

LOT IMPROVEMENT PLAN

15 John Clark Lane

Situated in the City of Hudson,
County of Summit, State of Ohio
PPN 3200950

GRAPHIC SCALE

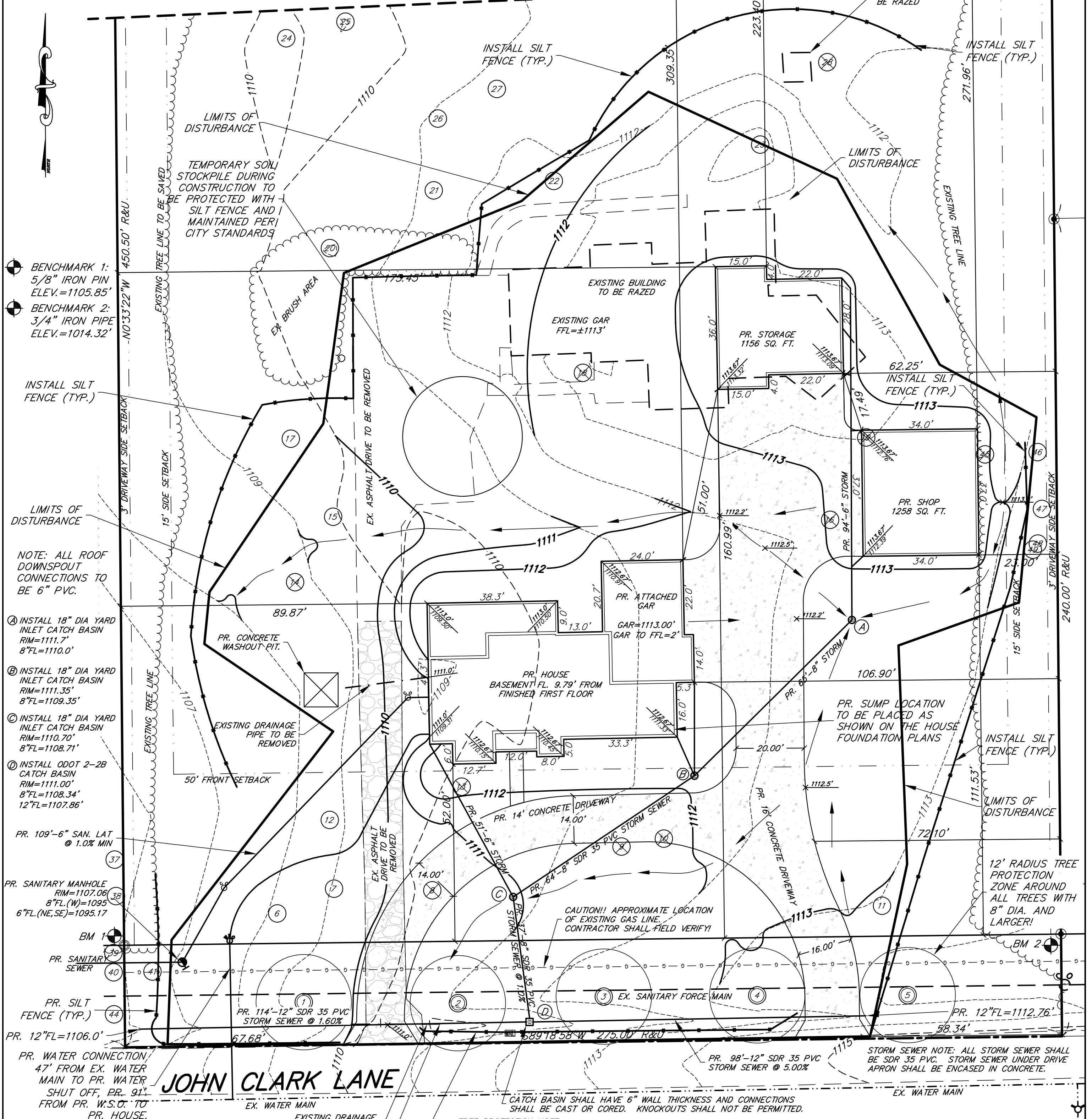


(IN FEET)
1 inch = 20 ft.

****4' TREE PROTECTION FENCING REQUIRED AROUND TREES THAT ARE TO BE SAVED NEAR WORK AREA WITH ORANGE SNOW FENCING. THESE TREE NUMBERS INCLUDE BUT ARE NOT LIMITED TO: 1, 2, 3, 4, 5, 6, 7, 11, 12, 14, 15, 17, 22, 46, 47, 48, 49

NOTE: PRIOR TO STARTING ANY WORK THE FOLLOWING MUST BE COMPLETED/INSTALLED:
1. CONSTRUCTION DRIVE
2. SILT FENCE
3. TREE PROTECTION

MATCH LINE SEE SHEET 3



1. GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE. ALL UTILITIES ARE PER DESIGN PLAN.
2. MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
3. ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
5. CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
6. NO LAWN AREAS TO BE MOWED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
7. SUMP PUMP REQUIRED, DESIGN & LOCATION TO BE DETERMINED BY BUILDER.
8. NO DETERMINATION OF THE PRESENCE OF WETLAND AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
9. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
10. A SOLID CLAY BULKHEAD AROUND THE PIPE SHALL BE PLACED WITHIN THE STORM & SANITARY CONNECTION TRENCH TO THE LEVEL OF THE STONE BACKFILL ABOVE THE PIPE.
Foundation dimensions shown are for rough field layout only, see Architectural House Plans for all dimensions.
The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.

FIN 1st FLR. = 1115.00'
TOP/WALL = 1114.00'
GARAGE = 1113.00'
BASEMENT FLR. = 1105.21'
BOTTOM/FOOTER = 1104.21'

TREE PROTECTION NOTE:
TREE ROOT ZONES WITHIN 12' OF ALL 8" OR GREATER DIAMETER TREES SHALL BE PROTECTED AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL USE MINI EXCAVATOR WITH 18" WIDE BUCKET TO EXCAVATE TRENCHES WHERE TRENCH WILL BE WITHIN ROOT PROTECTION ZONE. CONTRACTOR SHALL PLACE 3/4 INCH PLYWOOD SHEETS OVER ROOT PROTECTION ZONE AND SAWCUT TREE ROOTS PRIOR TO TRENCHING. TREE ROOTS ENCOUNTERED ARE TO BE CLEANLY CUT AND NOT RIPPED OUT OF THE GROUND.

