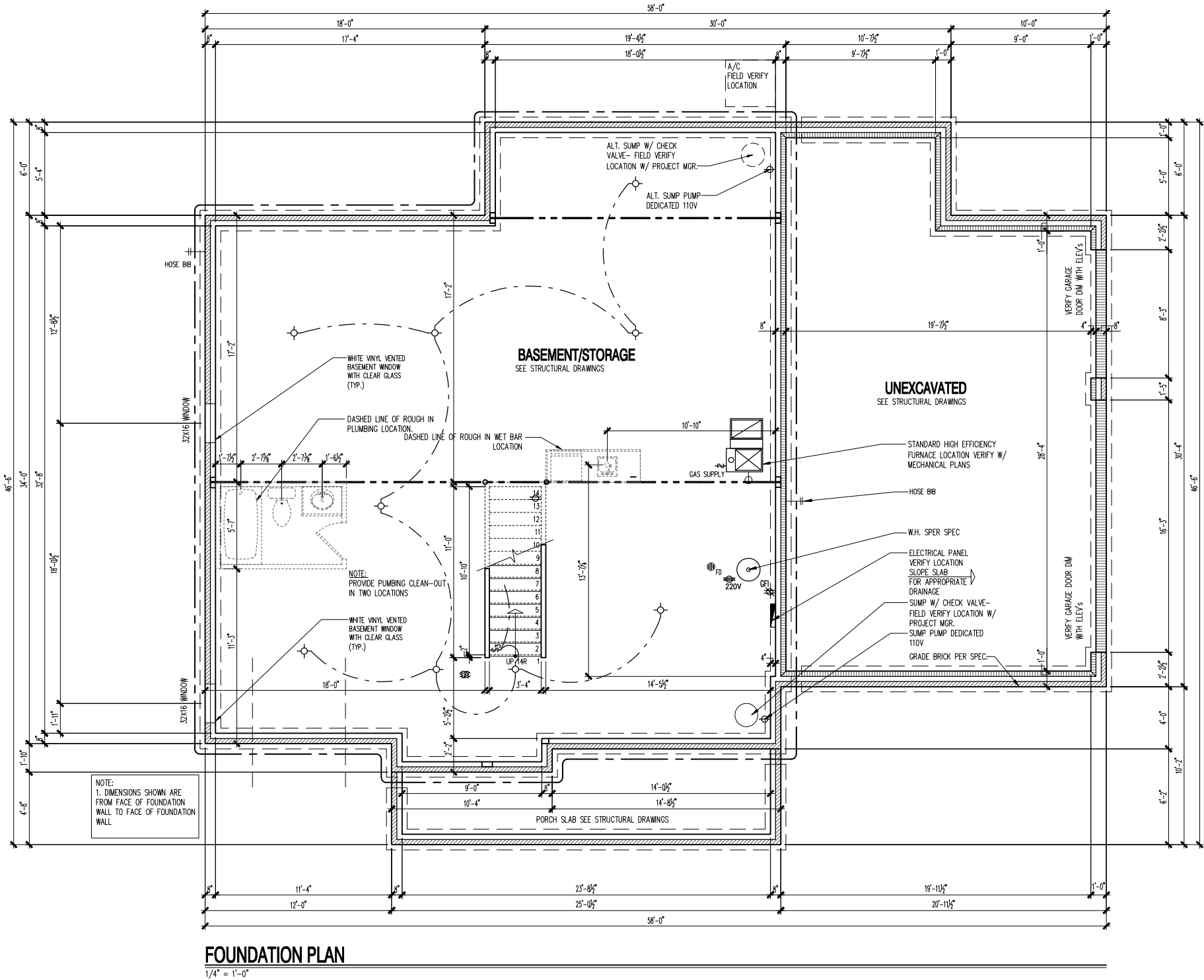
LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 04/04/2018	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE	
SINGLE FAMILY	
COMMUNITY NAME	
RIVER OAKS LOT 86	
LAWSON COMMUNITY ID	
---	
GARAGE HANDING	
GARAGE RIGHT	
SPECIFICATION LEVEL	
TBD	
PLAN NAME	
HOLBROOK	
NPG PLAN NUMBER	
TBD	
LAWSON PLAN ID	
---	
LEGACY PLAN NUMBER / NAME	
PLAN 3140	
SHEET	
7.01a2	



PRODUCTION MANAGER	
Jamesy Heinzman	
CURRENT RELEASE DATE: 04/04/2018	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
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PROJECT TYPE
SINGLE FAMILY

COMMUNITY NAME
RIVER OAKS LOT 86
LAWSON COMMUNITY ID

GARAGE HANDING
GARAGE RIGHT

SPECIFICATION LEVEL
TBD

PLAN NAME
HOLBROOK
NPC PLAN NUMBER
TBD
LAWSON PLAN ID
LEGACY PLAN NUMBER / NAME
PLAN 3140

SHEET
1.30a

[illegible]

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS**  
**LOT 86**  
LAWSON COMMUNITY ID

