

Amanda Krickovich

From: Mark Madar <mmadar58@gmail.com>
Sent: Friday, February 21, 2025 8:19 AM
To: Amanda Krickovich; Gordon Costlow
Subject: 16 Owen Brown- Proposed Changes for Discussions at Feb 26th Meeting

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Hi Amanda.

Gordon and I met to review the Historical review report that you had shared for 16 Owen Brown. To align with the historical reviewers recommendations, the following proposed changes are being updated in our design/plan drawings. I would like to have an opportunity to discuss them with the Board at next week's meeting Feb 26th. Gordon is working on incorporating as many as he can in the designs by this weekend to visually walk through at the meeting. I will send to you once I receive back from Gordon.

This meeting will allow us to confirm if the Board is also in alignment with the historical report recommendations. We can then make any final updates for the following meeting.

Proposed changes for discussion (as aligned/recommended with historical review report)

1. Wrap-around front porch that remains within the existing width of house (not to extend past house). Will present design.
2. Lap siding for existing and new addition based on style of home- as suggested by historical review. (remove board batten in design as assimilated with style of home).
3. Replace shed dormer with gable dormers on east elevation as it fits the historical style. Show smaller square windows within gable dormers and align as close as possible with first floor windows for uniformity.
4. Side addition-west elevation- raise gable roof line closer to existing ridge to provide a more similar pitch as the front gable.
5. Inset the sides of the back addition- approx 10 inches
6. Put back the two 1st floor windows in the drawings that were original on the east elevation side of house.
7. Discuss front door (alternative option) such as a window in its place.

