

## WALTON RESIDENCE

### PROJECT INFORMATION

CITY HUDSON  
COUNTY SUMMIT COUNTY  
PARCEL NO 3000190  
ZONING DISTRICT 3 | OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD  
PROJECT RESIDENCE RENOVATION & ADDITION

### APPLICABLE CODES

BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE  
ZONING: CITY OF HUDSON

PROJECT AREA  
FIRST FLOOR FINISHED 1,488 SF (EXISTING)  
415 SF (ADDITION & REVISED GARAGE)

### PROJECT TEAM

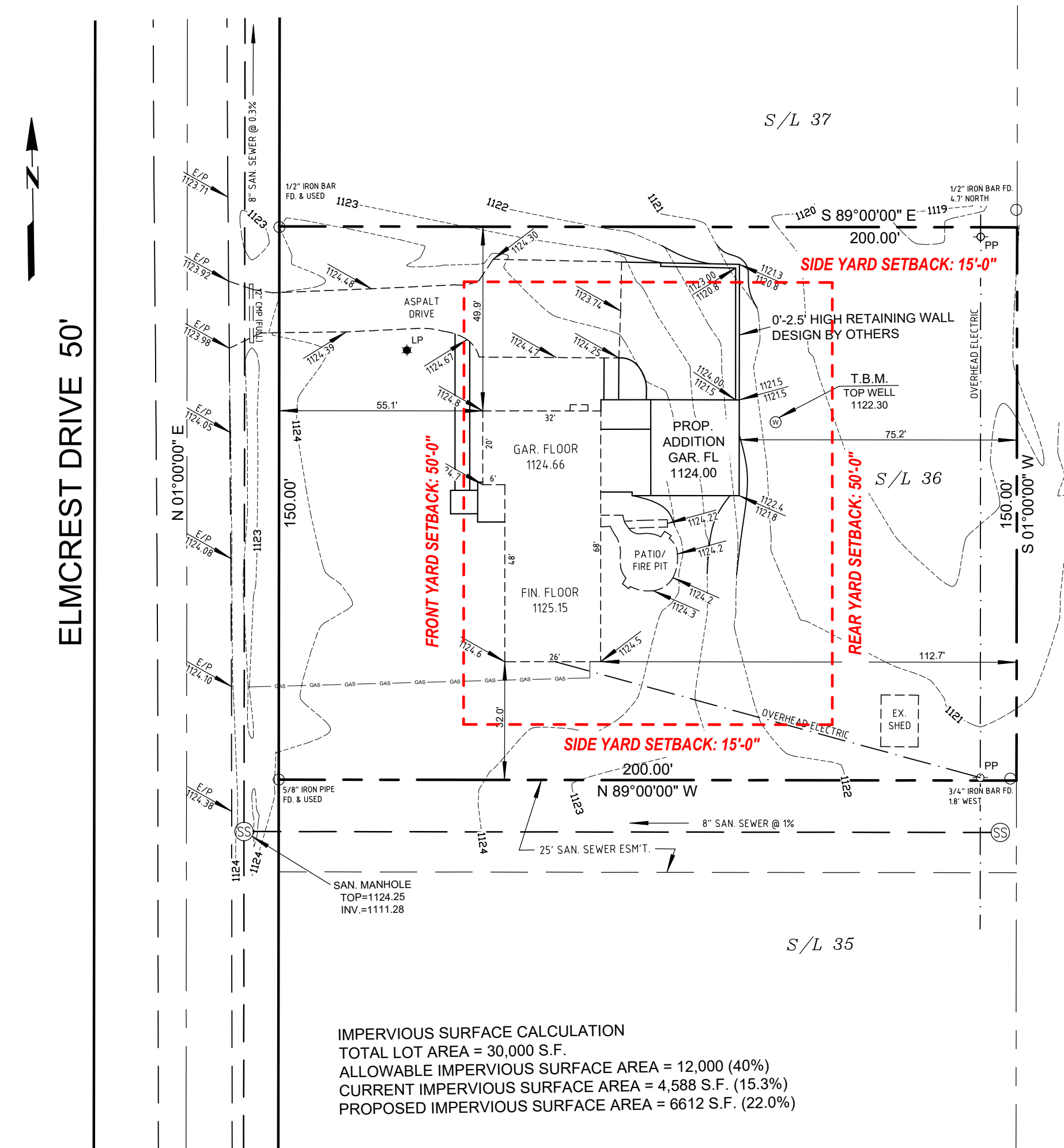
#### ARCHITECT:

HARA ARCHITECTS  
HUDSON, OHIO  
P: 419.410.6241

CONTACT: NATE BAILEY

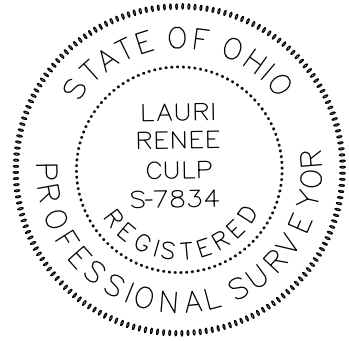
### DRAWING INDEX

SHEET NAME	DATE
G100 COVER SHEET	
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REV. - ADD ADDITION, EXTENDED DRIVEWAY; REGRADE - 10/25/2024 - LRC

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND SHOWN ON THIS PLAN AND THAT THIS PLAN IS A CORRECT REPRESENTATION OF THE LAND SHOWN HEREON.  
LAURENCE C. LIPKOWSKI, P.E., T.S. 1024  
L.C. LIPKOWSKI, LLC  
3603 REDWOOD DRIVE  
HICKORY, OHIO 44040  
330-615-3789