## GARAGE HANDING GARAGE RIGHT

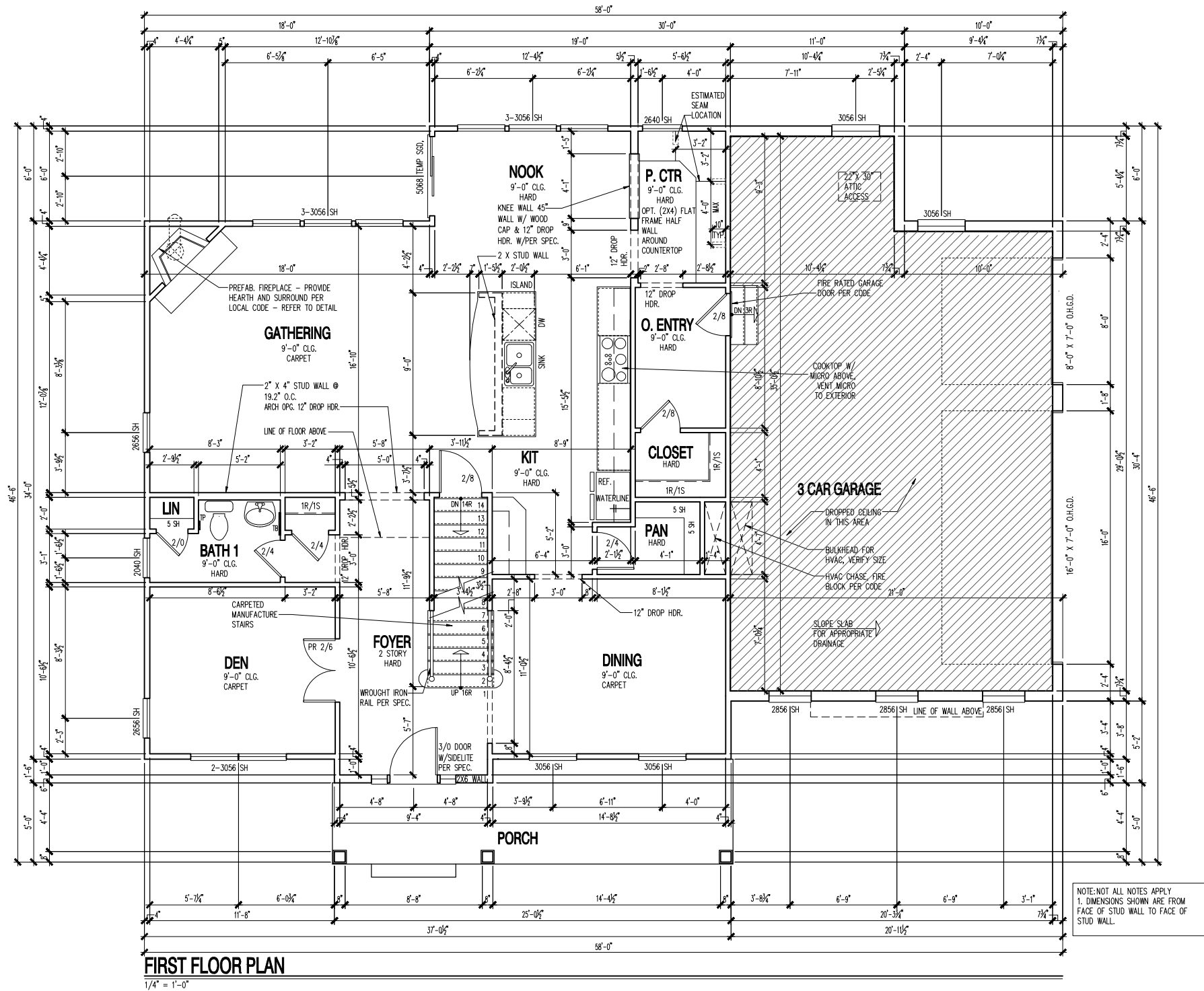
SPECIFICATION LEVEL  
**TBD**

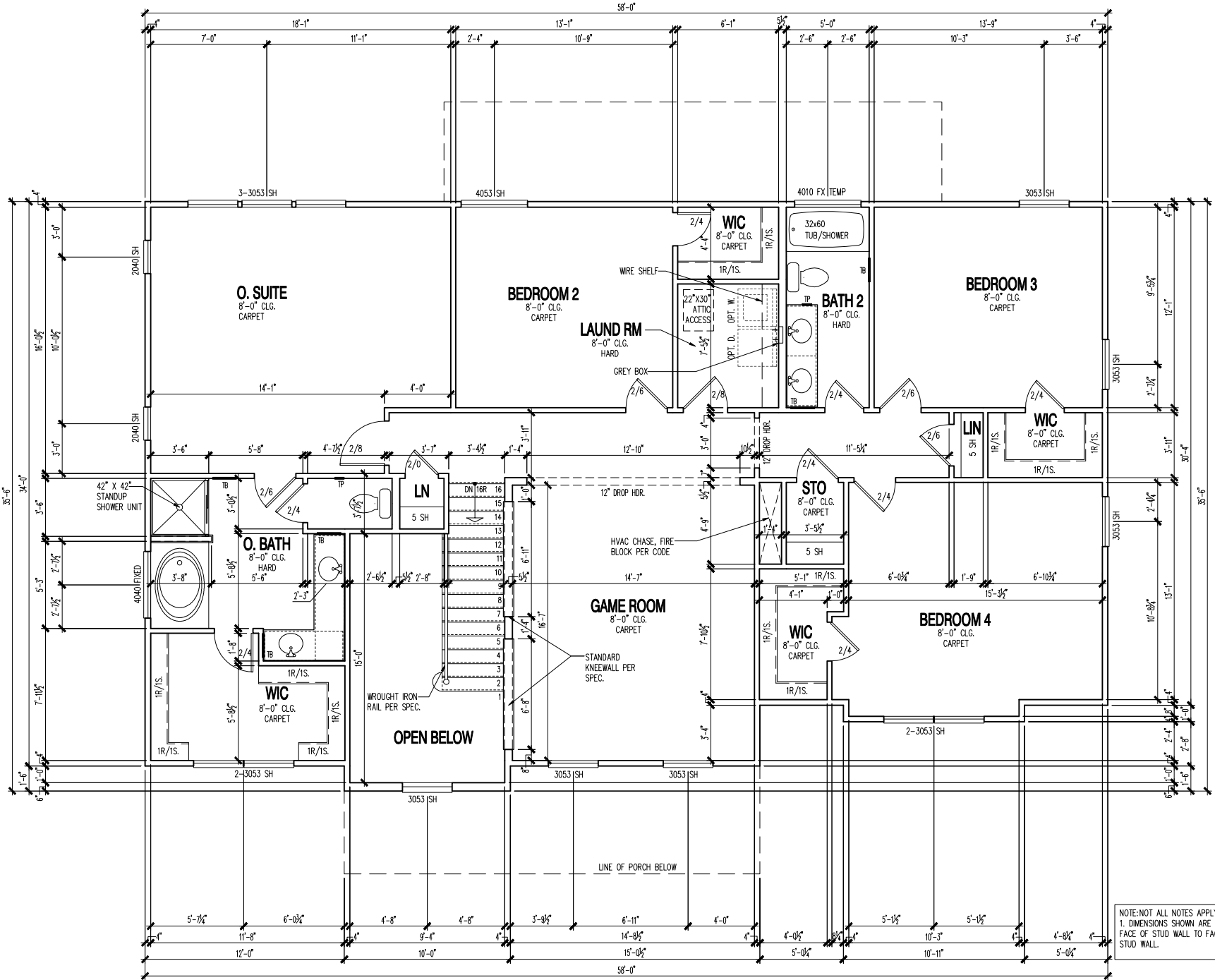
PLAN NAME	<b>HOLBROOK</b>
NPC PLAN NUMBER	<b>TBD</b>
LAWSON PLAN ID	