CONTRACTOR NOTE:
EXCAVATING CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR ACTUAL DIMENSIONS BETWEEN FLOORS & BOTTOM OF FOOTER, WALL SECTIONS, UNEXCAVATED AREAS, & FOUNDATION WINDOW OPENINGS.

SURVEY LEGEND

- - 5/8" x 30" Iron Pin Set w/cap Lewis Land Professionals
- - Iron Pin Found & Described
- - Monument Found & Used
- - Iron Pipe Found & Described

Fnd. (F) - Found
Msd. (M) - Measured
Usd. (U) - Used
Rec. (R) - Record

Obs. (O) - Observed
Deed (D) - Deed
Calc. (C) - Calculated
Plat (P) - Plat

LEGEND

- PR.=PROP.=PROPOSED
EX.=EXISTING
- ⊗ TREE TO BE REMOVED
⊙ TREE
- ⊞ PR. CONC. DRIVE
⊞ TEMPORARY CONSTRUCTION DRIVE
- CLEANOUT
- ⊞ PROPOSED GRADE
⊞ EXISTING GRADE
- ⊞ SWALE = DRAINAGE FLOW/SWALE
- ⊞ DENOTES: CONSTRUCT CLAY BULKHEAD DAM IN ALL UTILITY TRENCHES



TWO WORKING DAYS BEFORE YOU DIG
Call 1-800-362-2764
TOLL FREE
Outside Ohio 216-744-5191
OHIO UTILITIES PROTECTION SERVICE

DATE	DESCRIPTION	BY
01/17/18	FINAL UP TO CLIENT	JLS
01/17/18	ADDRESS ENGINEERING COMMENTS	JLS
02/07/18	ADDRESS ENGINEERING COMMENTS	JLS
02/12/18	ADD LIMITS OF CONSTRUCTION	JLS
02/19/18	ADD TREES, MODIFY DRIVE, ADJUST STW	JLS
02/21/18	TREE NOTES & STORM SEWER NOTES	KAS
02/23/18	REVISED OUT BUILDINGS PER CLIENT	TRP

Lewis Land Professionals, Inc.

Civil Engineering & Surveying
8691 Wadsworth Rd. Suite 100 Wadsworth, Ohio 44281
Phone: (330) 335-8232
www.landprosinc.com

SHEET 2 OF 3

PROJ. No. 17-348 DRAWING NAME 17-348VAR.dwg

BOUNDARY SURVEY

15 John Clark Lane

Situated in the City of Hudson,
County of Summit, State of Ohio
PPN 3200950

SCUDDER D. & ALBERTA L.
KELVIE
BOOK 436 P. 70
04/15/1990
PPN 3201616

GEORGE FADDOUL
& VALERIE H. STRONG
& ALICE GOUVAS
DOC. NO. 56025054
01/31/2014
PPN 3201615

3/4" IRON PIPE
FND & USD

N89°18'58"E 275.00' R&U

210.50' R&U

HIROSHI YOKOYAMA
DOC. NO. 55611764
03/27/2009
PPN 3201339

WALLACE PAUL KITHCART &
WANDA SUE KITHCART
CO-TRUSTEES
DOC. NO. 56262671
12/09/2016

PAUL J. STENGER, TRUSTEE
DOC. NO. 56316573
08/02/2017
PPN3200950
REC.3.0509 ACRES
SURVEY 2.8441 ACRES

3/4" IRON PIPE
FND & USD

SUMMIT HOUSING/
DEVELOPMENT CORP
DOC. NO. 55957289
05/21/2013
PPN 3200131

240.00' R&U

5/8" IRON PIN
FND & USD

R/W

5/8" IRON PIN
FND & USD

R/W

3/4" IRON PIPE
FND & USD

R/W

S89°18'58"W 214.00' R&U

S89

S89°18'58"W 275.00' R&U

S89°18'58"W 300.00' R&U

1" IRON PIN
FND & USD IN
MON BOX

JOHN CLARK LANE 60'

SOUTH MAIN STREET 60'

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

SURVEY LEGEND

- - 5/8" x 30" Iron Pin Set w/cap Lewis Land Professionals
- - Iron Pin Found & Described
- - Monument Found & Used
- ⊙ - Iron Pipe Found & Described

Fnd. (F) - Found Obs. (O) - Observed
Msd. (M) - Measured Deed (D) - Deed
Usd. (U) - Used Calc. (C) - Calculated
Rec. (R) - Record Plat (P) - Plat

The "Basis of Bearings" for this survey is **Grid North** of the NAD83 (2011), Ohio State Plane, North Zone as established by GPS Observation.

Lewis Land Professionals, Inc. has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING BOUNDARY SURVEY WAS PREPARED FROM ACTUAL FIELD MEASUREMENTS IN ACCORDANCE WITH CHAPTER 4733-37, OHIO ADMINISTRATIVE CODE, AND ALL MONUMENTS WERE EITHER FOUND OR SET AS SHOWN HEREON.

Joseph A. Burgoon
Joseph A. Burgoon, Professional Surveyor No. S-8325

01/18/18

Date

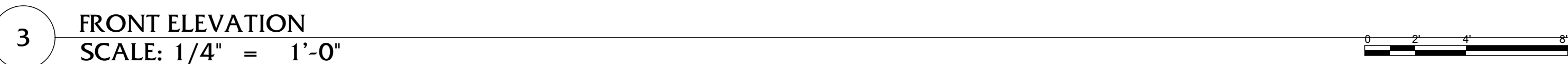
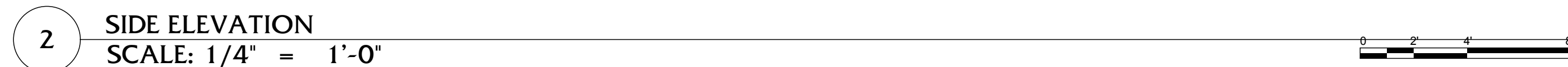
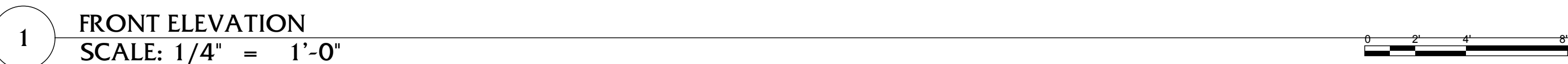
Lewis Land Professionals, Inc.