6543 ELMCREST DRIVE  
S/L 36 - ELMCREST SUBD. PART 1  
PLAT BOOK 46, PAGE 40  
CITY OF HUDSON  
SUMMIT COUNTY, OHIO  
AUGUST, 2024 SCALE: 1" = 30'



WALTON RESIDENCE  
6543 ELMCREST DRIVE, HUDSON, OHIO 44236

PROJECT #: 2431

ISSUE	ID	DATE
ASR	A	

PROGRESS

NOT FOR  
CONSTRUCTION

10/25/2024

COVER SHEET

G100

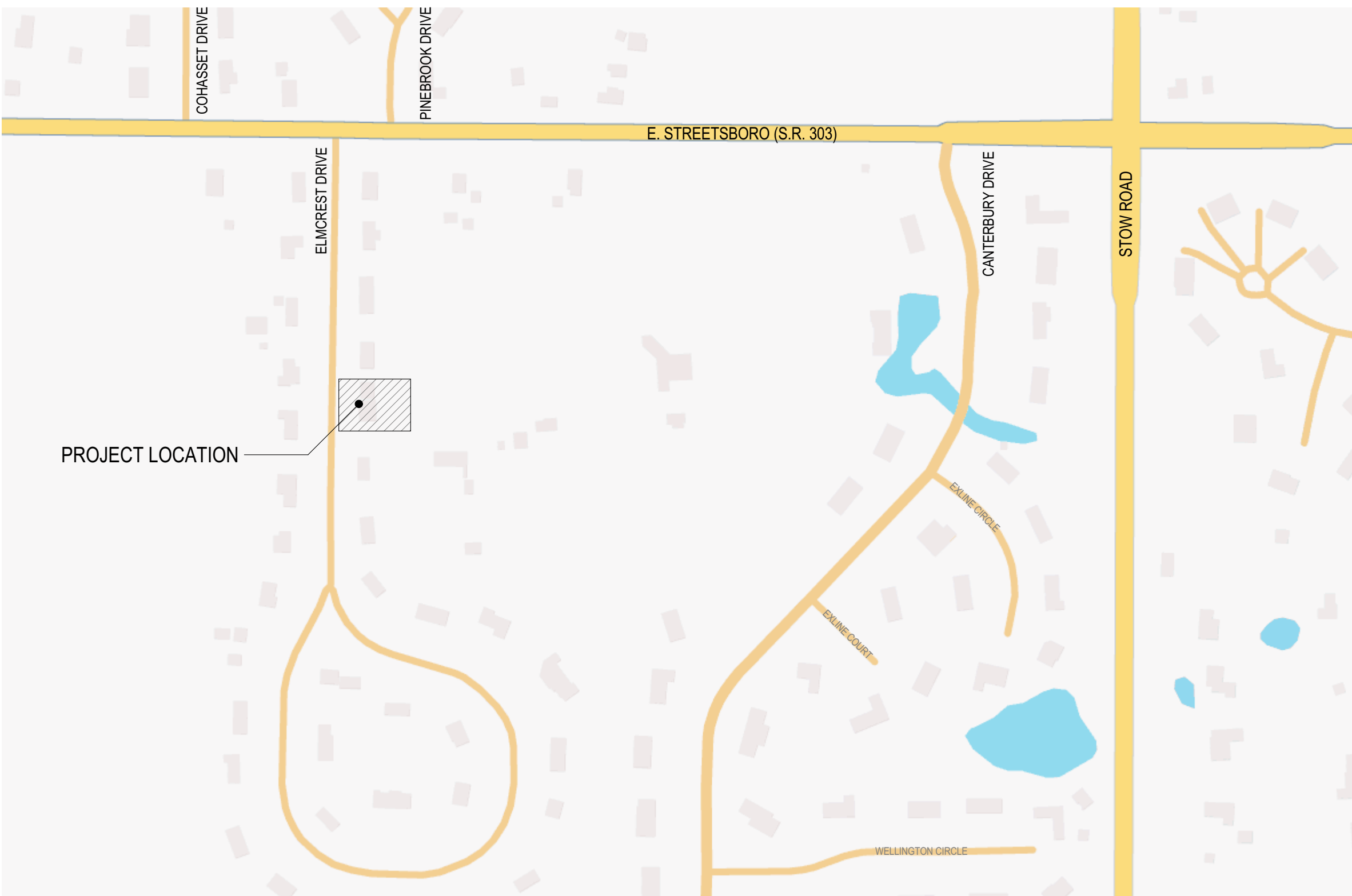
### ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
AC	AIR CONDITIONING	HDWR	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR COND.
AHJ	AUTHORITY HAVING JURISDICTION	HT	HEIGHT
ALUM	ALUMINUM	INSUL	INSULATION
APPROX.	APPROXIMATELY	JST	JOIST
ARCH	ARCHITECTURAL	LAM	LAMINATED
ASPH	ASPHALT	LF	LINEAR FOOT
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MATL	MATERIAL
BOTT	BOTTOM OF	MECH	MECHANICAL
BIG	BEARING	MFG	MANUFACTURER
BOTT	BOTTOM	MIN	MINIMUM
BTW	BETWEEN	MISC	MISCELLANEOUS
CF	CUBIC FEET	MO	MASONRY OPENING
CIP	CAST IN PLACE	MTD	MOUNTED
CJ	CONTROL JOINT	MTL	METAL
CLO	CEILING	NOM	NOMINAL
CLR	CLEAR	NTS	NOT TO SCALE
CMU	CONCRETE MASONRY UNIT	OV	OVER
CONC	CONCRETE	O.C.	ON CENTER
CO	CLEAN OUT	OPN	OPENING
CONT	CONTINUOUS	PRFAB	PREFABRICATED
DBL	DOUBLE	PLYWD	PLYWOOD
DEPT	DEPARTMENT	P.LAM	PLASTIC LAMINATE
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DM	DIMENSION	REF	REFERENCE
DN	DOWN	RM	ROOM
DR	DOOR	RO	ROUGH OPENING
DS	DOWNSPOUT	REQ	REQUIRED
DTL	DETAIL	SC	SOLID CORE
DWG	DRAWING	SECT	SECTION
EA	EACH	SHL	SIMILAR
ELEC	ELECTRICAL	STRUC	STRUCTURAL
EQ	EQUAL	TYP	TYPICAL
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE
EXIST	EXISTING	WI	WITH
EXP	EXPOSED	WWF	WELDED WIRE FABRIC
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FDN	FOUNDATION		
FIN	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GAUGE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYP. BOARD		
GYP	GYP. BOARD		