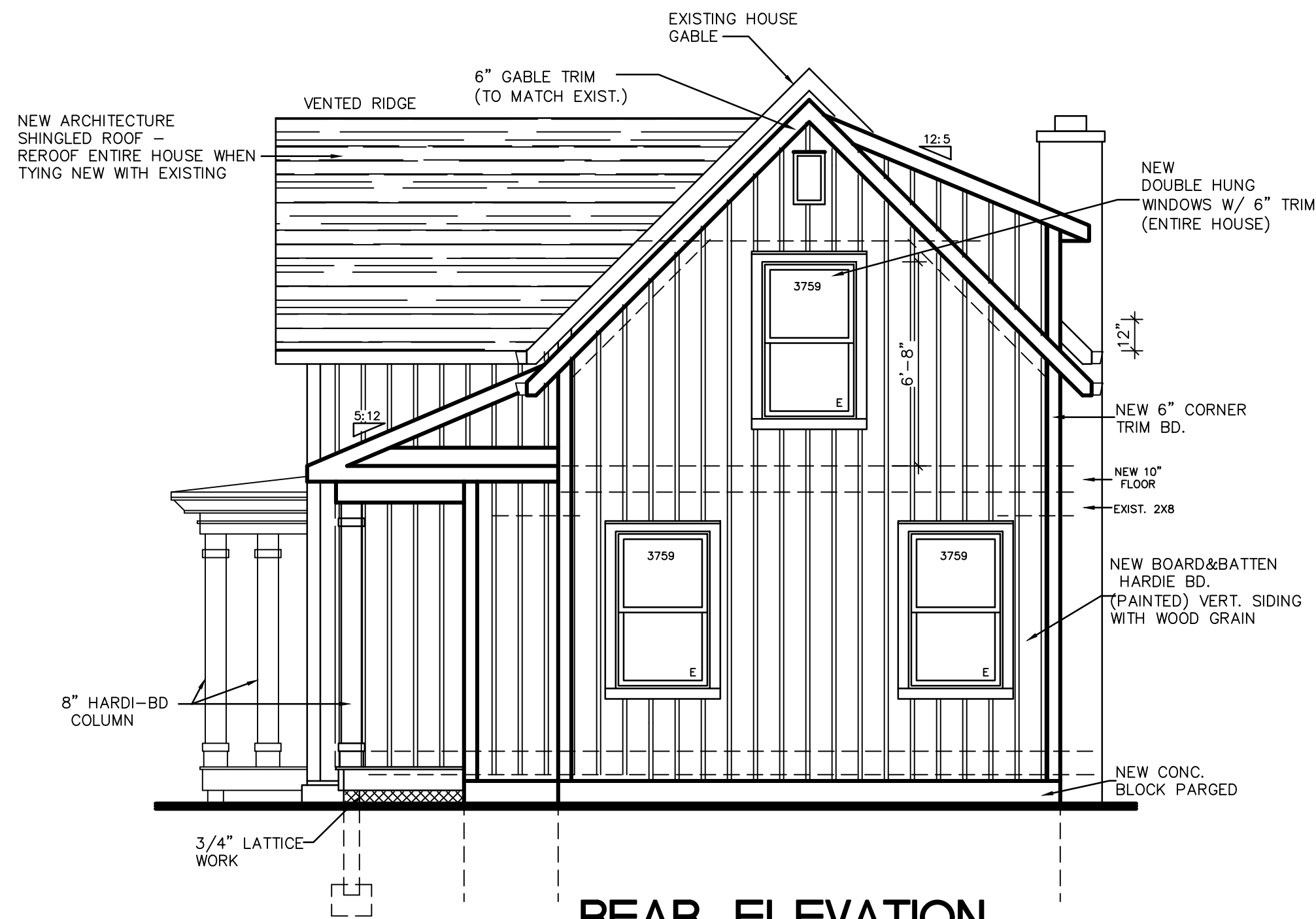
Mark Madar
330-701-1308

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EXISTING
REAR ELEVATION

SOUTH SCALE : 1/8" = 1'-0"



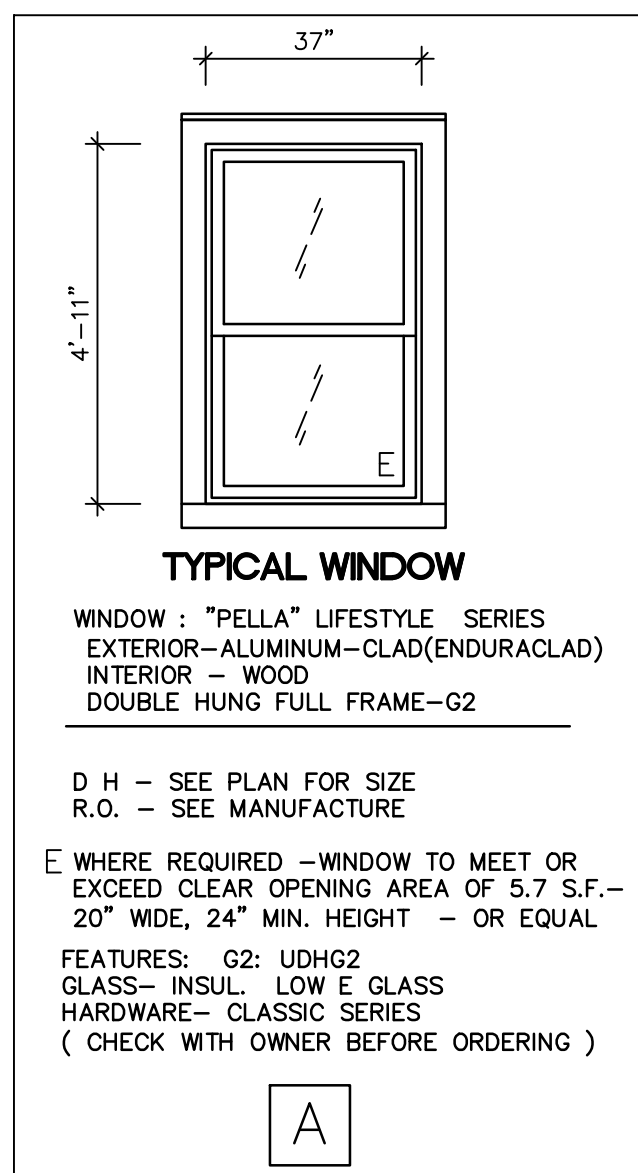
REAR ELEVATION

SOUTH SCALE : 1/4" = 1'-0"

DRAWING INDEX:

- 1 - ELEVATIONS , NOTES
- 2- ELEVATIONS
- 3- FIRST FLOOR PLAN
SECOND FLOOR PLAN

- (S1) SITE PLAN



TYPICAL WINDOW

WINDOW : "PELLA" LIFESTYLE SERIES
EXTERIOR-ALUMINUM-CLAD(ENDURACLAD)
INTERIOR - WOOD
DOUBLE HUNG FULL FRAME-G2

D H - SEE PLAN FOR SIZE
R.O. - SEE MANUFACTURE

E WHERE REQUIRED -WINDOW TO MEET OR
EXCEED CLEAR OPENING AREA OF 5.7 S.F.-
20\"/>

FEATURES: G2: UDHG2
GLASS- INSUL. LOW E GLASS
HARDWARE- CLASSIC SERIES
(CHECK WITH OWNER BEFORE ORDERING)