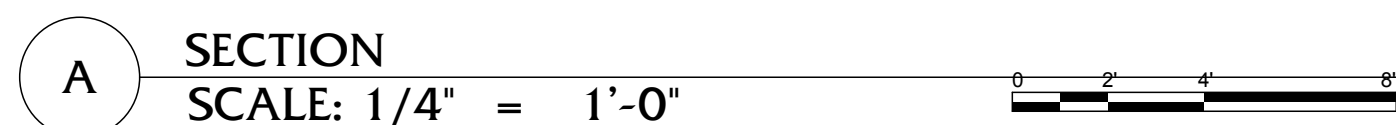
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SHEET 1 OF 3

PROJ. No. 17-348 DRAWING NAME 17-348LP.dwg



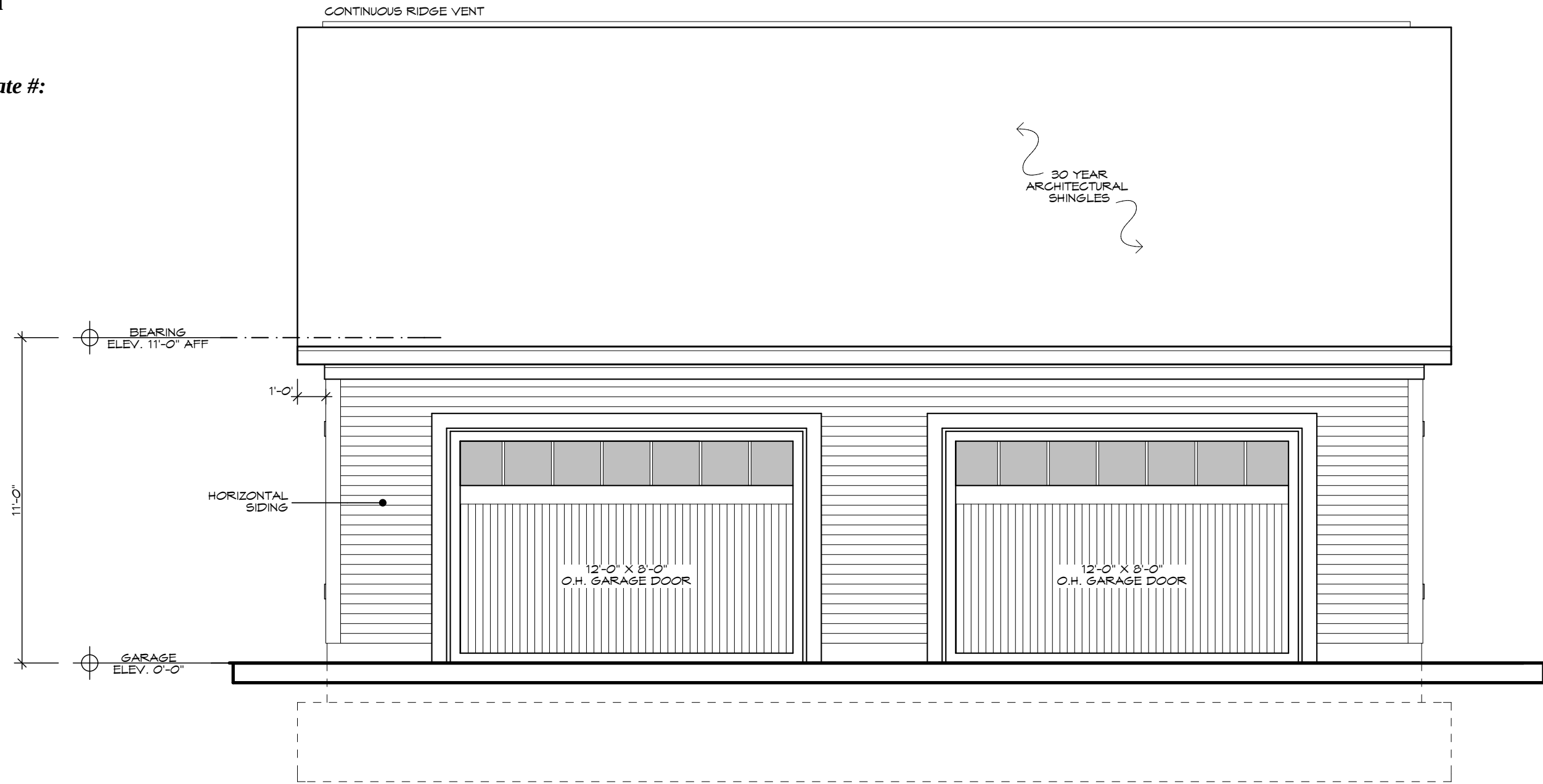




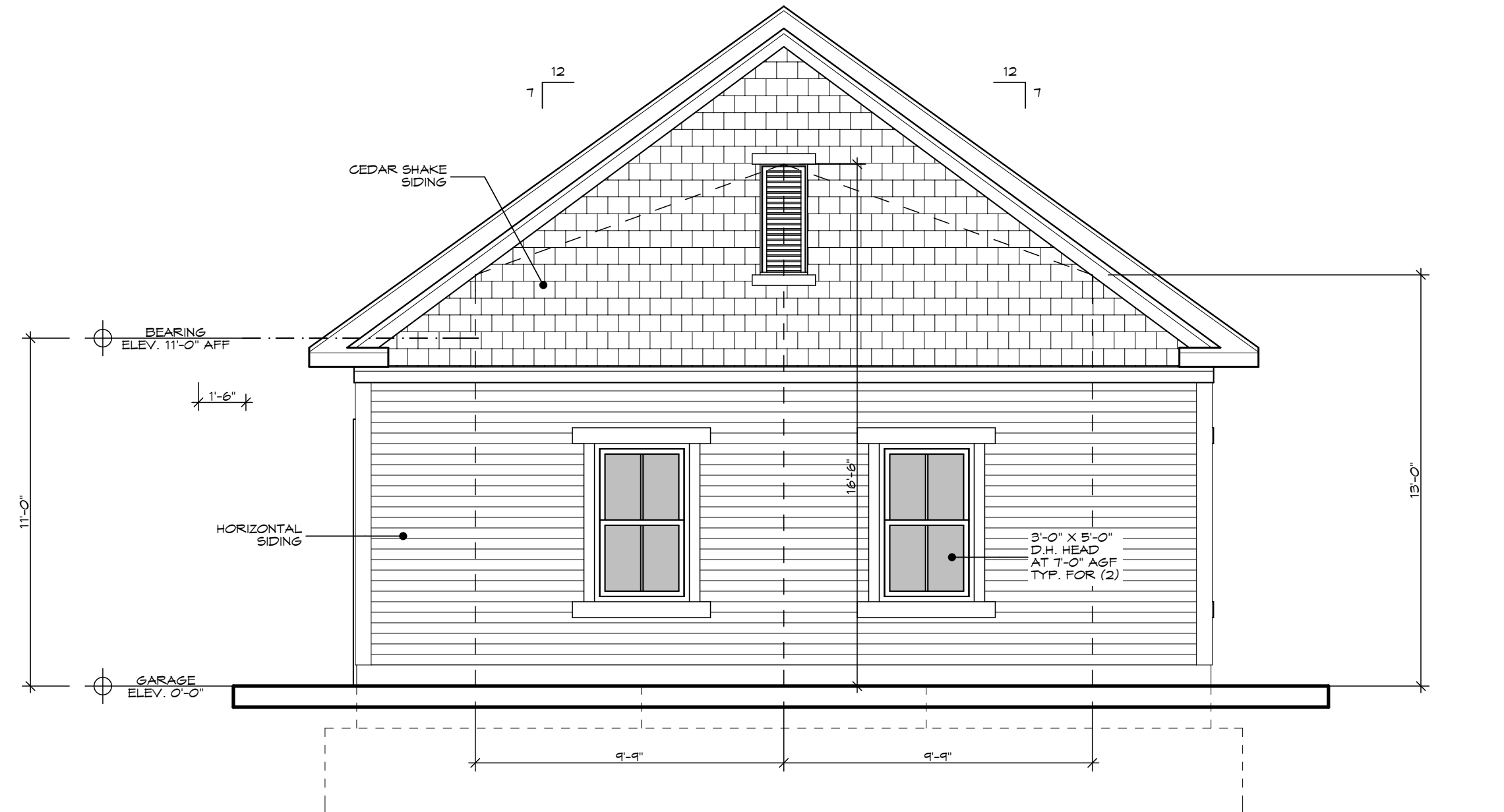
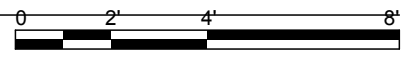
☒ Approved