### DRAWING SYMBOLS

	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	DOOR TAG
	WINDOW TAG

### PROJECT LOCATION MAP





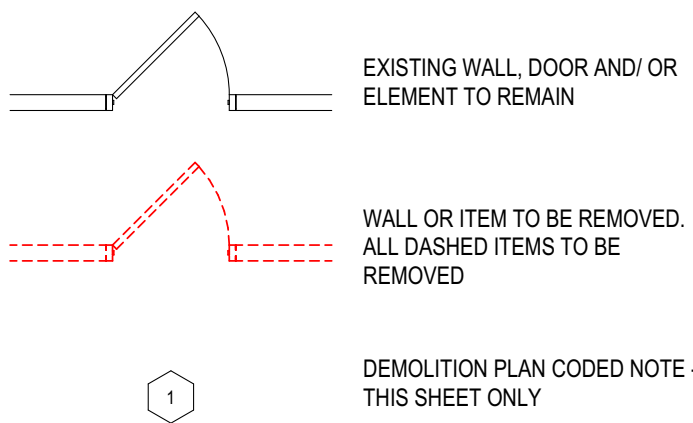
DEMOLITON PLAN GENERAL NOTES

- WALLS ARE GYPSUM BOARD ON METAL STUD UNLESS NOTED OTHERWISE REMOVE ENTIRE WALL TO UNDERSIDE OF DECK UNLESS NOTED OTHERWISE.
- IN DEMOLITION AREAS, REMOVE ALL MISCELLANEOUS ITEMS ON WALLS INCLUDING TACKBOARDS, TOILET ACCESSORIES, CORNER GAUROS, AND OTHER WALL MOUNTED ITEMS, UNLESS NOTED OTHERWISE.
- FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OF PIPES, DUCTS, CONDUIT, AND OTHER PENETRATING ITEMS. MAINTAIN REQUIRED FIRE RATINGS.
- REMOVE CEILING WHERE NEW CEILINGS ARE INDICATED AND AS NOTED REMOVE ALL UNUSED ABANDONED FASTENERS, SUPPORTS, BRACKETS, HANGERS, ETC. ABOVE THE CEILING. PATCH AND REPAIR WALL SURFACES FOR NEW CEILING.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR REQUIRED DEMOLITION AND RELATED WORK.
- TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
- ALL DEMOLITION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION OF NORMAL DAILY ACTIVITIES IN THE PROJECT AREA.
- RESUPPORT EXISTING CONDUIT, PIPING, AND EQUIPMENT REMAIN AS REQUIRED DUE TO DEMOLITION OF EXISTING CEILINGS.
- PATCH ALL EXISTING ADJACENT INTERIOR FINISHES TO REMAIN AS UNDISTURBED BY THE DEMOLITION TO MATCH ADJACENT SURFACES.
- ALL DEMOLITION ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION. ALL ITEMS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. IN ADDITION, SEE CODED NOTES BELOW FOR ITEMS TO BE REMOVED AND TURNED OVER TO OWNER.
- ALL STRUCTURAL MEMBERS ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
- NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECT AS STRUCTURAL ELEMENT.
- MAINTAIN BUILDING IN WEATHERTIGHT CONDITIONS AT ALL TIMES.

DEMOLITION PLAN CODED NOTES

- EXISTING SERVICES TO REMAIN IN USE. COORDINATE LOCATION AND ROUTINGS IN FIELD.
- REMOVE AND REPLACE EXISTING CEILING SYSTEM AS REQUIRED FOR ABOVE CEILING WORK. REPLACE ANY DAMAGED TILE WITH NEW TO MATCH EXISTING.
- PLUMBING FIXTURE AND ASSOCIATED MILLWORK TO BE DEMOLISHED IN ITS ENTIRETY. ALL ASSOCIATED DRAIN AND SUPPLY PLUMBING TO BE DEMOLISHED TO MAIN.
- TILE WALL FINISH TO BE DEMOLISHED IN ITS ENTIRETY. GYPSUM BOARD AND FRAMING TO BE REMOVED TO EXTENTS REQUIRED FOR NEW WORK PLAN.
- REMOVE PORTION OF EXISTING DRYWALL TO ACCOMMODATE NEW INTERIOR WINDOW. WINDOW TO OCCUR IN PREVIOUS LOCATION OF DOOR AND SIDELITE AND TO MAKE USE OF EXISTING HEADER.
- DEMOLISH EXISTING FLOORING MATERIAL. ALL ASSOCIATED MATERIALS INCLUDING, BUT NOT LIMITED TO, ADHESIVE, BACKER AND TRANSITION STRIPS SHOULD BE DEMOLISHED.
- EXTENTS OF NEW SPACE GO TO DASHED LINE. REFER TO NEW WORK PLAN FOR ADDITIONAL INFORMATION.