LEGACY PLAN NUMBER / NAME  
**PLAN 3140**

SHEET

2.10a

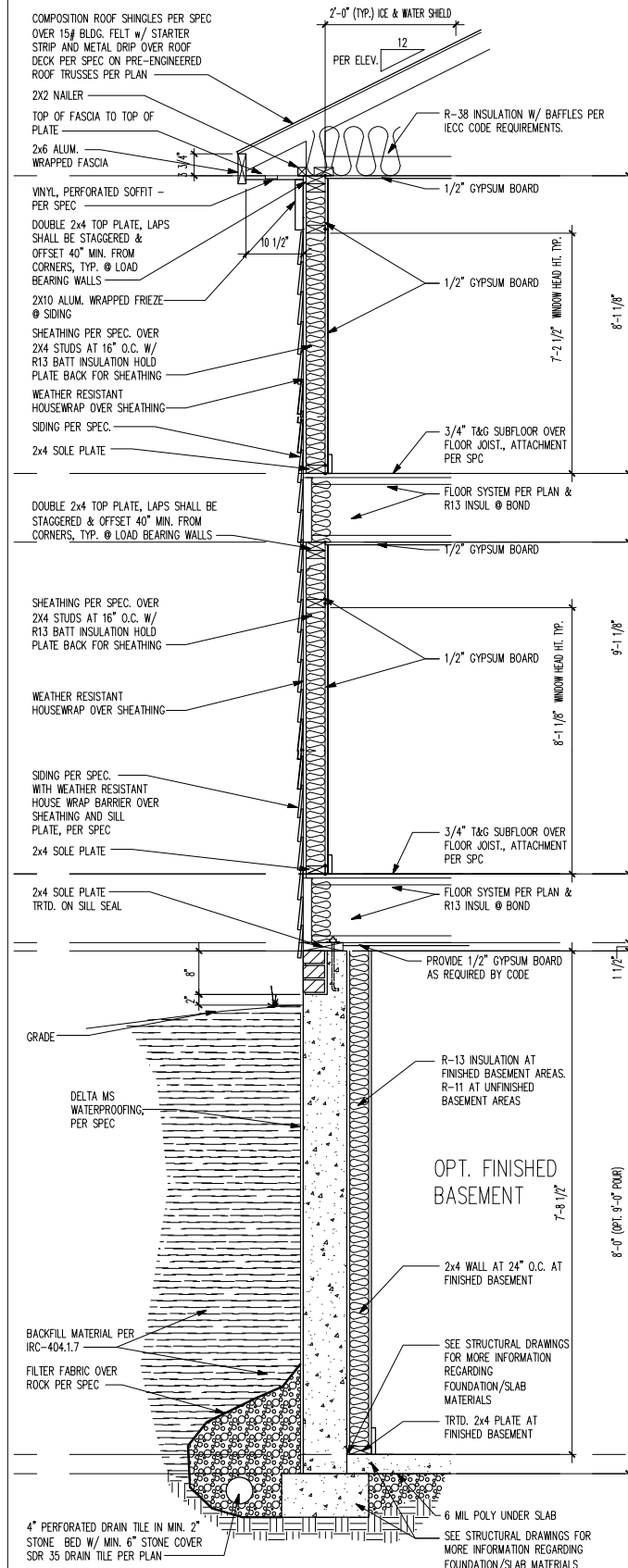




## SECOND FLOOR PLAN

$$\overline{1/4^n} = 1^n - 0^n$$

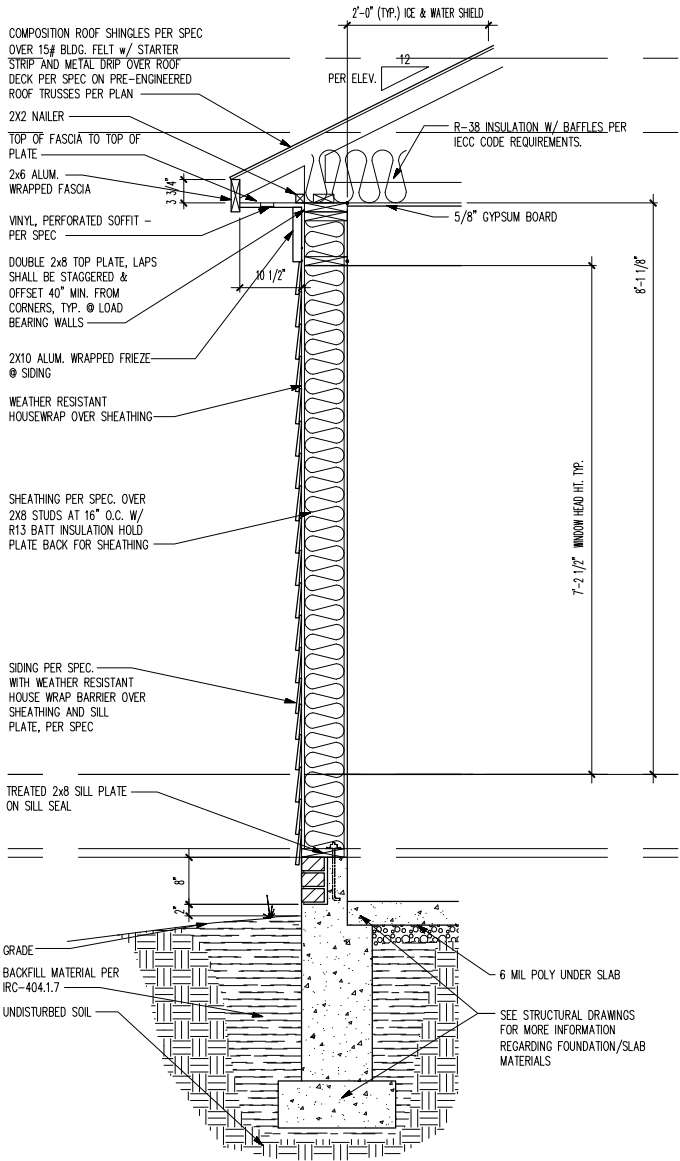
NOTE: NOT ALL NOTES APPLY  
1. DIMENSIONS SHOWN ARE FROM  
FACE OF STUD WALL TO FACE OF  
STUD WALL.



### TYPICAL WALL SECTION - sides & rear

SCALE  $1/2'' = 1'-0''$

NOTE:  
I-JOISTS, PER SPEC. REFER TO JOIST  
LAYOUTS PROVIDED BY OTHERS



TYPICAL WALL SECTION - garage  
 SCALE 1/2" = 1'-0"

PRODUCTION MANAGER	
James Heinzman	
CURRENT RELEASE DATE: 04/04/2018	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE	<b>SINGLE FAMILY</b>
COMMUNITY NAME	<b>RIVER OAKS LOT 86</b>
LAWSON COMMUNITY ID	---
GARAGE HANDING	<b>GARAGE RIGHT</b>
SPECIFICATION LEVEL	<b>TBD</b>
PLAN NAME	<b>HOLBROOK</b>
NPG PLAN NUMBER	<b>TBD</b>
LAWSON PLAN ID	---
LEGACY PLAN NUMBER / NAME	<b>PLAN 3140</b>
SHEET	<b>3.31b</b>

PLOTTED: April 5, 2018 / Rudolph Sanchez / PLAN-3140-RO-COVERING



# OHIO DIVISION - LOT 86

River Oaks

## HOLBROOK

### 1 - GENERAL BUILDING & DESIGN REQUIREMENTS

- 1) THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF PULTE HOMES INC. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF PULTE HOMES INC. IS STRICTLY PROHIBITED.
- 2) PULTE HOMES INC. DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE RESIDENTIAL CODE OF OHIO (RCO), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF PULTE HOMES INC. BY CALLING (651) 452-5200.
- 3) THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ ELECTRICAL/ PLUMBING INSTALLATION AND/ OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MODIFY THESE PLANS MUST BE APPROVED IN WRITING BY PULTE HOMES INC.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS!! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- 5) ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/ OR FABRICATION OF THE WORK.

