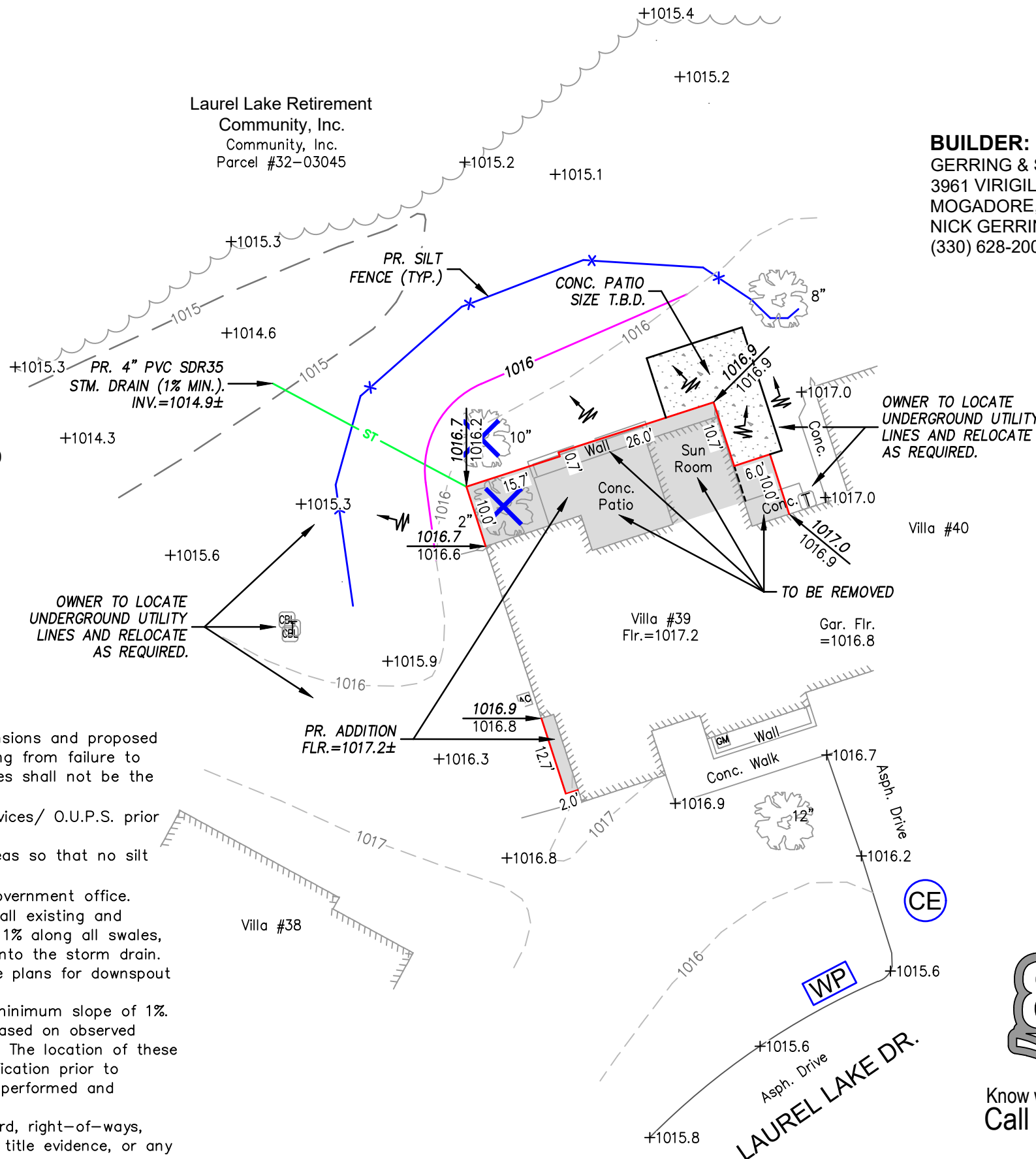
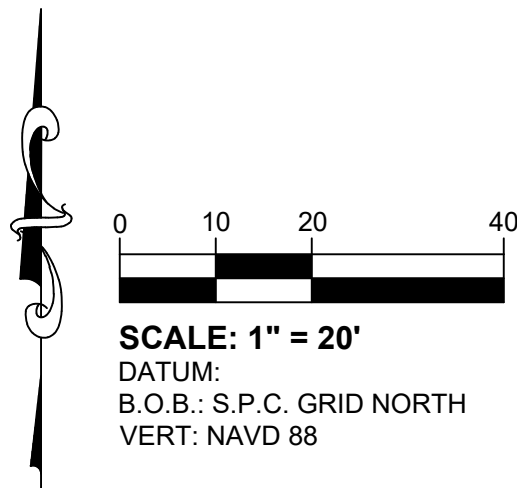


DATE OF SURVEY: APRIL 2026

REVISIONS:

1.)



