



COMMUNITY DEVELOPMENT • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1790

DATE: October 6, 2025
TO: Planning Commission
FROM: Greg Hannan, Community Development Director
Nick Sugar, City Planner
RE: LDC Amendment – Assisted Living, Continuing Care Retirement Communities,
Institutional Residential Uses

At the September 2025 meeting Planning Commission reviewed the expanded responses forwarded from staff. After discussion the Planning Commission requested staff to revise the proposed amendment to limit the discussed uses to Districts 2 and District 3 and that such uses be within a one mile radius of the City of Hudson Safety Services Center with a northern terminus of the Ohio Turnpike. Staff has prepared the attached proposed revisions and notes the following:

1. Ohio turnpike – Staff mapped a one mile radius from the Safety Services Center at 40 S Oviatt Street. The distance did not extend north of the Ohio Turnpike so reference to this was not included within the attached.
2. Overlay – Planning Commission asked for the proposed amendments to be captured within an overlay. The use of an overlay might be typical when grouping uses and establishing a new set of regulations applied over the existing districts. As the primary goal was to incorporate the one mile radius, staff is proposing adding the attached additional conditional use restriction to capture this item. This should simplify the amount of text needed and allow the PC to consider further density or housing related amendments going forward without adding too much complexity at this time.

Required PC Action

The PC shall conduct a public hearing, make specific recommendations to the City Council, and transmit the application to the City Council, together with the text and map amendments pertaining thereto, within 120 days from the date of initiation of the application for text or official zoning map amendments. The initiation of the application was commenced with City Councils referral on July 15, 2025.

Recommendation

Staff recommends the Commission proceed with a motion to recommend City Council approve the Land Development Code text amendment subject to the recommendations documented within the October 2025 staff report.

Proposed LDC Amendment October 2025

Chapter 1206 Use Regulations

1206.01 Table of Permitted and conditional uses by zone district

<i>P = Permitted By Right C = Conditional</i> <i>*Size or Other Limits Apply—See Zone District Regulations, Chapter 1205</i>													
Zoning Districts													
Use Type	1	2	3	4	5	6	7	7ol	8	8ol	9	10	Special conditions
Residential													
Assisted Living		C	C	€	€	€			€	€			4,10,11,12,14, <u>35</u>
Institutional/Civic/Public Uses													
Continuing Care Retirement Community		<u>C</u>	C			€			€				4,10,11,12,14,22, <u>35</u>
Institutional residential for the handicapped or elderly (for 9 or more people)		<u>C</u>	C			€			€				4, <u>10,11,12</u> ,14,22, <u>35</u>

1206.02 Conditional Use Standards

(a) General Provisions

(b) Conditional Uses; Generals criteria and Standards

(4) Where applicable, certification or licensing by the sponsoring state or federal governmental agency shall be a prerequisite to issuance of a zoning certificate by the City. A copy of an annual report with evidence of continuing certification shall be submitted to the Community Development Director **upon request** ~~in January of each year.~~

(10) Adequate vehicle turning areas shall be provided on the site so that vehicles and equipment can be maneuvered on site without interrupting traffic flow or blocking public streets.

(11) The parking area for the use shall be a minimum of fifty feet from adjacent properties used for residential purposes.

(12) Safe areas for pick-up and discharge of persons shall be provided.

(14) Adequate provisions shall be made for access by emergency medical and fire vehicles on two sides of the building.