A

NEW HOUSE ADDITION SPEC'S

WINDOW : "PELLA" LIFESTYLE SERIES
EXTERIOR-ALUMINUM-CLAD(ENDURACLAD)
INTERIOR - WOOD

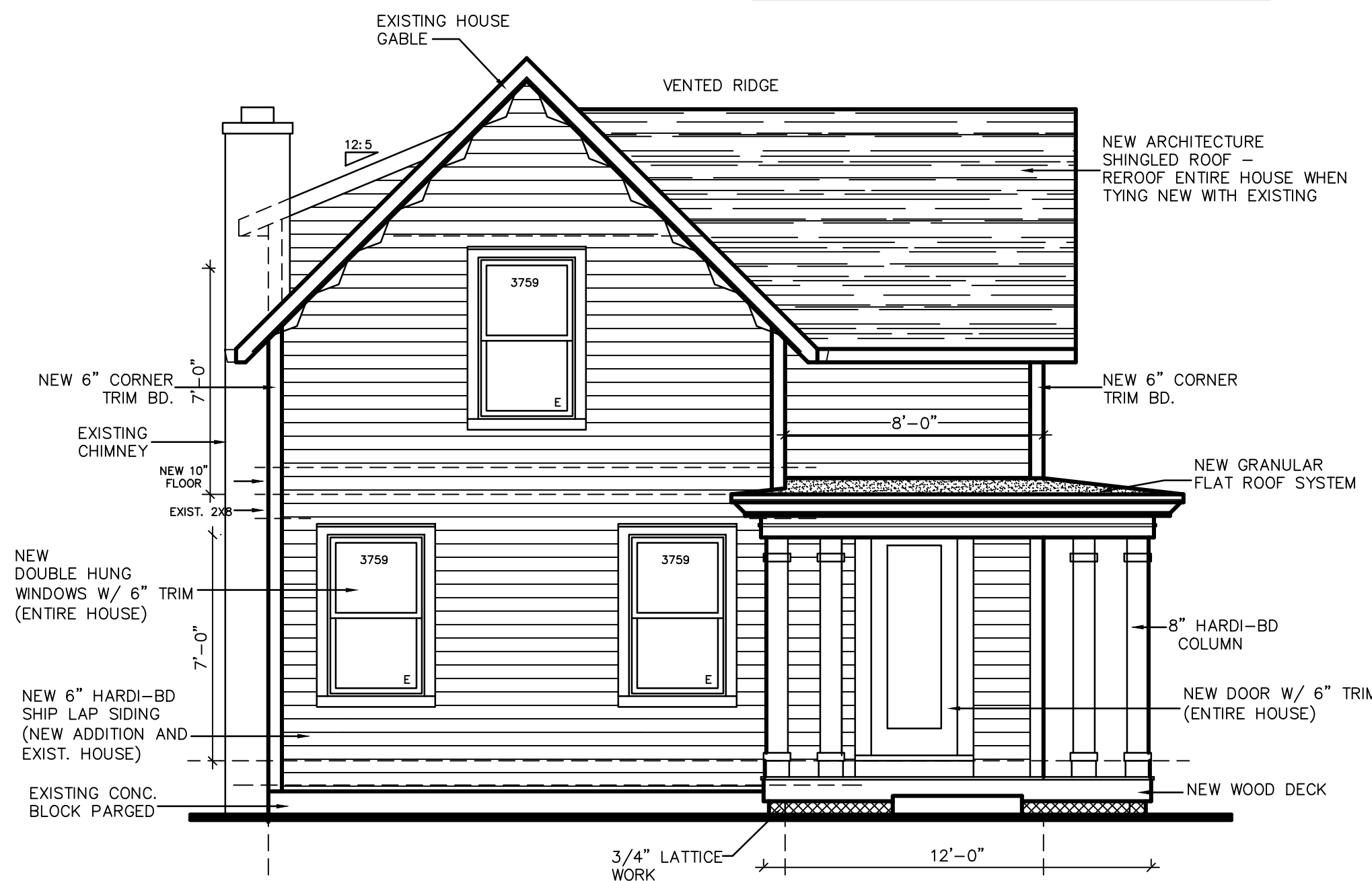
SIDING: "HARDI BD"- LAP SMOOTH LAP STYLE
PRIMED AND PAINTED TO OWNERS COLOR

ROOFING : "OWEN CORNING" ARCHITECTURE
DIMENSIONAL SHINGLES.
TRU DEFINITION



EXISTING
FRONT ELEVATION

NORTH SCALE : 1/8" = 1'-0"