DEMOLITION PLAN LEGEND



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FIRST FLOOR EXISTING  
AND DEMOLITION PLAN

A100



MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR  
OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

O WEATHER BARRIER  
O APA RATED EXTERIOR GRADE OSB SHEATHING  
O 2X6 STUDS W/ R-19 BATT INSULATION

LAP SIDING (S-1)  
SIDING TO MATCH EXPOSURE AND COLOR OF EXISTING RESIDENCE.

VERTICAL SIDING (S-2)  
FIBER CEMENT BOARD & BATTEN SIDING.

ASPHALT SHINGLE ROOF (R-1)  
30 YEAR ARCHITECTURAL SHINGLE  
O MANUFACTURER'S RECOMMENDED UNDERLAYMENT  
O 1/2" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE  
INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE  
OF ALL FASCIAS.

METAL STANDING SEAM ROOF (R-2)  
METAL STANDING SEAM ROOF

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR  
APPROVED EQUAL.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE  
DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT  
AND OWNER.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO  
INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

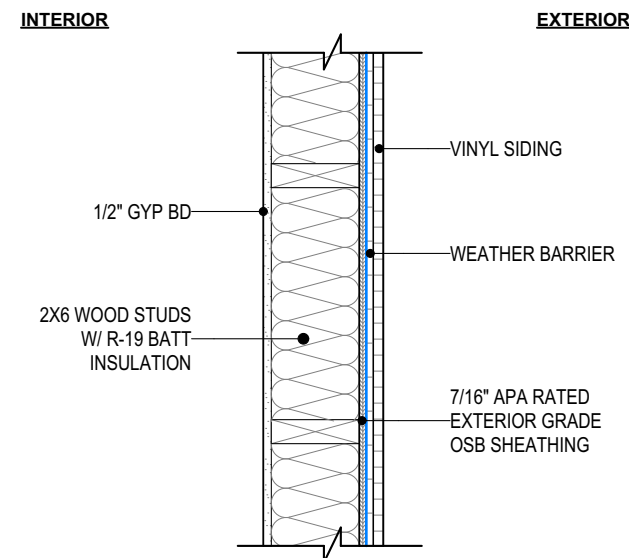
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF  
OHIO (SECTION R308)

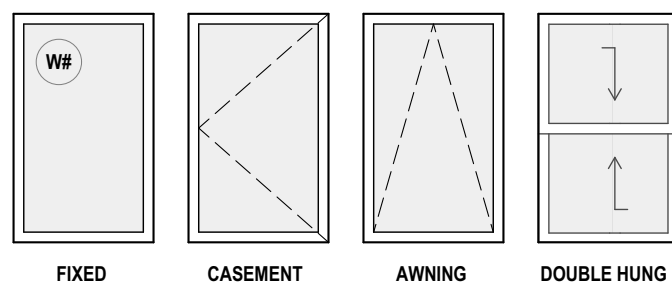
BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE O  
OHIO (SECTION R310)

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW LEGEND



BASIS OF DESIGN:

WINDOWS ARE TO BE PELLA VINYL WINDOWS OR APPROVED EQUAL.

WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR. CONFIRM WINDOW  
QUANTITIES WITH ELEVATIONS.

\*\* WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION  
ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH  
DOCUMENTS.

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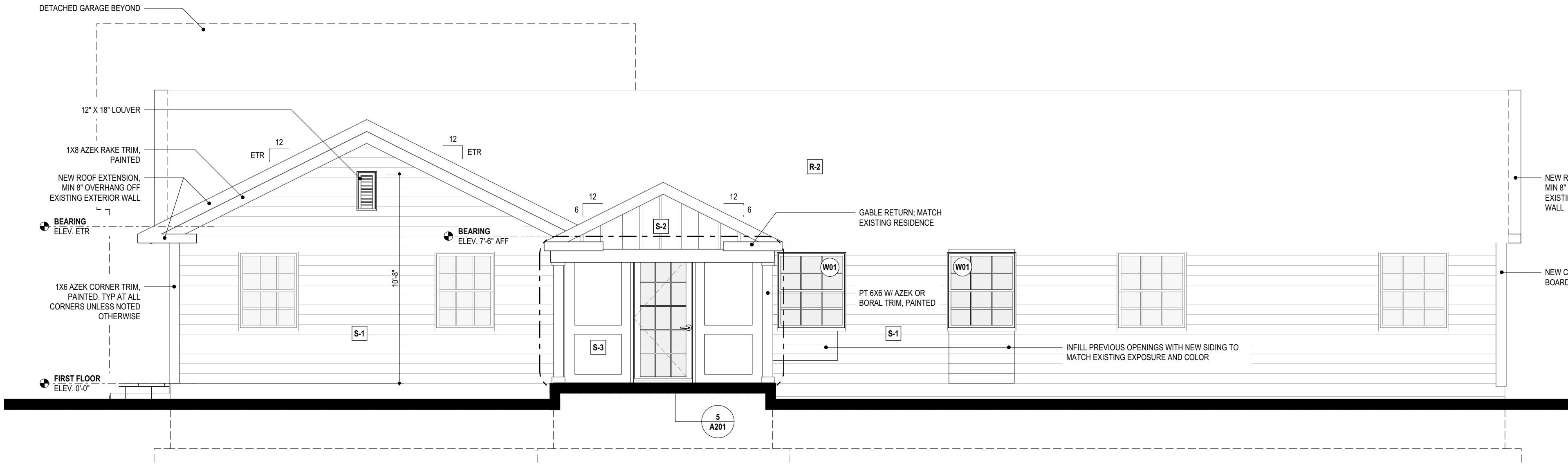
PROGRESS