### 2 - SITE CONSTRUCTION

- 1) SOIL BEARING CALCULATIONS BASED ON 2500 PSF MIN
- 2) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 3) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS BACKFILL TO NOT DAMAGE THE FOUNDATION WALLS OR ANY WATERPROOFING/ DAMPPROOFING MATERIALS.

### 3 - CONCRETE

- 1) ALL CONCRETE EXPOSED TO EXTERIOR ELEMENTS SHOULD BE AIR ENTRAINED 4-6%.
- 2) SLOPE ON DRIVE SHALE BE NO LESS THAN 2% OR 1/4" PER FOOT- PREFERABLY 4% OR 1/2" PER FOOT. THE FRONT STOOP SHALL HAVE SLOPE EQUAL TO 1" PER FOOT. THE RAISED WALK IN GARAGE SHALL HAVE A 1/2" PER FOOT SLOPE AND DRIVE SLAB SHALL BE SLOPED MIN. 1/4" PER FOOT.
- 3) SOME COLUMN DIMENSIONS ARE FROM CENTER OF COLUMN TO EXTERIOR FACE OF BASEMENT WALL.
- 4) BACK FILL SHALL BE FREE FROM VEGETATION AND CONSTRUCTION DEBRIS.
- 5) BACK FILL SHALL BE PLACED IN LIFTS AND COMPACTED IN SUCH A MANNER AS TO NOT DAMAGE THE FOUNDATION WALLS OR WATERPROOFING / DAMPPROOFING MATERIALS.
- 6) MUD SILLS SHALL BE TREATED MEMBERS AND SECURED BY ANCHOR BOLTS AND/OR STRAPS AS SPECIFIED IN THE DRAWINGS, DETAILS, AND SPECIFICATIONS.
- 7) CALCULATIONS FOR COLUMN PADS BASED ON 2500 PSF SOIL BEARING.

### 4 - MASONRY

- 1) ALL EXTERIOR BRICK MUST MEET ASTM C-216 FOR "SW" CONDITIONS
- 2) MASONRY VENER SHALL BE ATTACHED TO SUPPORTING WALLS w/ 22GA x 7/8" CORRUGATED METAL TIES AT 24" O.C.
- 3) FLASHING BEHIND MASONRY SHALL BE 14# BUILDING PAPER OR FELT OR APPROVED EQUAL ATTACHED TO THE SHEATHING TO PREVENT MOISTURE PENETRATION.
- 4) WEEPHOLES SHALL BE PROVIDED ALONG THE OUTSIDE WYTHE OF EXTERIOR MASONRY WALLS AT 33" O.C. MAX, SHALL BE A MIN. OF 3/16" IN DIAMETER, AND LOCATED IMMEDIATELY ABOVE THE FLASHING

### 5 - METALS

### 6 - WOOD AND PLASTICS

### 7 - THERMAL & MOISTURE PROTECTION

- 1) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.
- 2) ATTIC VENTILATION SHALL BE PROVIDED AT 1/150th OF THE AREA OF THE SPACE VENTILATED. CROSS VENTILATION WITH HALF OF THE VENTILATED AREA SHALL BE PROVIDED BY RIDGE OR GABLE VENTS AND THE OTHER HALF BY EAVE OR CORNICE VENTS. VENTS SHALL BE PLACED SO AS TO NOT ALLOW INFILTRATION OF RAIN OR SNOW.
- 3) PROVIDE APPROVED TILE BACKER BOARD FOR ALL SHOWER AND BATH SPACE
- 4) PROVIDE ICE-SHIELD PER CODE
- 5) ROOF VENTING TO BE PROVIDED AS SHOWN. SOFFIT, RIDGE, AND OTHER ROOF VENTS TO BE INSTALLED AS NOTED ON THE DRAWINGS & AS PER MANUFACTURERS RECOMMENDATIONS.
- 6) HOUSE WRAP & FLASHING TO BE INSTALLED PER PULTE BEST PRACTICES.

### 8 - DOORS AND WINDOWS

- 1) WINDOW CALL OUT PER WINDOW SCHEDULE. VERIFY WINDOW MANUFACTURER WITH PROJECT MANAGER
- 2) REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS
- 3) TEMPERED GLASS SHALL BE USED IN ALL HAZARDOUS AREAS
- 4) FRONT DOOR WIDTH AS REQUIRED BY CODE
- 5) GARAGE DOOR AS REQUIRED BY CODE
- 6) EMERGENCY - SLEEPING ROOMS SHALL HAVE AT LEAST ONE EGRESS OPENING OF NOT LESS THAN 5.7 SF AND A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR.

### 15 - MECHANICALS

- 1) FACTORY BUILT CHIMNEYS AND FIREPLACES SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS, AND ARE SUBJECT TO MECHANICAL INSPECTION
- 2) PROVIDE EXTERIOR AIR INTAKE FOR COMBUSTION AIR.

### 16 - ELECTRICAL

- 1) ALL ELECTRICAL INSTALLATION SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE (NEC). ALL MATERIAL AND EQUIPMENT SHALL BEAR THE LABEL OF APPROVAL OF THE UNDERWRITERS LABORATORIES, INC.
- 2) ELECTRICAL CONTRACTOR SHALL VERIFY SPACE REQUIRED FOR METER INSTALLATION BEFORE CONSTRUCTION AND SHALL NOTIFY GENERAL CONTRACTOR OF ANY DISCREPANCIES.
- 3) VERIFY LOCATION OF ALL RECEPTACLES FOR APPLIANCES WITH MANUFACTURER SPECIFICATIONS.
- 4) GROUND FAULT INTERRUPTS SHALL BE LOCATED PER THE NEC.
- 5) ALL SWITCHES SHALL BE INSTALLED AT 3'-2" ABOVE FINISHED FLOOR TO CENTERLINE OF SWITCH UNLESS NOTED OTHERWISE.
- 6) ALL CONVENIENCE OUTLETS SHALL BE INSTALLED W/ CENTERLINE OF OUTLET LOCATED 1'-3" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- 7) ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCH AT TOP ONLY.
- 8) ALL EXTERIOR WALL BRACKET FIXTURES SHALL BE INSTALLED AT 5'-6" ABOVE ADJACENT DOOR SILL HEIGHT TO CENTERLINE OF FIXTURE.
- 9) APPROVED SMOKE DETECTORS SHALL BE LOCATED ON EVERY STORY OF THE DWELLING UNIT AS PER CODE (SEE SHEET 6.XXX FOR LOCATIONS). WHERE MORE THAN ONE DETECTOR IS REQUIRED THEY SHALL BE INTERCONNECTED. POWER SOURCE SHALL BE BUILDING POWER W/ BATTERY BACKUP.