FRONT ELEVATION

NORTH SCALE : 1/4" = 1'-0"

PROPOSED

OWNER - MARK & KATHY MADAR , 330-701-1308

Email- mmadar58@gmail.com

HOUSE ADDITION PLAN

16 OWEN BROWN ST , HUDSON , OHIO 44236

SUMMIT COUNTY , PP#3200338

R24-20

1

OF #

1/4" SCALE-24X36

1. ALL WORK TO BE CONSTRUCTED UNDER CITY OF AKRON (SUMMIT CO.,) INSPECTION, BUILDING MATERIALS AND CONSTRUCTION TO MEET LOCAL CODES AND BASIC BUILDING CODE. ANY OTHER PERMITS MUST BE OBTAINED FOR ALL CONTRACTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR ANY CONSTRUCTION. ALL CONTRACTORS INCLUDING GENERAL, A.C., ELECTRICAL, PLUMBING AND FIRE SUPPRESSION MUST BE LICENSED TO DO WORK WITHIN THE GOVERNING MUNICIPALITY.
2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SHOW ALL WORK COMPLETE AND FUNCTIONING PROECT. EVEN THOUGH THE DRAWINGS AND SPECIFICATIONS MAY NOT BE COMPLETELY DETAILED, IT IS ASSUMED THAT THE CONTRACTORS ARE SUFFICIENTLY SKILLED AND EXPERIENCED IN THEIR WORK TO ANTICIPATE THE NORMAL REQUIREMENTS OF A COMPLETE JOB. ALL DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE COMPLETE AND SHALL BE FULLY COMPLETED BY THE CONTRACTOR. UNLESS OTHERWISE SHOWN, WHERE METHODS OF INSTALLATION ARE NOT COMPLETELY COVERED ON THE DRAWINGS OR SPECIFICATIONS, THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE CONTRACTOR'S LATEST PRACTICES.
3. BY SUBMITTING BID, THE BIDDER INDICATES THAT HE HAS EXAMINED THE SITE AND THESE DRAWINGS THOROUGHLY, AND HAS FAMILIARIZED HIMSELF WITH ALL FACTORS THAT MAY AFFECT COST, PROGRESS OR PERFORMANCE OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL THE REQUIRED INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEBRIS AND GARBAGE RESULTING FROM THE EXECUTION OF THIS WORK. THIS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NOT THE CITY OF AKRON.
6. THESE DRAWINGS INDICATE INTENT ONLY. ALL CONTRACTORS SHALL FIELD VERIFY AND APPROVE ALL DIMENSIONS, LOCATIONS AND ALL EXISTING CONDITIONS AFFECTING THIS PROJECT PRIOR TO EXECUTION OF WORK.
7. CONTRACTOR TO PROVIDE SEALED ROOF TRUSSES SPEC. (INCLUDING LOAD BEARING TRUSSES) TO BUILDING DEPART. BEFORE INSTALLING THEM.

1. THE DRAWING SHOWS THE GENERAL DETAILS OF THE CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGNER WHERE ADDITIONAL DETAILS ARE REQUIRED OR WHEN CONDITIONS ARE ENCOUNTERED THAT ARE NOT SHOWN BY THE DRAWINGS.