TOPOGRAPHIC SURVEY & SITE PLAN

FOR
 ~ THE LAUREL LAKE RETIREMENT COMMUNITY - VILLA #39 ~

39 LAUREL LAKE DR.
 HUDSON, OH 44236
 P.N. 32-03045

SITUATED IN THE CITY OF HUDSON,
 COUNTY OF SUMMIT AND STATE OF OHIO:
 AND KNOWN AS BEING PART OF ORIGINAL HUDSON TWP. LOT 53.

BUILDER:
 GERRING & SONS CONST.
 3961 VIRIGIL ST.
 MOGADORE, OH 44260
 NICK GERRING
 (330) 628-2000

LEGEND

	Ex. Contour		Ex. Hydrant, Valve, Shutoff & Well
	PR. CONTOUR		PR. WELL
	Ex. Tree Line		Ex. Gas Valve & Shutoff
	PR. CLEARING LIMITS		Iron Pin Set
	Ex. Utility Pole & Pedestals		Rebar or Iron Pin Fd.
	Ex. Mailbox		Iron Pipe Fd.
	Ex. Sanitary/Storm MH.		Mon. Fd.
	Ex. Storm Inlet, Basins & Downspout		PR. DRAINAGE DIRECTION/SWALE
	TREE TO BE REMOVED		PR. DOWNSPOUT
	PR. CONC. WASHOUT PIT, CONST. ENTRANCE & SILT FENCE		AS-BUILT PR. GRADE
	Ex. Spot Elev.		Ex. Grade

CONSTRUCTION & PLAN NOTES:

- Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
- Silt fence must surround all excavation areas so that no silt escapes site.
- All grades shall comply w/corresponding government office.
- Maintain positive yard drainage away from all existing and proposed structures and a minimum slope of 1% along all swales.
- Footer drain & downspouts are to be tied into the storm drain. Splash block are not permitted. Refer to house plans for downspout locations.
- All storm drains shall be installed with a minimum slope of 1%.
- The location of utilities shown hereon are based on observed evidence of above ground appurtenances ONLY. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



Know what's below.
 Call before you dig.