### GENERAL FRAMING SPECS AND CONSTRUCTION NOTES STAIRS:

- 1) THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4 INCHES (210 MM) AND THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES (229 MM).
- 2) HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34 INCHES AND 38 INCHES SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS.
- 3) HANDRAIL AND BALUSTRADE (WHERE PRESENT) SHALL BE CONSTRUCTED PER CODE
- 4) ALL REQUIRED HAND RAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS W/ 2 OR MORE RISERS FROM A POINT ABOVE THE TOP RISER OF A FLIGHT TO A POINT ABOVE THE LOWEST RISER OF THE FLIGHT. ENDS SHALL BE RETURNED OR SHALL TERMINATE AT WEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL AND HAND RAIL.

### WALLS:

- 1) ALL STUDS TO BE 2x4 SPF OR EQUAL UNLESS NOTED OTHERWISE.
- 2) USE DBL TOP PLATES 16" OC ON BOTH FIRST AND SECOND FLOOR AT ALL EXTERIOR AND LOAD BEARING CONDITIONS ALL OTHER PARTITION WALL USE SINGLE TOP PLATE 24"OC.

### FLOORS:

- 1) STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED PER CODE
- 2) THE ENDS OF EACH JOIST, BEAM, OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES (38MM) OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES (76MM) ON MASONRY OR CONCRETE OR AS OTHERWISE SPECIFIED PER CODE
- 3) ANY CONVENTIONAL FLOOR JOISTS SHOWN DOUBLED ON PLANS TO BE GLUED AT INSTALLATION AND NAILED W/ 3-16d NAILS @ 16" O.C. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 4) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED FLOOR SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### FRAMING:

- 1) ALL FRAMING DIMENSIONS TO FACE OF MEMBER/SHEATHING.
- 2) ALL BEARING HEADERS TO BE 2 X 8 #2 OR EQUAL UNLESS NOTED OTHERWISE.
- 3) ALL 2x10 & 2x12 HEADERS TO BE DOUGLAS FIR LARCH (NORTH) - #2 UNLESS NOTED OTHERWISE.
- 4) ALL 2x8 HEADERS TO BE #2 UNLESS NOTED OTHERWISE.
- 5) PROVIDE 1x4 BLOCKING UNDER ALL EXTERIOR SLIDING DOORS.
- 6) ALL BEAMS & HEADERS SHALL HAVE A MINIMUM OF (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS LABELED ON PLANS INDICATES THE NUMBER OF JACK STUDS ONLY (UNLESS NOTED OTHERWISE).
- 7) TWO-PLY CONVENTIONAL BEAMS TO BE FACE-NAILED W/2 ROWS 16d COMMON NAILS STAGGERED @16" O.C. UNLESS NOTED OTHERWISE. THREE-PLY CONVENTIONAL BEAMS TO BE NAILED AS ABOVE FROM EACH SIDE. MULTIPLE PLIES OF ENGINEERED LUMBER TO BE ASSEMBLED PER MANUF. RECOMM.
- 8) JOIST HANGERS, WHERE REQUIRED, SHALL BE USED WITHOUT ANGLES.
- 9) INSTALL FIRE STOPPING AND/ OR DRAFT STOPPING AS REQUIRED.

### ROOF:

- 1) HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT RIDGE DOWN TO BEARING PARTITION. CUT ENDS OF RAFTERS SHALL BE FULLY SUPPORTED WALL AND RIDGE.
- 2) SHOP DRAWINGS FOR ANY AND ALL ENGINEERED ROOF TRUSS SYSTEMS TO BE SUBMITTED TO ARCHITECT TO REVIEW IN CONFORMANCE WITH THESE CONSTRUCTION DOCUMENTS. WHERE THE CONSTRUCTION DOCUMENTS DO NOT ADDRESS METHODOLOGY, CONTRACTOR TO BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

### WINDOW DATA:

SIMONTON WINDOWS PERFORMANCE DATA				
WINDOWS				
	R VALUE	U FACTOR	SHGC	VT
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.13	0.32	0.28	0.54
ARGON WITH GRIDS				
3/4" LOW-E/270 CLEAR	3.03	0.33	0.26	0.48
SLIDING GLASS DOORS				
ARGON WITHOUT GRIDS				
3/4" LOW-E 270/CLEAR	3.45	0.29	0.29	0.57
ARGON WITH GRIDS				
3/4" LOW-E 270/CLEAR	3.23	0.31	0.26	0.50

### LIGHT & VENT CALCULATIONS:

ROOM	SQ. FT.	LIGHT REQ'D	LIGHT SUPP	VENT REQ'D	VENT SUPP	NOTES
PLAN CENTER	55	4.40	5.20	2.20	2.10	
KITCHEN/NOOK	325	26.00	64.94	13.00	31.62	
GATHERING	287	22.96	46.30	11.48	19.80	
POWDER ROOM	36	N/A	5.20	39.6	50.00	
DEN	123	9.84	46.30	4.92	19.80	
DINING ROOM	161	12.88	24.80	6.44	10.60	
OWNER'S SUITE	274	21.92	66.20	10.96	26.60	
OWNER'S BATHROOM	104	N/A	12.40	114.40	150	
TOILET ENCLOSURE	15	N/A	N/A	16.5	50	
BEDROOM 2	158	12.64	16.30	6.32	6.90	
BEDROOM 3	166	13.28	23.40	6.64	9.80	
BEDROOM 4	205	16.40	35.10	8.20	14.70	
BATH 2	60	N/A	N/A	66.00	100.00	
GAME ROOM	242	19.36	23.40	9.68	9.80	

### APPLICABLE CODES:

2006 RESIDENTIAL CODE OF OHIO  
2006 INTERNATIONAL PLUMBING CODE  
2006 INTERNATIONAL MECHANICAL CODE  
2008 NATIONAL ELECTRIC CODE  
2006 INTERNATIONAL FIRE CODE  
2006 INTERNATIONAL ENERGY CONSERVATION CODE