3/7/18

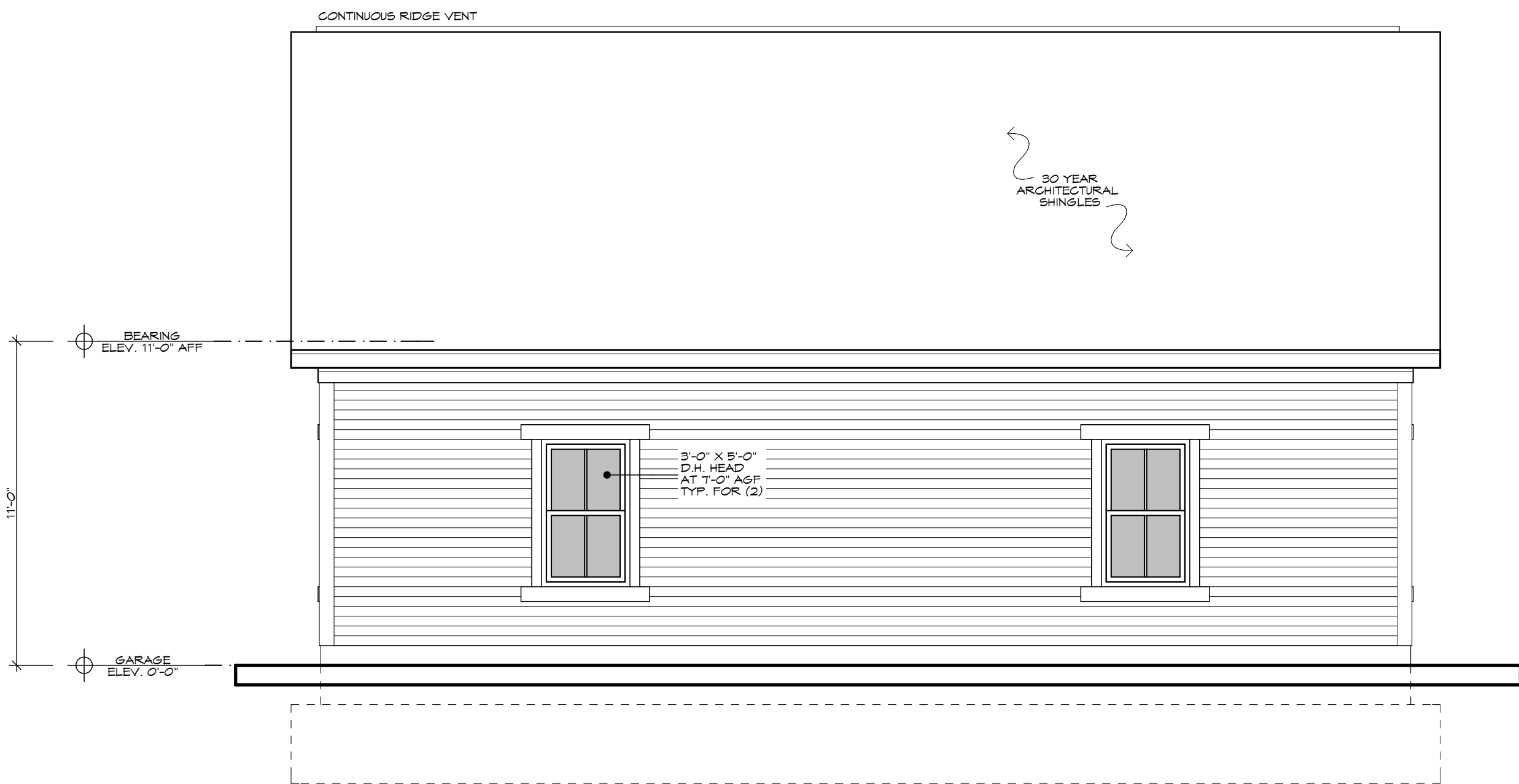
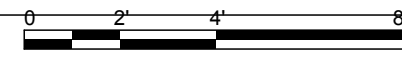
Zoning Certificate #:
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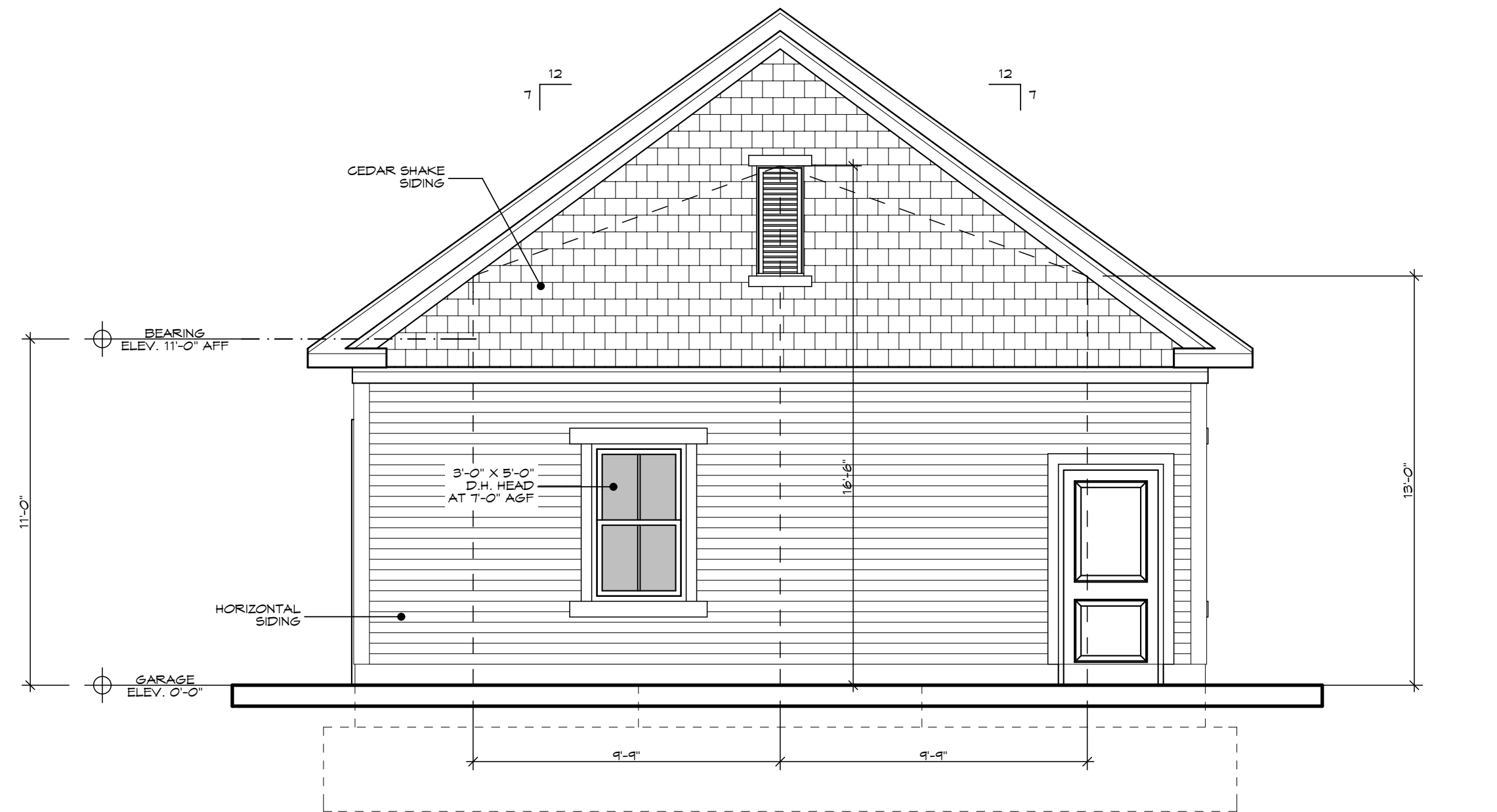
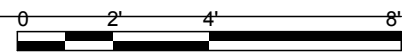
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SCALE: 1/4" = 1'-0"



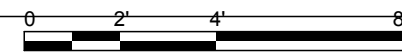
2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