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10/29/2024

EXTERIOR ELEVATIONS

A201

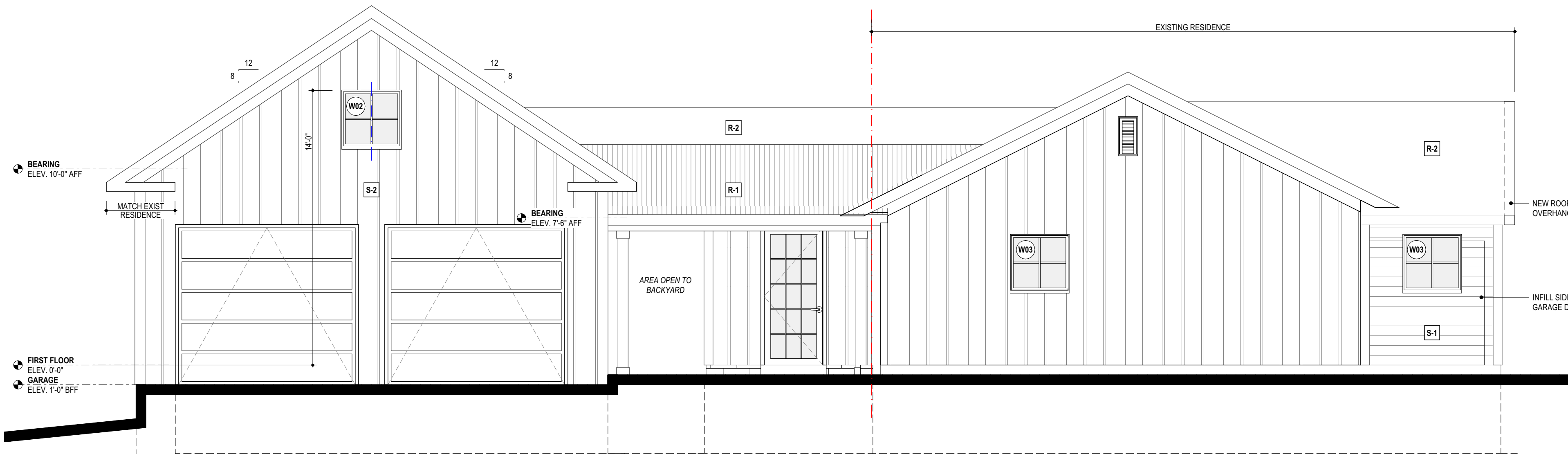


FRONT OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"