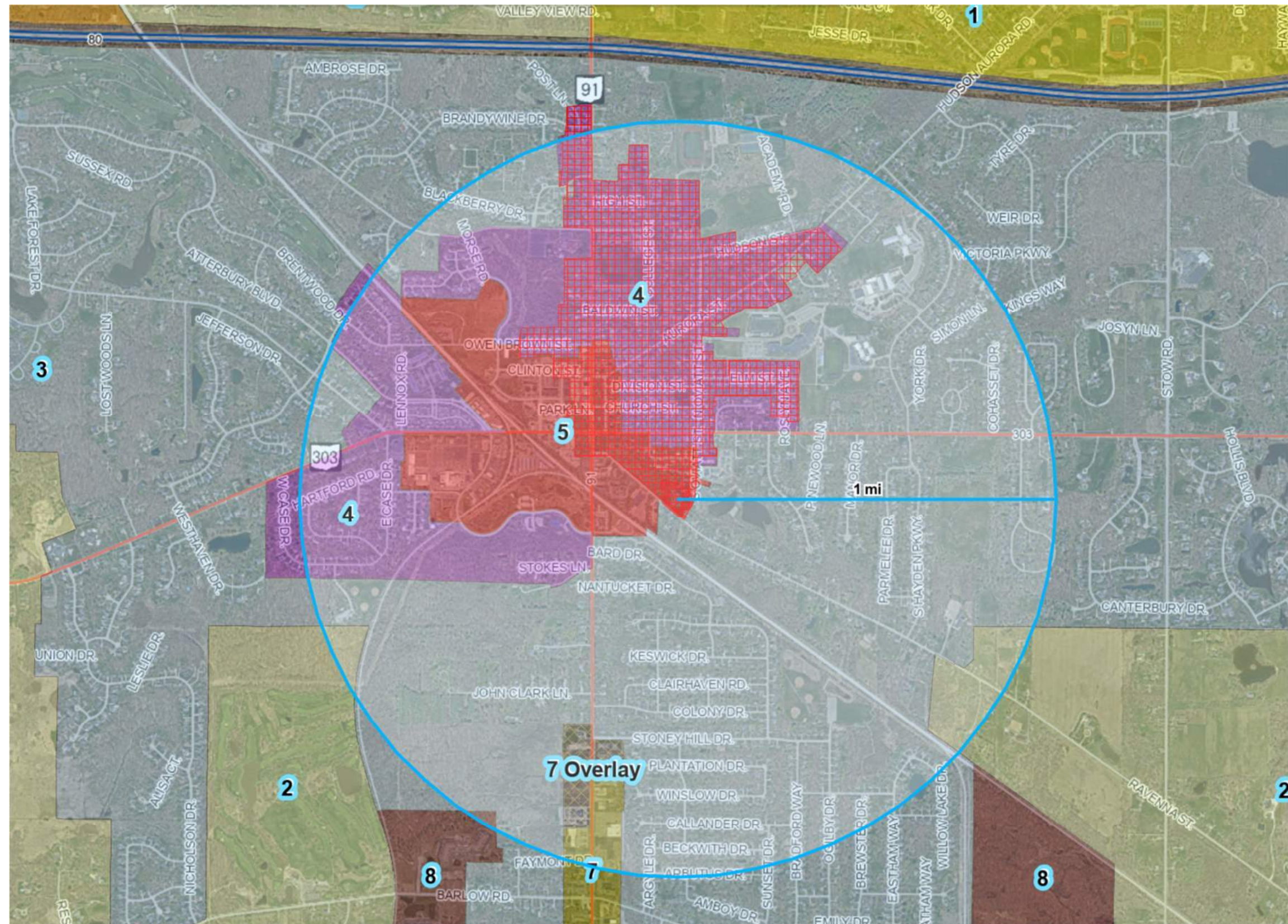
(35) The use or building housing such use shall be located a maximum of one mile from the lot line of the City of Hudson Emergency Medical Services station.

1213 Definitions

(26) "Assisted living" shall mean residences for the elderly that provide rooms, meals, personal care, and supervision of self-administered medication. They may provide other services, such as recreational activities, financial services, and transportation.

(73) "Continuing care retirement community" shall mean a residential and institutional complex containing dwelling units of any type permitted by this Code for independent living, ~~and~~ **along with** assisted living or institutional residential uses or both, with each dwelling or room occupied by not more than two residents at least one of whom is fifty-five years of age or older. Said complex shall have available on site: passive and active recreational facilities; common dining facilities; and provide primarily non-medical resident services to individuals in need of personal assistance essential for sustaining activities of daily living such as assistance or supervision in matters such as dressing, bathing, diet, financial management, transportation, evacuation of a residence in the case of an emergency, or administered medication.

(160) "Institutional residential uses" shall mean residences for nine or more unrelated persons who are elderly or developmentally disabled and who may or may not require facilities and services including restorative care and treatment, nursing services, aid with daily living skills, meal service, regular or as-needed medical supervision, social care, or other services that are supportive, restorative, or preventive in nature. Institutional residential uses include, but are not limited to, long-term care facilities, nursing homes, group homes for nine or more clients, and intermediate care facilities. "Institutional residential uses" do not include assisted living facilities, group homes for eight or fewer clients, day care centers, or family day care homes.



One Mile radius from Hudson Emergency Services Station at 430 S Oviatt Street