Previous Plans

**PENINSULA
ARCHITECTS**

P.O. BOX 235 | 1775 MAIN STREET
PENINSULA, OHIO 44264
V 330.657.2800 F 330.657.2419

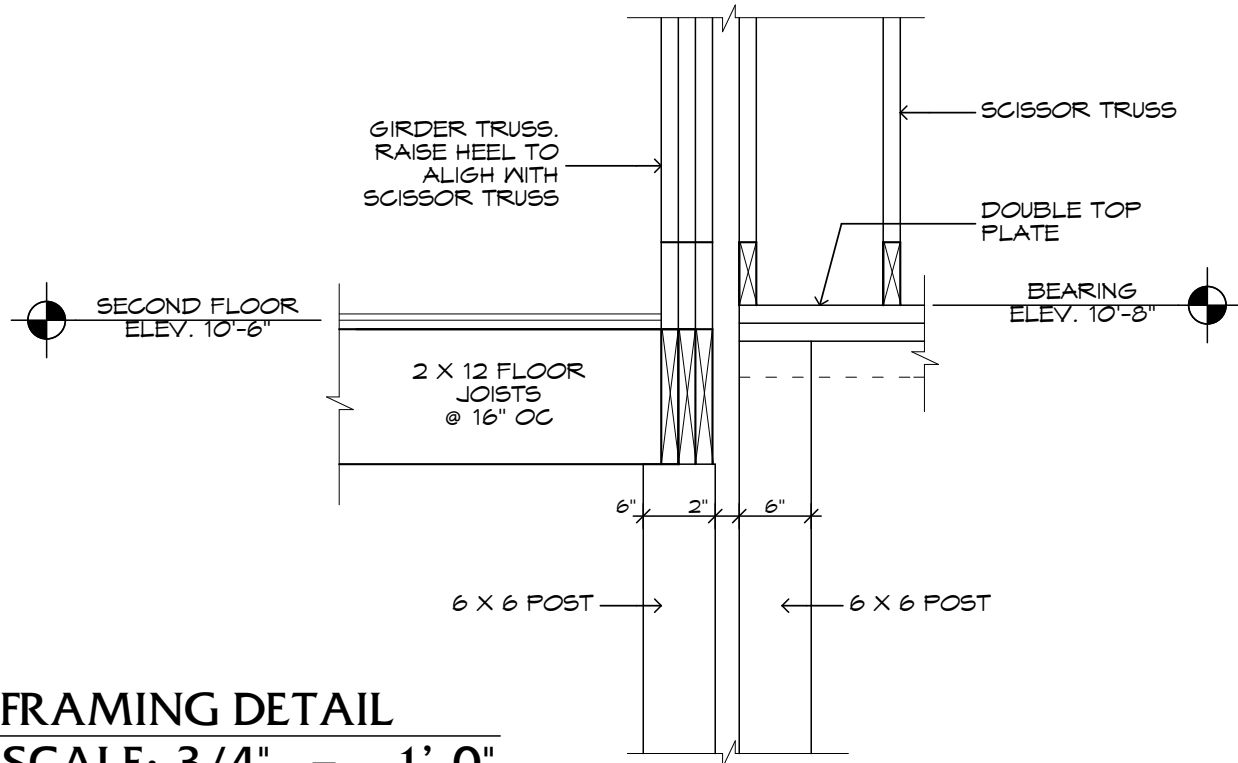
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HUDSON, OHIO

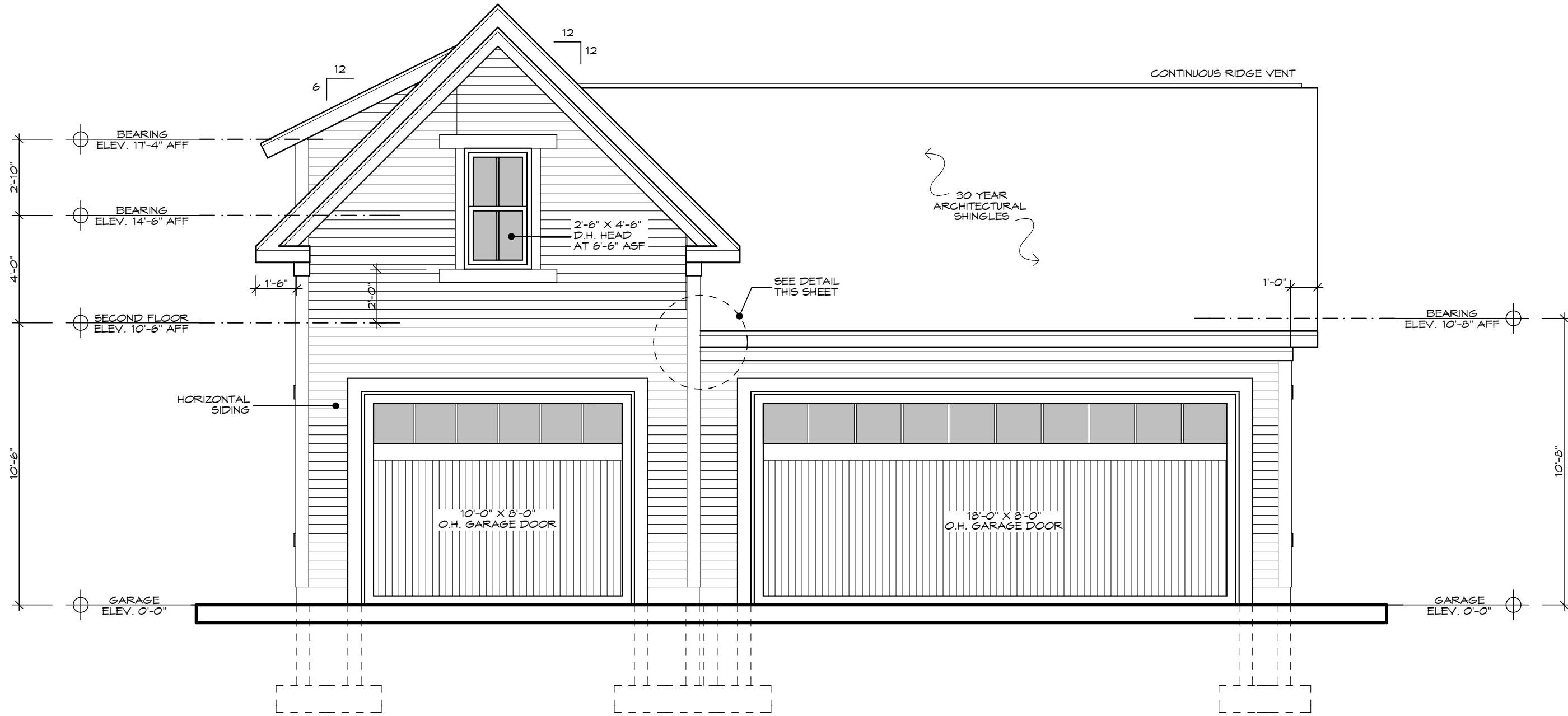
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11-13-17	FOR REVIEW
11-20-17	REVISIONS
12-04-17	OUT BUILDINGS
12-21-17	BANK SET
01-01-18	REVISIONS
01-22-18	FOR PERMIT