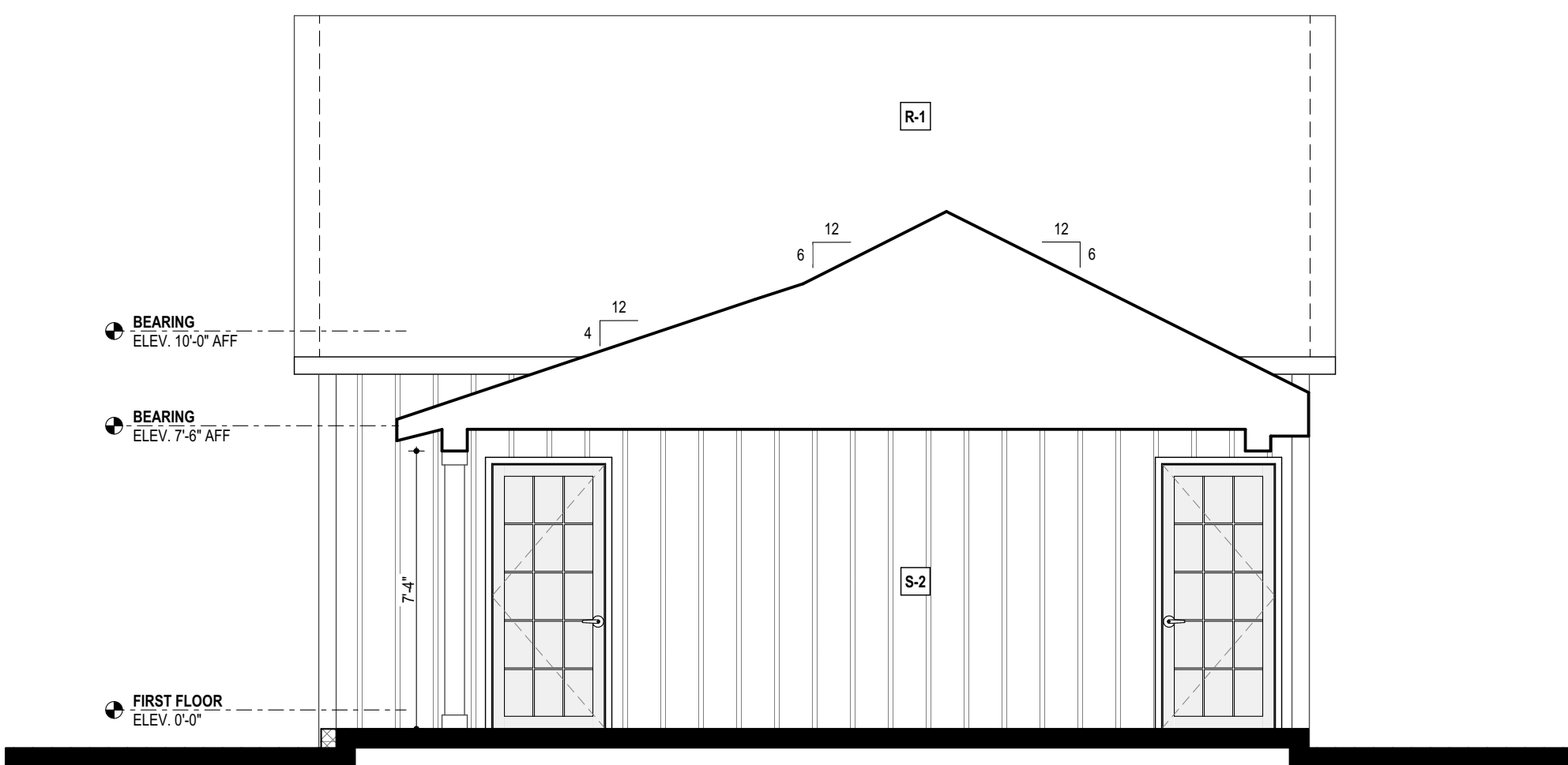
PARTIAL PORCH ELEVATION

SCALE: 1/4" = 1'-0"



SIDE OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



PARTIAL SIDE OF HOUSE ELEVATION

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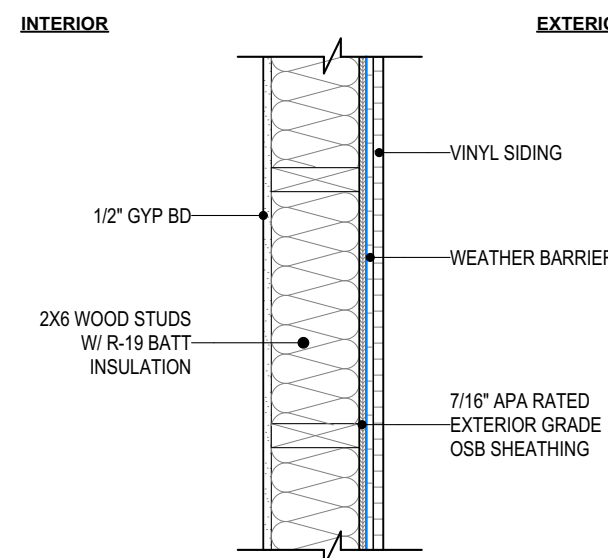
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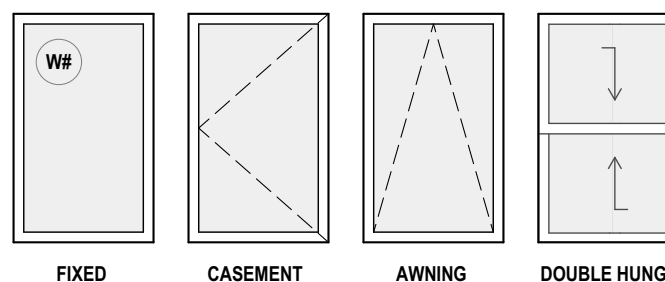
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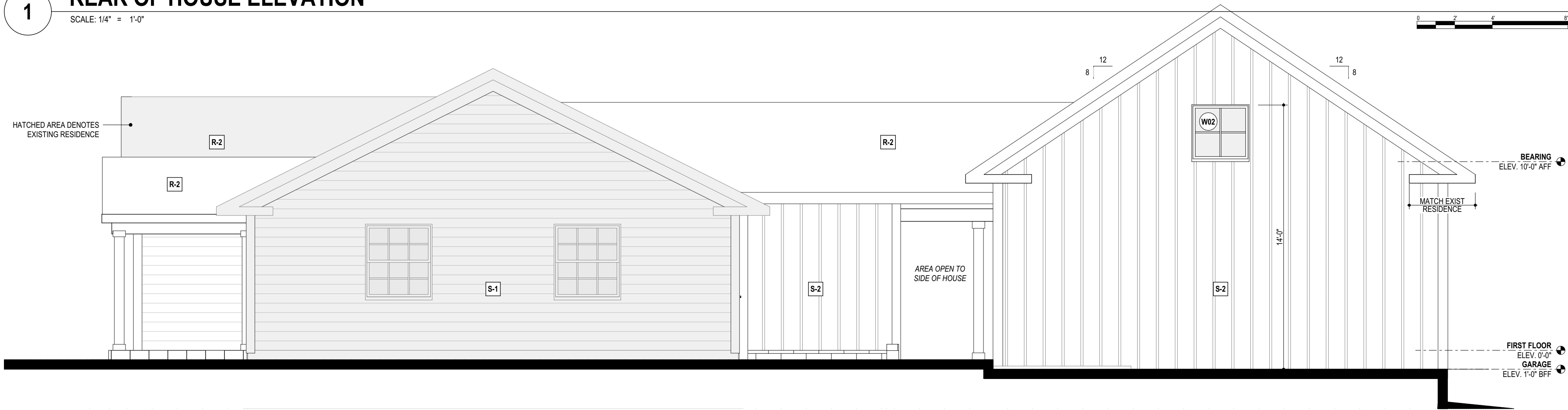
10/25/2024