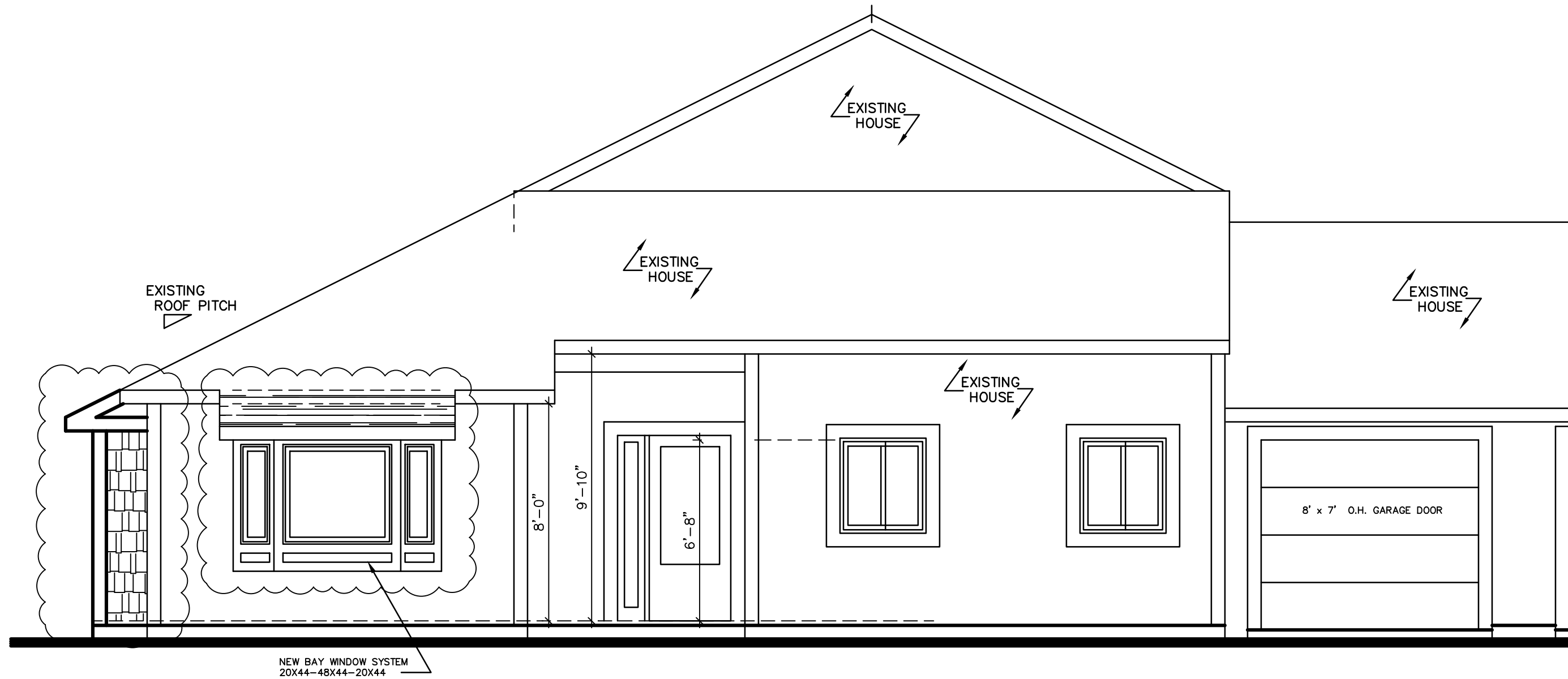


KELLY D. DUNFORD, P.S. 8182
 2858 FULMER DR., SILVER LAKE, OH
 (330) 928-7750
 ps8182@sbcglobal.net
 www.apexlandsurveying.com

PROJ: 2026024

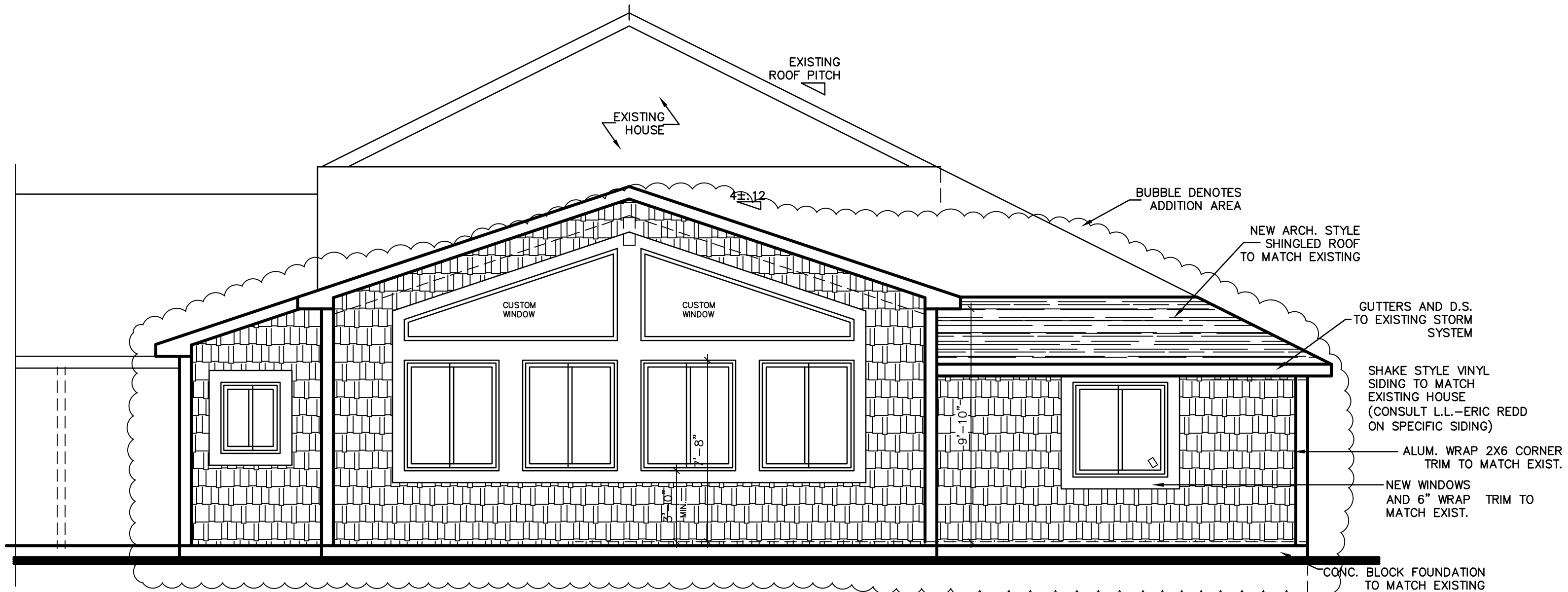


Villa 39



FRONT ELEVATION

SCALE : 1/4" = 1'-0"



REAR ELEVATION

SCALE : 1/4" = 1'-0"

D R A W I N G :

COSTLOW AND ASSOC. LLC

1865 ARNDALE RD.

STOW , OHIO 44224 330-688-9500

DATE: 4-02-26

: 4-13-26

: 4-20-26

(OWNERS REVIEW)