DRAWN BY	
SCALE	AS NOTED

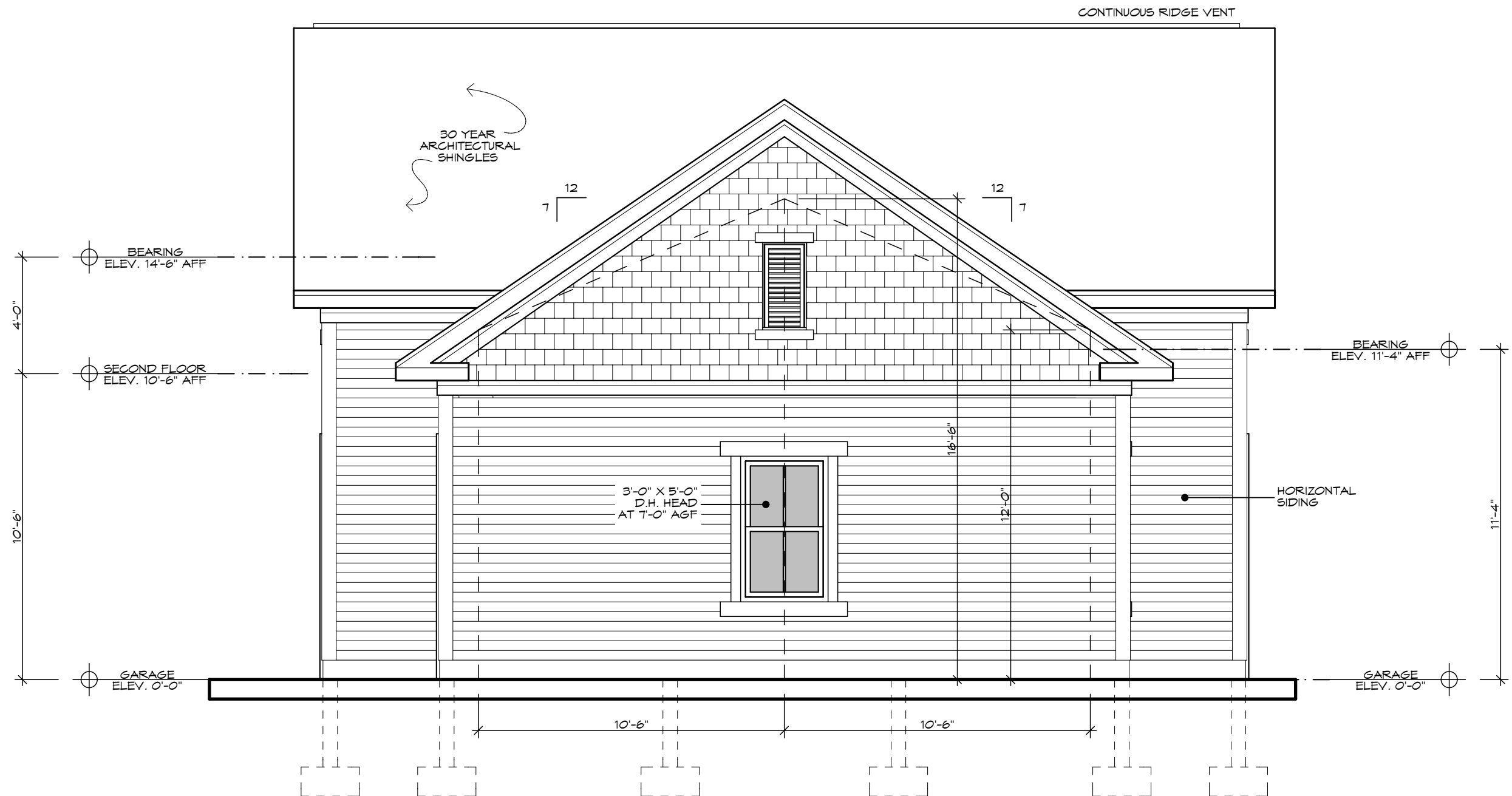
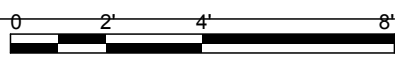
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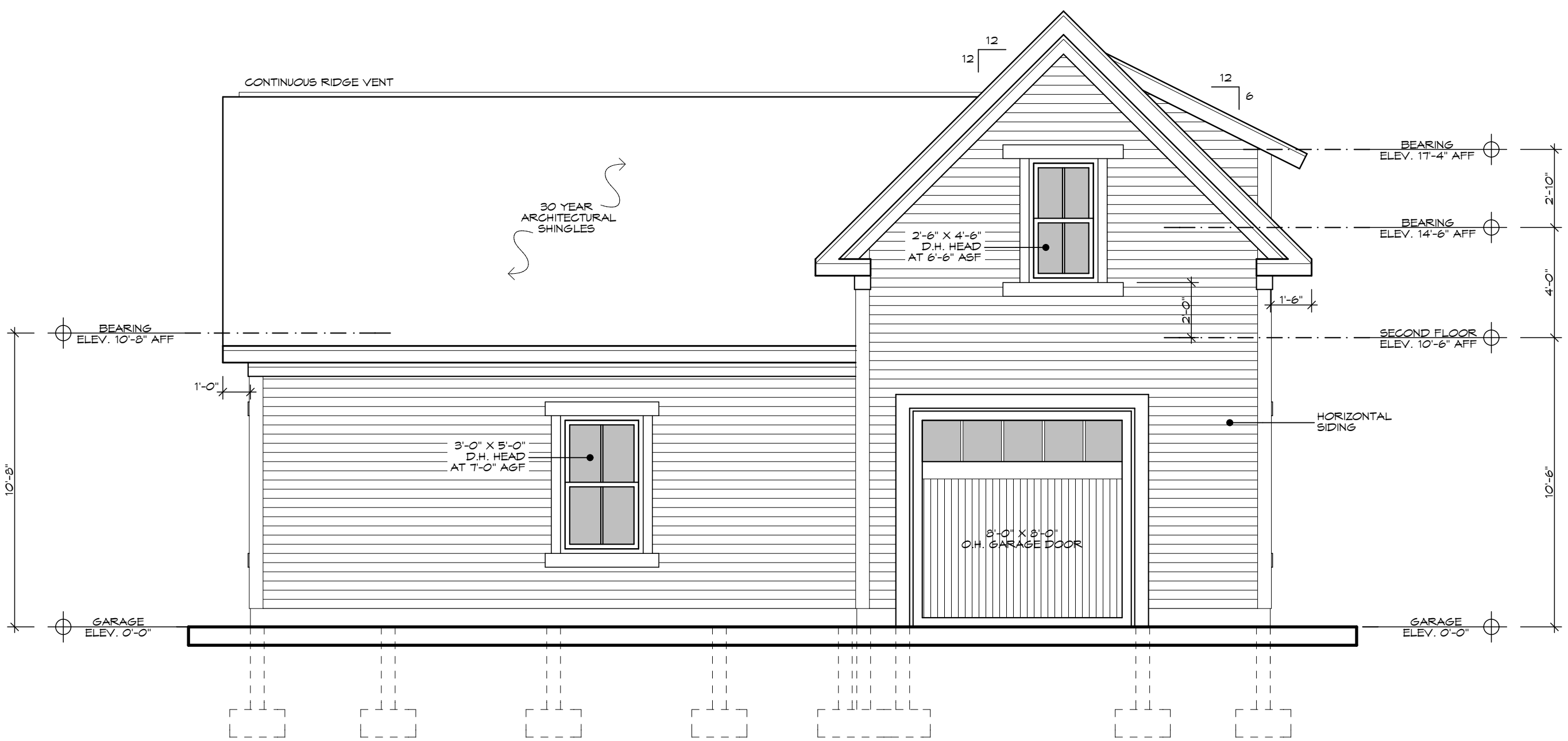
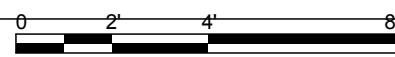
A FRAMING DETAIL
SCALE: 3/4" = 1'-0"