EXTERIOR ELEVATIONS

A202

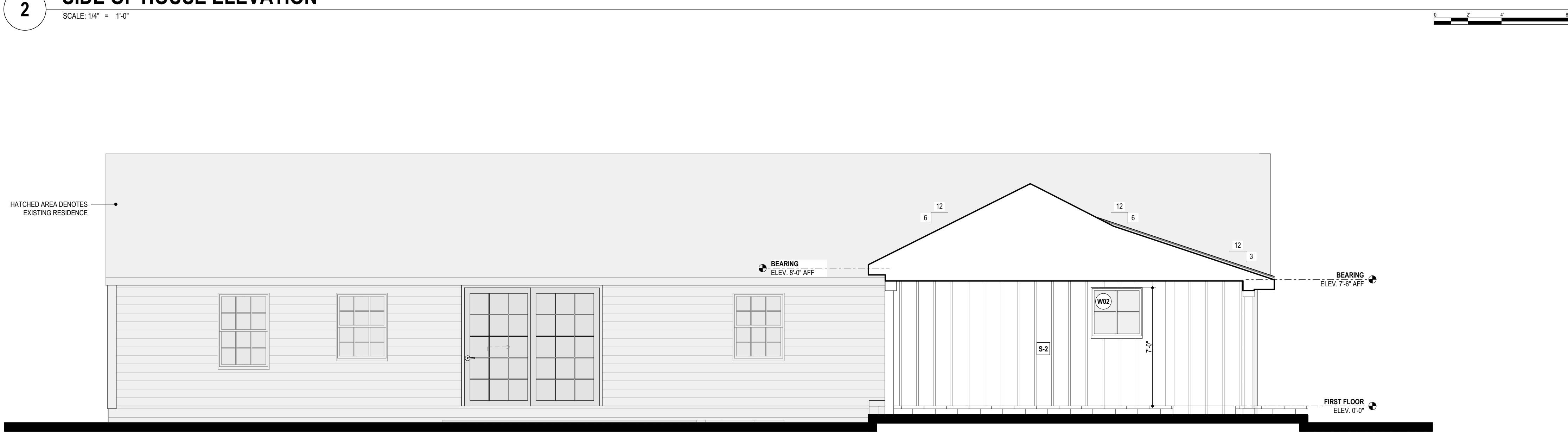
1 REAR OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"



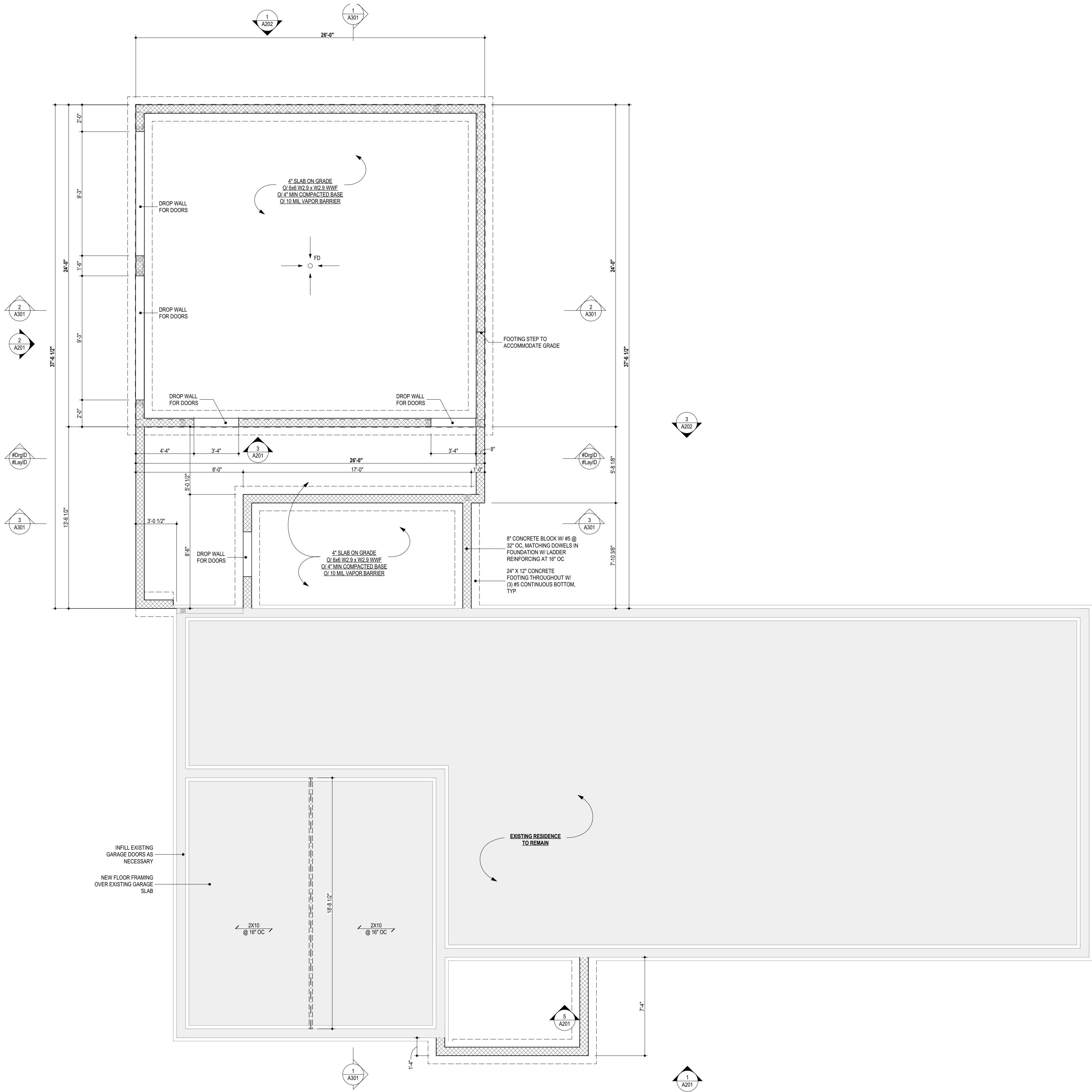
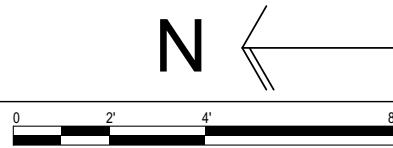
3 REAR OF HOUSE ELEVATION