1 # ---
REVISIONS

OWNER - LAUREL LAKE RETIREMENT COMMUNITY

NEW ADDITION ON VILLA #39

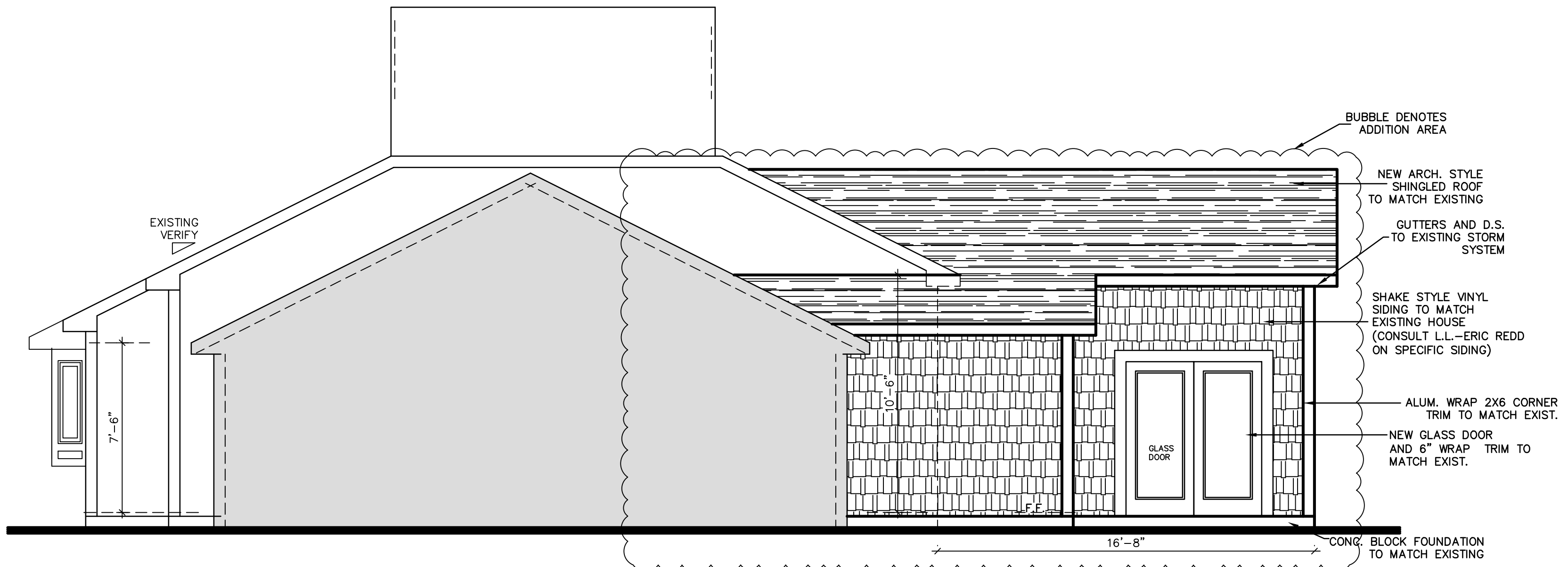
VILLA # 39 LAUREL LAKE DR , HUDSON , OHIO 44236