### PLAN SHEET INDEX

SHT.	DESCRIPTION
0.00	COVER SHEET
1.30a	FULL BASEMENT FOUNDATION PLAN
2.10a	FIRST FLOOR PLAN
2.11a	PLAN DETAILS
2.11b	PLAN DETAILS
2.11c	PLAN DETAILS
2.20a	SECOND FLOOR PLAN
3.30a	TYPICAL BUILDING SECTIONS
3.31a	TYPICAL WALL SECTIONS
3.31b	TYPICAL WALL SECTIONS
AD 3.7	ARCHITECTURAL DETAILS
6.10	FIRST FLOOR ELECTRICAL PLAN
6.11	SECOND FLOOR ELECTRICAL PLAN
7.01a1	FRONT ELEVATION "1" - FRONT AND REAR ELEVATIONS
7.01a2	FRONT ELEVATION "1" - SIDE ELEVATIONS AND ROOF PLAN

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Cleveland Division  
387 Medina Rd. Suite 1700  
Medina, OH 44256



Cover Sheet  
Specifications & General Notes

PRODUCTION MANAGER	
Jamey Heinzman	
CURRENT RELEASE DATE: 04/04/2018	
REV #	DATE / DESCRIPTION
△	
△	
△	
△	
△	
△	
△	
△	
△	

PROJECT TYPE  
**SINGLE FAMILY**

COMMUNITY NAME  
**RIVER OAKS LOT 86**  
LAWSON COMMUNITY ID  
—

GARAGE HANDING  
**GARAGE RIGHT**

SPECIFICATION LEVEL  
**TBD**

PLAN NAME  
**HOLBROOK**  
NRC PLAN NUMBER  
**TBD**  
LAWSON PLAN ID  
—  
LEGACY PLAN NUMBER / NAME  
**PLAN 3140**

SHEET  
**0.00**

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

ENGINEER OF RECORD: MULHERN & KULP, ENGINEERING  
ARCHITECT OF RECORD: GODOUCO DESIGN - ARCHITECTS





City of Hudson, Ohio  
Department of Community Development  
46 Ravenna Street, Suite D-3; Hudson, OH 44236-3099  
330-342-1790 330-656-1753 Fax: 330-342-1880  
[www.hudson.oh.us](http://www.hudson.oh.us)

**Residential Landscaping Requirements**  
*To be completed at application for new house construction*

The following information must be submitted at application for new residential construction. The Land Development Code requires the planting (or preservation) of up to three trees within the site limits of disturbance. The total number of trees required will be determined by a review of the approved site plan and noted as a condition on the zoning certificate.

I, Bishoy Magdalla accepts responsibility for the  
Owner or Applicant (Please Type or Print)

planting of trees as noted within the conditions of the Zoning Certificate for the house construction at:

6404 Kingswood Drive  
Street # or S/L# Street Name

as required by Land Development Code Section 1207.04(j)(1). Tree planting must be completed within 18 months from the start of construction and 24 months from the issuance of the Zoning Certificate.

Bishoy Magdalla 3/31/2018  
Signature of Applicant or Owner Date

This tree planting responsibility is not transferable unless the City of Hudson receives the form below executed by the property owner or purchaser.

I, Bishoy Magdalla accept the above stated responsibility for  
Owner or Purchaser (Please Type or Print)

planting trees within the time period specified or otherwise approved by the City.

Bishoy Magdalla 3/31/2018  
Signature of Owner or Purchaser Date

FAILURE TO FULFILL THE REQUIREMENTS AS ENUMERATED HEREIN WILL RESULT IN CIVIL AND/OR CRIMINAL LIABILITY TO THE PERSON OR ENTITY SIGNING THIS ACKNOWLEDGEMENT PURSUANT TO THE MANDATES OF THE HUDSON LAND DEVELOPMENT CODE

### 3 PRIVATE TREE REPRESENT(S)

(j) General Landscaping

These requirements are in addition to the landscaping requirements and the street tree requirements set out in Section 1207.04.

(1) Residential Landscaping Requirements:

(A) All residential lots shall be planted with a minimum of three (3) trees with a minimum diameter at breast height (DBH) of 1 3/4 inches. Any single-family detached lot shall have at least one (1) of the required trees located in the front yard, or on the south or west side of the house for effective summer cooling, or in the case of a corner lot, in the front yard or the side yard facing the street. Existing trees properly preserved within the limits of disturbance of equal or larger DBH will satisfy this requirement. (See subsection (i), Landscaping Credits below).

(B) For any residential development with attached or multi-family buildings, two trees, with a minimum DBH of 1 3/4 inches, shall be planted for each unit on individual lots, if provided, or within the Open Space Area(s). Existing trees, of equal or larger DBH, if properly preserved, will satisfy this requirement.

(2) Non-Residential Landscaping Requirements:

In all institutional, commercial, and industrial developments: one (1) tree shall be planted of a minimum two (2) inches DBH shall be planted for every 2,000 square feet of gross area of building footprint or fraction thereof. Existing trees properly preserved within or outside of the limits of disturbance, of equal or greater DBH, will satisfy this requirement.

(k) Landscaping Requirements for Front Yard/Front Setbacks

(1) Uses Fronting on Arterials:

Except in District 5 and 9, landscaped buffers shall be required within the front yard setback area of all uses fronting an arterial street. The landscaped buffer shall meet the following standards:

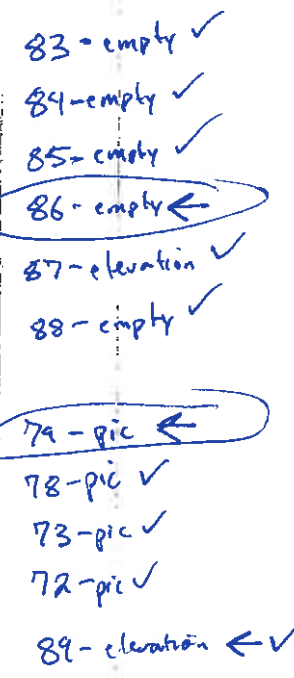
(A) The minimum width of the bufferyard shall be 50 feet, except that residential open space conservation subdivision lots fronting an arterial street shall establish a landscaped bufferyard with a minimum width of 100 feet unless the Planning Commission determines that a less wide bufferyard is compatible with existing development patterns in the surrounding community. (See Section 1207.06).

(B) Plantings for every 100 feet of bufferyard length: four (4) small trees and two (2) large or medium trees from the Tree Plant List. (Appendix C)

(C) Trees shall be planted in a random pattern, interspersing sizes of trees Large, Medium, and Small (see Appendix C for Large, Medium and Small Tree Plant List).