SCALE: 1/4" = 1'-0"





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FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE.

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR TRUSS CRITERIA

TCL= 30 PSF  
TCDL= 10 PSF  
BCDL= 10 PSF  
NET UPLIFT= 15 PSF  
19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF  
TCDL= 10 PSF  
BCDL= 10 PSF  
NET UPLIFT= 10 PSF  
ATTIC LL= 40 PSF  
ATTIL < L/240

WOOD HEADERS (U.N.O.)

OPENING	HEADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-0" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-0" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KING

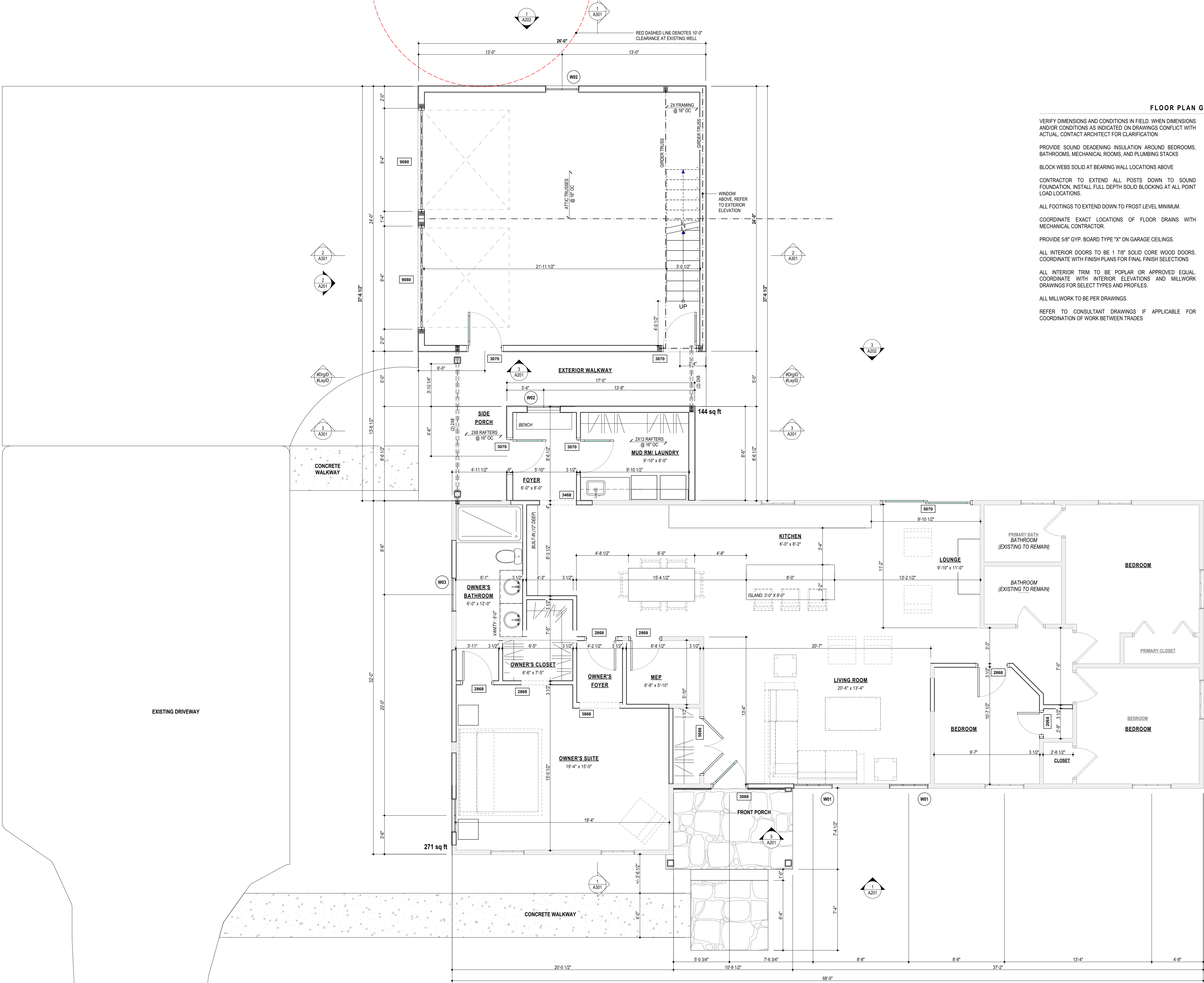
INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL



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