R26-10

1

OF 4

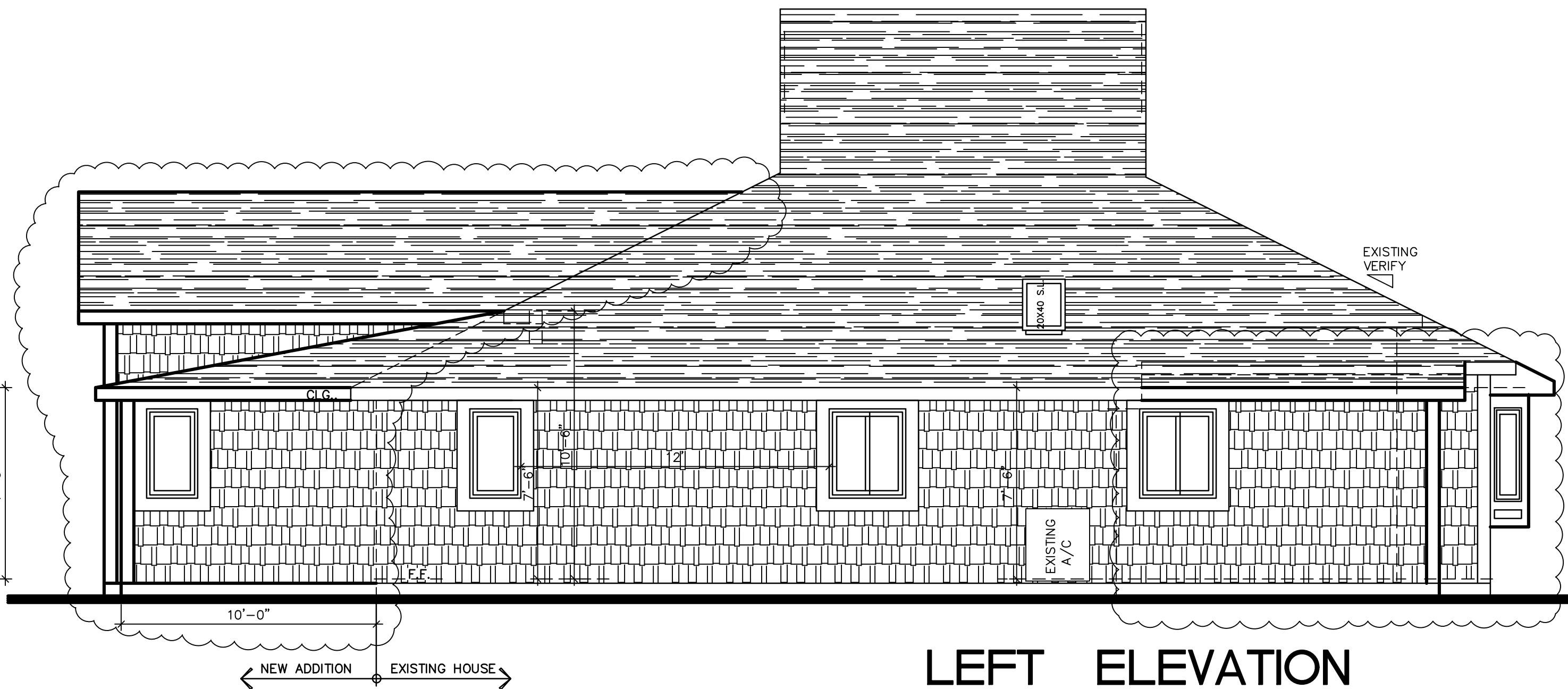
1/4" SCALE-18X24



RIGHT ELEVATION

SCALE : 1/4" = 1'-0"

- BUBBLE DENOTES ADDITION AREA
- NEW ARCH. STYLE SHINGLED ROOF TO MATCH EXISTING
- GUTTERS AND D.S. TO EXISTING STORM SYSTEM
- SHAKE STYLE VINYL SIDING TO MATCH EXISTING HOUSE (CONSULT LL.-ERIC REDD ON SPECIFIC SIDING)
- ALUM. WRAP 2X6 CORNER TRIM TO MATCH EXIST.
- NEW GLASS DOOR AND 6" WRAP TRIM TO MATCH EXIST.
- CONG. BLOCK FOUNDATION TO MATCH EXISTING



LEFT ELEVATION

SCALE : 1/4" = 1'-0"

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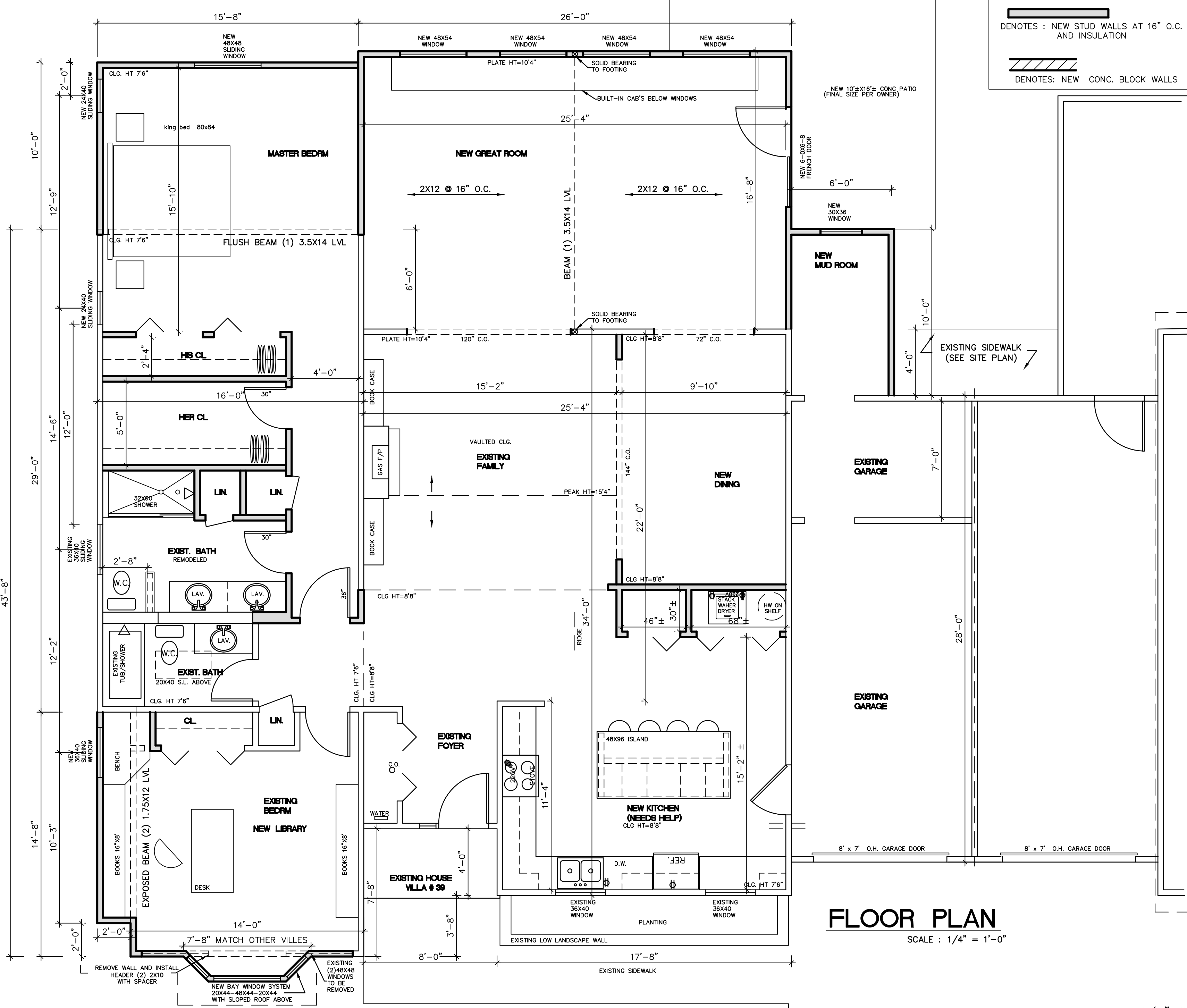
OWNER - LAUREL LAKE RETIREMENT COMMUNITY
NEW ADDITION ON VILLA #39