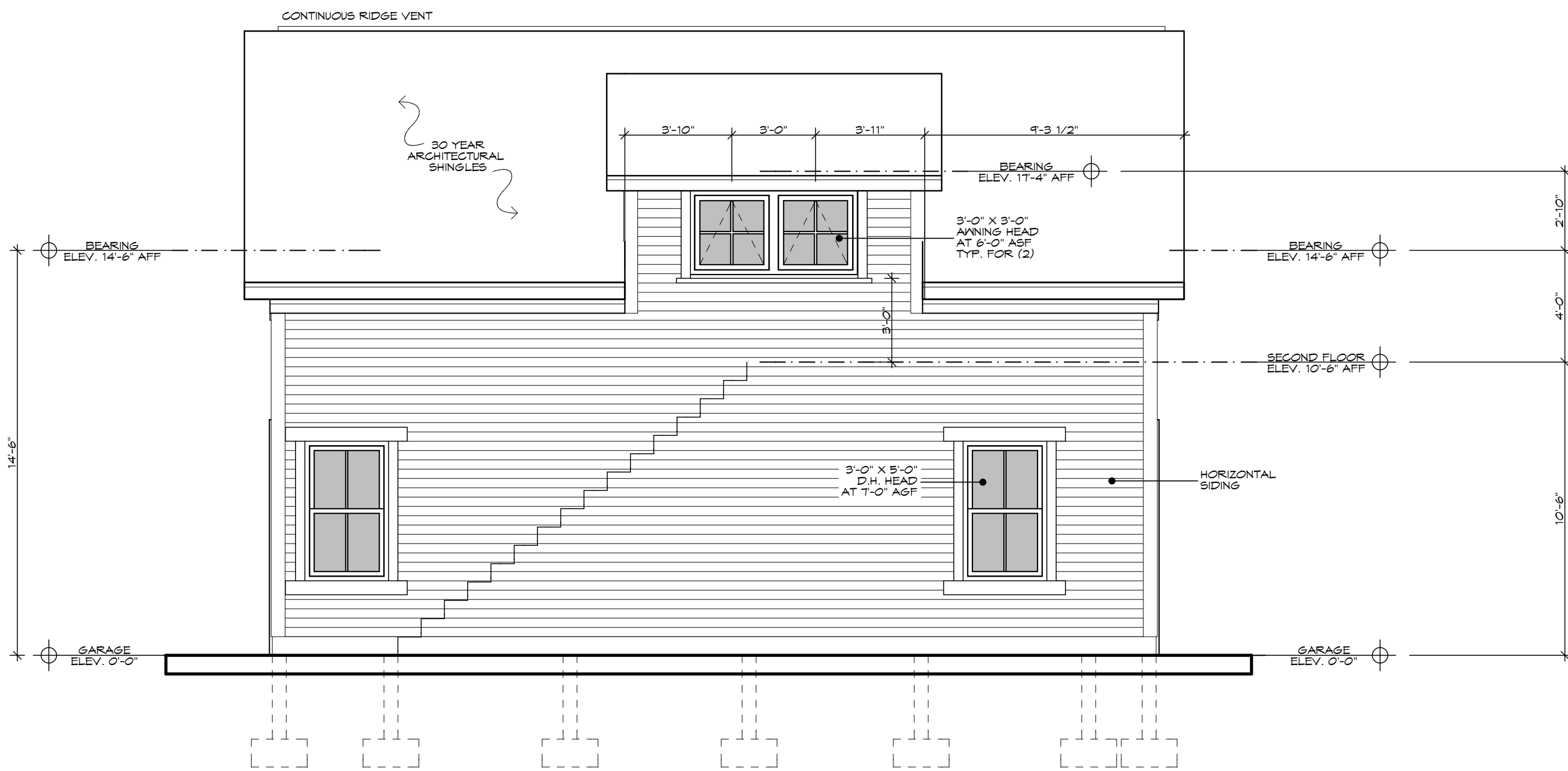
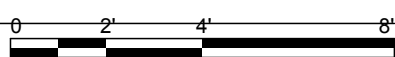
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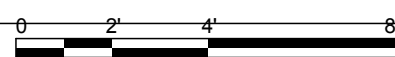
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