(D) Only the native plant species for each of these categories of trees as set forth in Appendix C shall be utilized.

BM X

















71













85





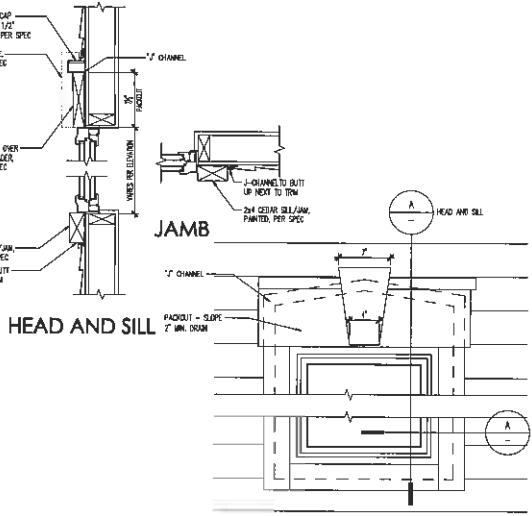
86



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NOTE: SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED. TO PAIR SIZE, SCALE: 1/8" = 1'-0" UNLESS OTHERWISE NOTED. 1/2" SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED.

ENGINEER OF RECORD: MARGEN & SUEP ENGINEERING  
ARCHITECT OF RECORD: DOMINGUEZ DESIGN - ARCHITECTS



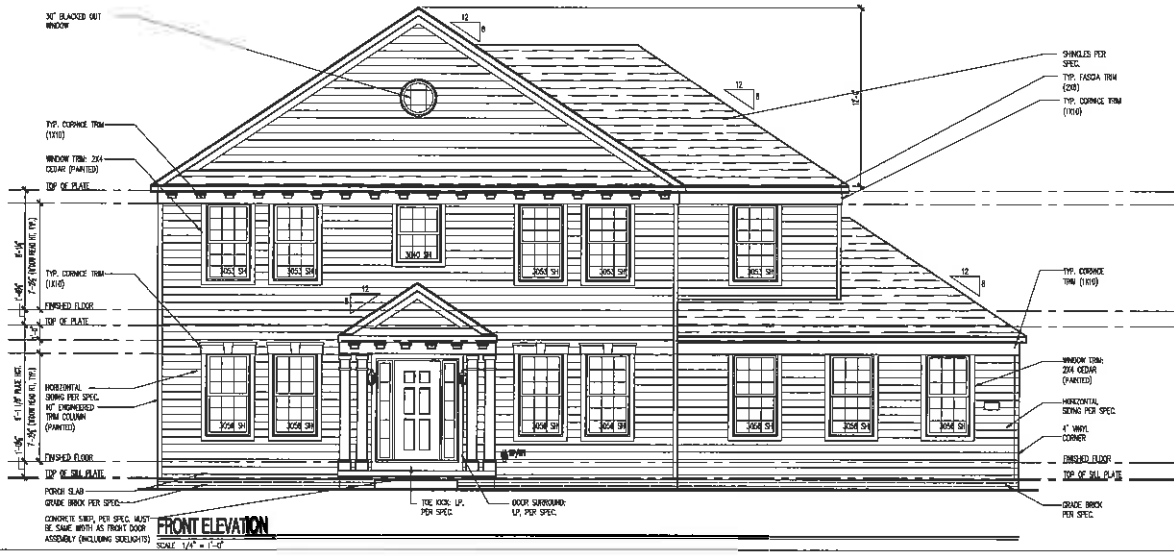
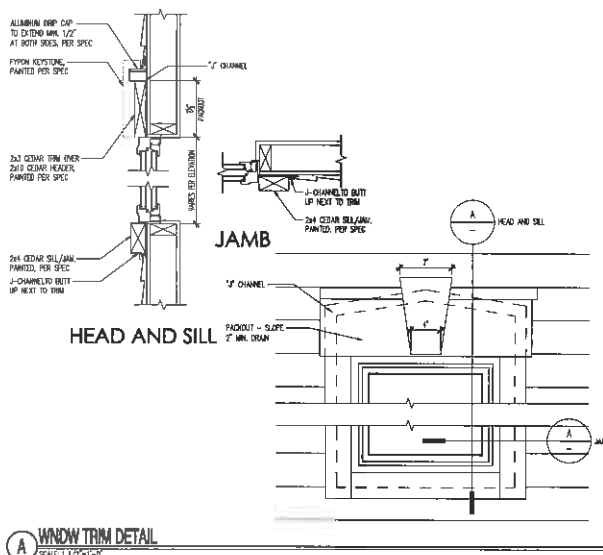




REVISION	DATE	DESCRIPTION
1	10/24/2023	REV A: MARK / DESCRIPTION

PROJECT TYPE	SINGLE FAMILY
COMMUNITY NAME	RIVER OAKS
LOT	89
LAYER COMMUNITY ID	
GRADE NUMBER	GARAGE RIGHT
STRUCTURE LEVEL	TBD
PLAN NAME	ATWATER
REV. PLAN NUMBER	100
LAYER PLAN ID	
REVISION PLAN NAME / DATE	PLAN 3-295
SHEET	7.01a1

ENGINEER OF RECORD: MAURER & KEMP ENGINEERS  
ARCHITECT OF RECORD: DOUGLAS JOHNSON - ARCHITECTS  
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86

## REGIONAL INCOME TAX AGENCY

CITY OF HUDSON  
MUNICIPAL INCOME TAX

## REGISTRATION OF CONTRACTORS

PROPERTY ADDRESS: 6404 Kingswood Dr.

CONTRACTOR NAME: Pulte Homes of Ohio, LLC

ADDRESS: 387 Medina Rd Ste 1400

CITY: Medina

PHONE: 330-849-3553

FED. I.D. # OR S.S. #: 13-4220906

DATE: 4/17/18 APPLICATION #:

AMT. OF CONTRACT:

ZONING PERMIT #:

TYPE	SUB- CONTRACTORS	ADDRESS	SOCIAL SECURITY # OR FED. TAX I.D. #	CONTRACT AMOUNT	ESTIMATED WAGES
CARPENTRY	Dakview Bldgs.	8488 Cox Rd. Windsor OH 44099	281-94-6081	7-10,000	
MASONRY	Brunder Inc.	9005 Woodland Ave. Cleveland 44104	34-0763168	7-2,000	
EXCAVATION	Bontrader Ex.	11087 Cleveland Ave Uniontown 41085	20-3560639	7-3,000	
SEP. TANK/SEWER	Bontrader Ex.	"	"		
HOT ROOFING	Campopiano	2100 N. Case Parkway Twinsburg 44087	34-1553464	7-9,000	
PLUMBING	NCD Corsillo	250 Alpha Park Highland Hts 44143	20-0476133	7-12,000	
SHEET METAL	Viccarone	33549 Royalton Rd Ste 12 Columbia Station 44028	31-1509548	Included in HVAC	
ELECTRICAL	Noviny	955 Evans Avenue Akron 44315	34-0660895	7-7,000	
REFRIGERATION	Viccarone	33549 Royalton Rd Ste 12 Columbia Station 44028	31-1509548		
AIR CONDITION.	Viccarone	"	"	7-10,000	
WARM AIR HEAT.	Viccarone	"	"		
STEAM VAPOR	Viccarone	"	"		
HOT WATER	NCD Corsillo	250 Alpha Park Highland Hts 44143	20-0476133	Included in plumbing cost	
DRYWALL/PLAST.	Tyler Finishing Co	5370 Colorado Ave Sheffield Village 44084	34-1962550	7-8,000	
DEMOLITION	N/A				
LANDSCAPING	Calanni	12412 York Rd N. Royalton OH 44133	34-1777518	7-2,000	
PAINTING/DECOR.	Laudato			7-4,500	
OTHER					
			TOTAL		

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COMMUNITY DEVELOPMENT • 1151 Westline Park Way, Suite 100 • Hudson, Ohio 44133 • 440.295.1100

X

## Acknowledgement Form

The Reserve at River Oaks subdivision is a unique open space conservation development containing significant areas of conservation easement and high quality wetlands. As part of the City of Hudson approvals for the development, the developer and/or the association are required to provide each purchaser of a lot with educational information related to the environmental benefits of the wetland areas and the regulatory restrictions related to the prohibitions of any filling, grading, dumping or disturbance of any area that is considered to be wetland or a conservation area.

As a purchaser of property within the Reserve at River Oaks residential subdivision, I acknowledge receipt of the brochure titled "Protecting Hudson Wetlands."

Name:

*Bishoy Magdalla*

Sublot purchased:

*86*

Date:

*3/31/2018*



BM X

## Benefits of a Natural Landscape

Native plants and animals sustain the environment on which we depend. By planting native species in wetland areas, you are providing an opportunity for native birds, insects and other wildlife to thrive. Native plants are much better adapted to our specific environment and are easier to grow, requiring far less maintenance.

Non-native plants grow aggressively, dominating and crowding out healthy native plants. The result affects the life cycle of all inhabitants, from native plant to insects, birds and animals. For more information on native plants visit [www.summitswcd.org](http://www.summitswcd.org).

## What to Plant?

Some colorful suggestions include

- sweet flag
- queen of the prairie
- great blue lobelia
- smooth rose mallow
- swamp rose



## Useful Resources

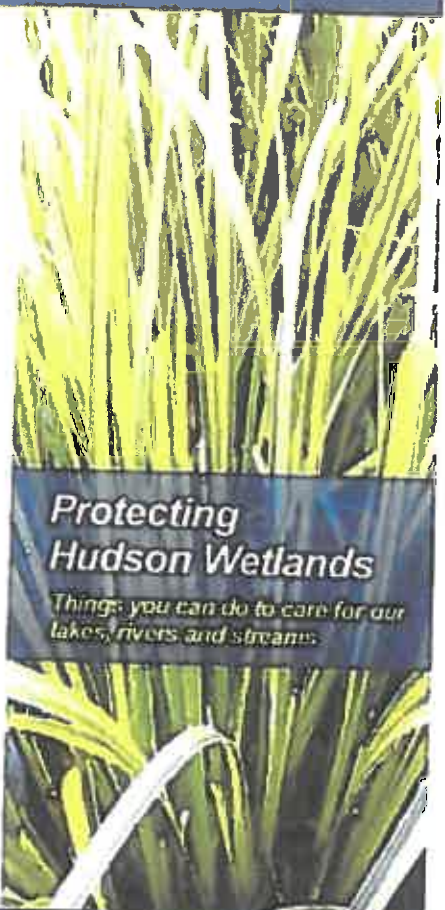
U.S. Environmental Protection Agency  
<http://water.epa.gov/type/wetlands>

Summit County  
Soil & Water Conservation District  
[www.summitswcd.org](http://www.summitswcd.org)

City of Hudson, Ohio  
Community Development Department  
115 Executive Parkway, Suite 400  
Hudson OH 44236  
330-342-1790

[www.hudson.oh.us](http://www.hudson.oh.us)

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## Hudson Wetlands

Located at the headwaters of three watersheds, Hudson is home to many wetlands that are valuable habitats protected by federal, state and local laws. Wetlands sometimes aren't easily recognized, since they can be dry during part of the year.

### Don't Disturb the Wetlands

Hudson's local regulations prohibit removing, filling, draining, dredging, clearing, destroying or altering any area in or near a wetland. This includes any vegetation. Hudson also requires natural, undisturbed buffers (a 50-foot

setback from the edge for residential districts). It is important you know where the edge of the wetland is and not mow or clear past that setback boundary. Call (330) 342-1790 if you need help determining those boundaries.

### What Threatens our Wetlands?

When it rains, stormwater that runs off driveways, lawns, houses and parking lots can carry pollutants, such as oil, paint and chemicals, down storm sewers and into nearby lakes and streams. Threats to wetlands include:

- Adding impervious surfaces due to development increases water runoff.

- Changing the flow of water in the wetland area.
- Polluted runoff from sediments, fertilizer, sewage, animal waste, road salts and pesticides.
- Diking or damming water to form ponds or lakes.
- The introduction of non-native plants that choke out native species.

By taking easy, affordable steps, you can have a big impact on reducing runoff and protecting our water resources and wildlife habitat.



## How can you make a difference?

### Use Chemicals Wisely

Fertilizers and pesticides can be washed into wetlands, causing environmental damage. Use organic products and remove weeds manually to reduce the runoff. Clean the pump and equipment after use to avoid spreading chemicals.

### Keep a Healthy Lawn

Water and mow your lawn properly. Don't use too much water or mow too often. Use a sharp mower blade. A healthy lawn can absorb water and prevent runoff.

### Don't Dump Grass Clippings

Grass clippings can smother wetlands and block the flow of water. Use a mulch mower to leave clippings on the lawn. If you must dispose of clippings, do so in a compost pile or a designated area.

### Scoop the Poop

It's easy to see why dog waste can be harmful to our local water quality.

### Landscape with Native Plants

Native species are more climate hardy and less likely to die or become invasive.

### Use Your Runoff

Collect runoff from your roof in a barrel and use the water for gardens and cars. Don't let runoff go down the drain. You can also create a rain garden to absorb runoff.

### Reduce Your Footprint

Use green products and services. Reduce your use of water, energy, and other resources. This helps reduce the amount of runoff that enters our waterways.