VILLA # 39 LAUREL LAKE DR , HUDSON , OHIO 44236

R26-10

2

OF 4



WALL LEGEND

 DENOTES : EXISTING WALLS TO BE REMOVED

=====

DENOTES : EXISTING HOUSE WALLS

=====

DENOTES : NEW STUD WALLS AT 16" O.C. AND INSULATION

=====

DENOTES: NEW CONC. BLOCK WALLS

D R A W I N G :
 COSTLOW AND ASSOC. LLC
 1865 ARNDALDE RD.
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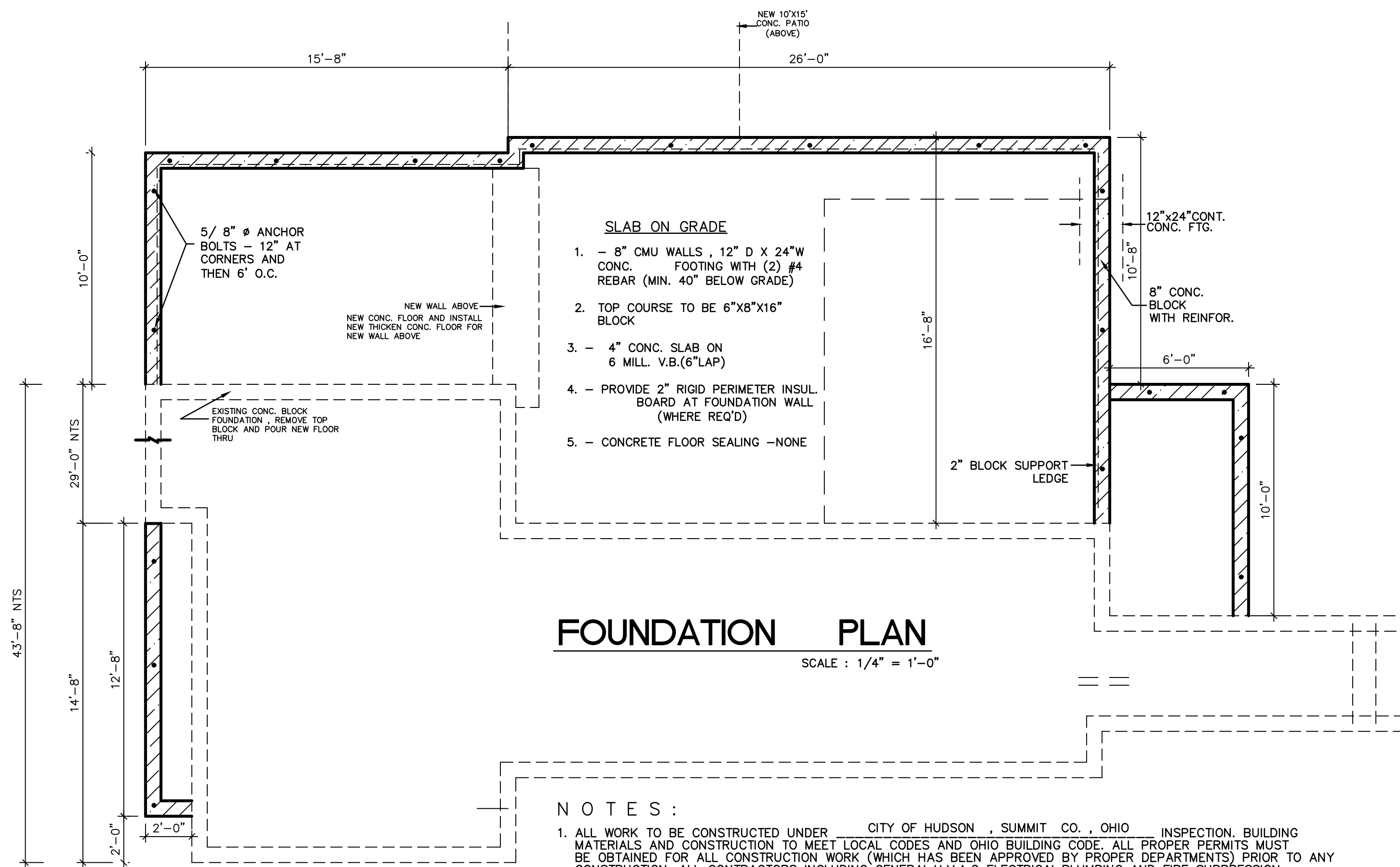
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 : 4-20-26
 (OWNERS REVIEW)

#	REVISIONS
1	

OWNER - LAUREL LAKE RETIREMENT COMMUNITY
NEW ADDITION ON VILLA #39
 VILLA # 39 LAUREL LAKE DR , HUDSON , OHIO 44236

FLOOR PLAN
 SCALE : 1/4" = 1'-0"

1/4" SCALE-18X24



FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

NOTES :

1. ALL WORK TO BE CONSTRUCTED UNDER CITY OF HUDSON , SUMMIT CO. , OHIO INSPECTION. BUILDING MATERIALS AND CONSTRUCTION TO MEET LOCAL CODES AND OHIO BUILDING CODE. ALL PROPER PERMITS MUST BE OBTAINED FOR ALL CONSTRUCTION WORK (WHICH HAS BEEN APPROVED BY PROPER DEPARTMENTS) PRIOR TO ANY CONSTRUCTION. ALL CONTRACTORS INCLUDING GENERAL, H.V.A.C., ELECTRICAL, PLUMBING AND FIRE SUPPRESSION MUST BE LICENSED TO DO WORK WITHIN THE GOVERNING MUNICIPALITY.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW ALL WORK COMPLETE AND FUNCTIONING PROJECT, EVEN THOUGH EVERY ITEM INCIDENTAL TO THE WORK MAY NOT BE COMPLETELY DETAILED. IT IS ASSUMED THAT THE CONTRACTORS ARE SUFFICIENTLY SKILLED AND EXPERIENCED IN THEIR WORK TO ANTICIPATE THE NORMAL REQUIREMENTS OF A COMPLETE JOB. ALL SECTIONS, DETAILS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE , UNLESS OTHERWISE SHOWN. WHERE METHODS OF INSTALLATION ARE NOT COMPLETELY COVERED ON THE DRAWINGS OR SPECIFICATIONS, THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST WRITTEN SPEC'S.
3. BY SUBMITTING BID TO OWNER, BIDDER INDICATES THAT HE HAS EXAMINED THE SITE AND THESE DRAWINGS THOROUGHLY AND HAS FAMILIARIZED HIMSELF WITH ALL FACTORS THAT MAY AFFECT COST, PROGRESS OR PERFORMANCE OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL THE REQUIRED INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND GARBAGE RESULTING FROM THE EXECUTION OF THE WORK IN THIS PROJECT PRIOR TO ISSUANCE OF FINAL PAYMENT.
6. THESE DRAWINGS INDICATE INTENT ONLY. ALL CONTRACTORS SHALL FIELD VERIFY AND APPROVE ALL DIMENSIONS, LOCATIONS AND ALL EXISTING CONDITIONS AFFECTING THIS PROJECT PRIOR TO EXECUTION OF WORK.

CODE & DESIGN CRITERIA :

2024 RCO-RESIDENTIAL CODE OF OHIO
 2009 INTERNATIONAL ENERGY CONSER. CODE(IECC)
 NATIONAL ELECTRICAL CODE (NEC) NFPA70
 ALL LOCAL CODE ORDINANCES
 ALL LOCAL ZONING ORDINANCES

LOADING :

FLOOR : 50 PSF
 ROOF : 40 L.L.
 15 L.L.
 (SNOW AREA-115%)

WINDOWS

MATCH EXISTING (WHERE POSSIBLE)

WINDOW : VINYL SIDING STYLE

VINYL - 400 SERIES
 D H - SEE PLAN
 R.O. - SEE PLAN
 ◇ WINDOW TO MEET OR EXCEED CLEAR
 OPENING AREA OF 5.7 S.F. - 20" WIDE
 MIN. , 24" MIN. HEIGHT - OR EQUAL
 DENOTES NEW WINDOW(S) AND DOORS INSUL. LOW
 E GLASS , CHECK WITH CONTRACTOR/OWNER
 BEFORE ORDERING

D R A W I N G :
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 1865 ARNDAL RD.
 STOW , OHIO 44224 330-688-9500

DATE: 4-02-26
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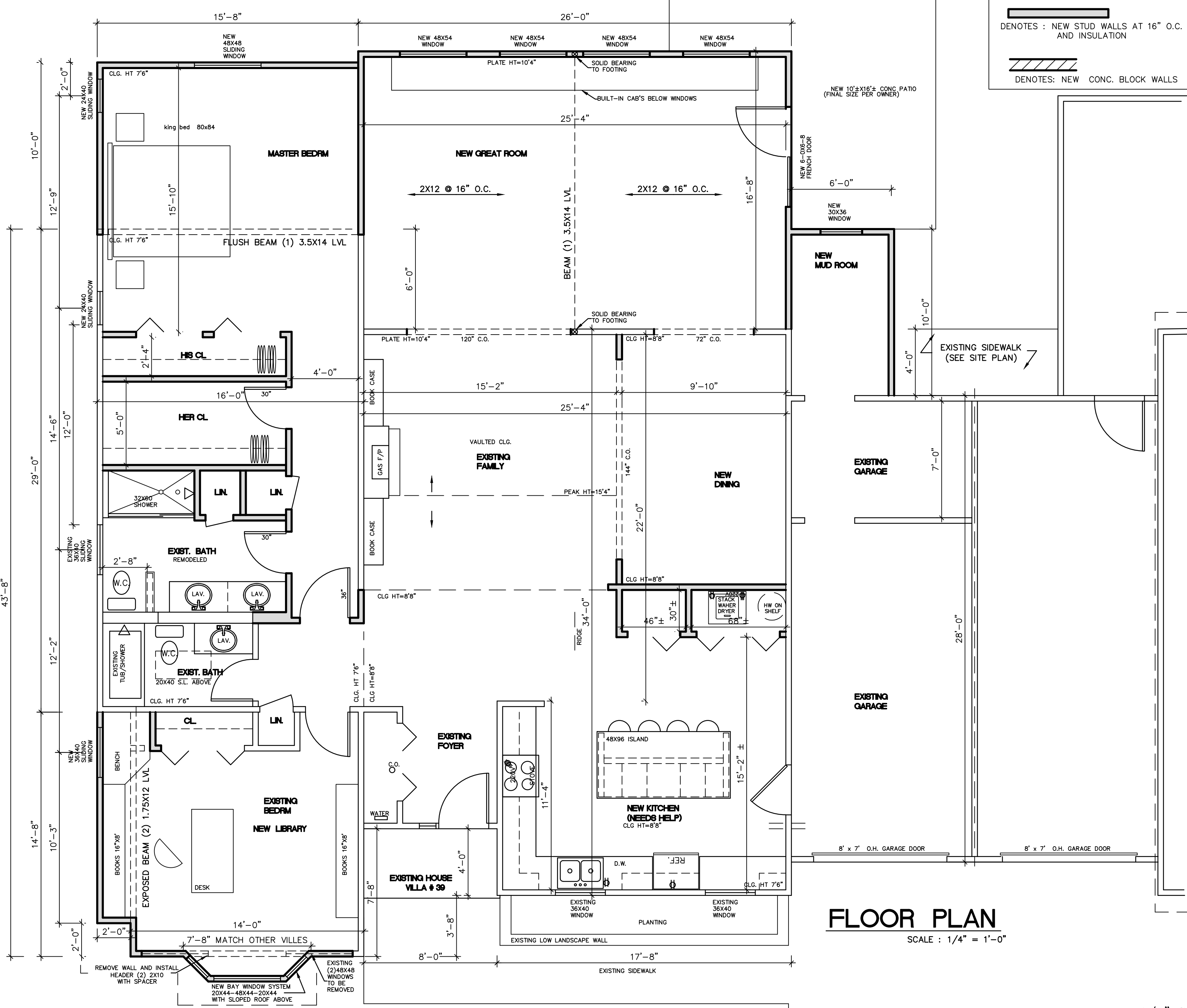
VILLA # 39 LAUREL LAKE DR , HUDSON , OHIO 44236

R26-10

4

OF 4

1/4" SCALE-18X24



WALL LEGEND

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OWNER - LAUREL LAKE RETIREMENT COMMUNITY
NEW ADDITION ON VILLA #39
 VILLA # 39 LAUREL LAKE DR , HUDSON , OHIO 44236

FLOOR PLAN
 SCALE : 1/4" = 1'-0"

1/4" SCALE-18X24



Lewis Construction

2525 S. Main Street
Akron, Ohio 44319
(330) 968-2100

TI# 34-1056585



1



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2



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3



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4



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5



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6