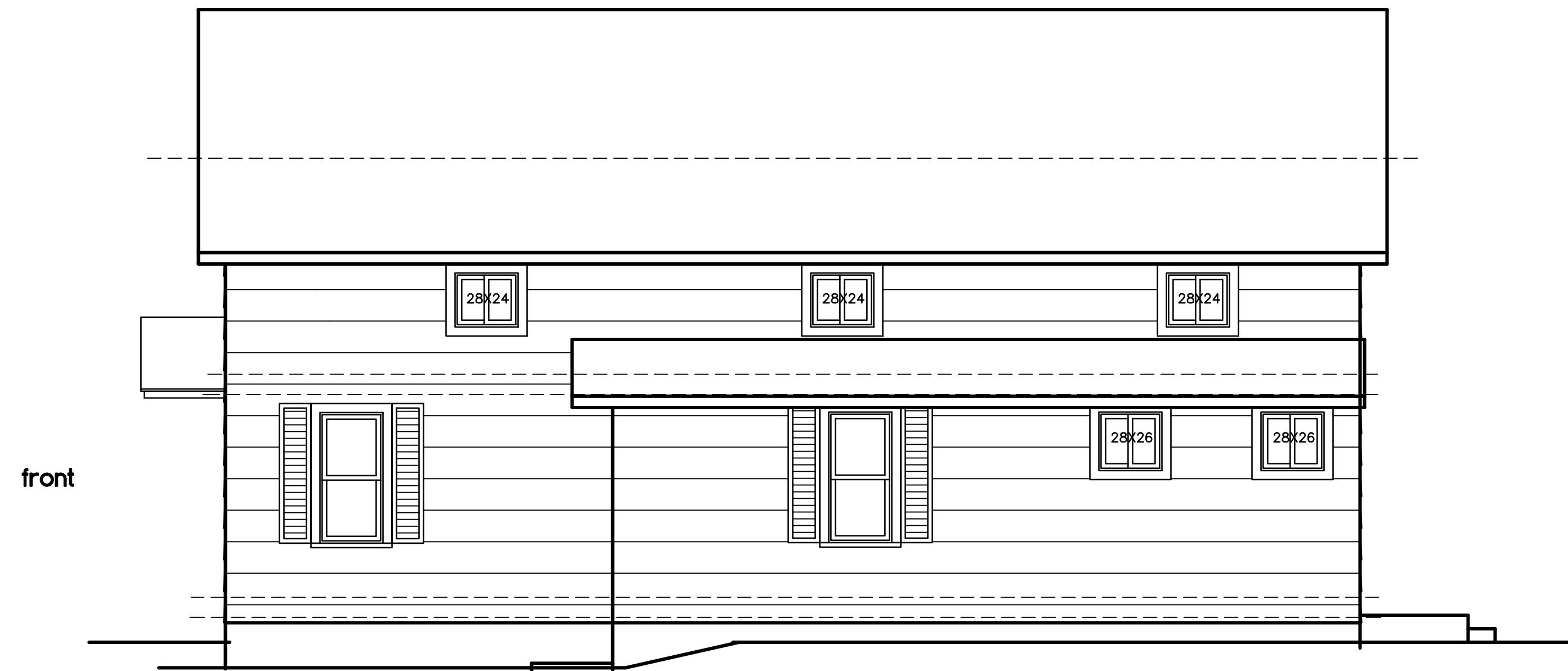
2. THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS PRIOR TO FABRICATION AND CONSTRUCTION.

3. BUILDING LOADS:
LIVE LOADS: ROOF = 30 PSF , CEILING =20 PSF
 : FLOOR = 50 PSF, ATTIC FLOOR = 30 PSF
DEAD LOADS: ROOF = 15 PSF , CEILING = 10 PSF
 : FLOOR = 10 PSF

SOIL BEARING CAP = 2000 PSF (MIN.)

CONCRETE : FOUNDATIONS - $f_c' = 3,000$ PSI
 WALLS AND SLABS- $f_c' = 4,000$ PSI
 EXTERIOR /GARAGE SLABS TO HAVE 6 %
 ENTRAINED AIR
 REBAR - ASTM A 615 GR 60
 WWF- ASTM A 185
 SLUMP - 4" MAX.

4. FRAMING:
 LUMBER(MIN) F = 1,600,000 PSI, Fb=850 PSI, Fvm=85 PSI
 MICROLAM(ALVL) F=2,000,000 PSI , Fb=2800 PSI, Fvm=285 PSI
 STEEL (ASTM A-36 , F=29,000,000 PSI, Fb=22KSI, Fvm=14.5KSI



EXISTING RIGHT ELEVATION
EAST SCALE : 1/8" = 1'-0"



OWNER — MARK & KATHY MADAR , 330-701-1308
Email— mmadar58@gmail.com

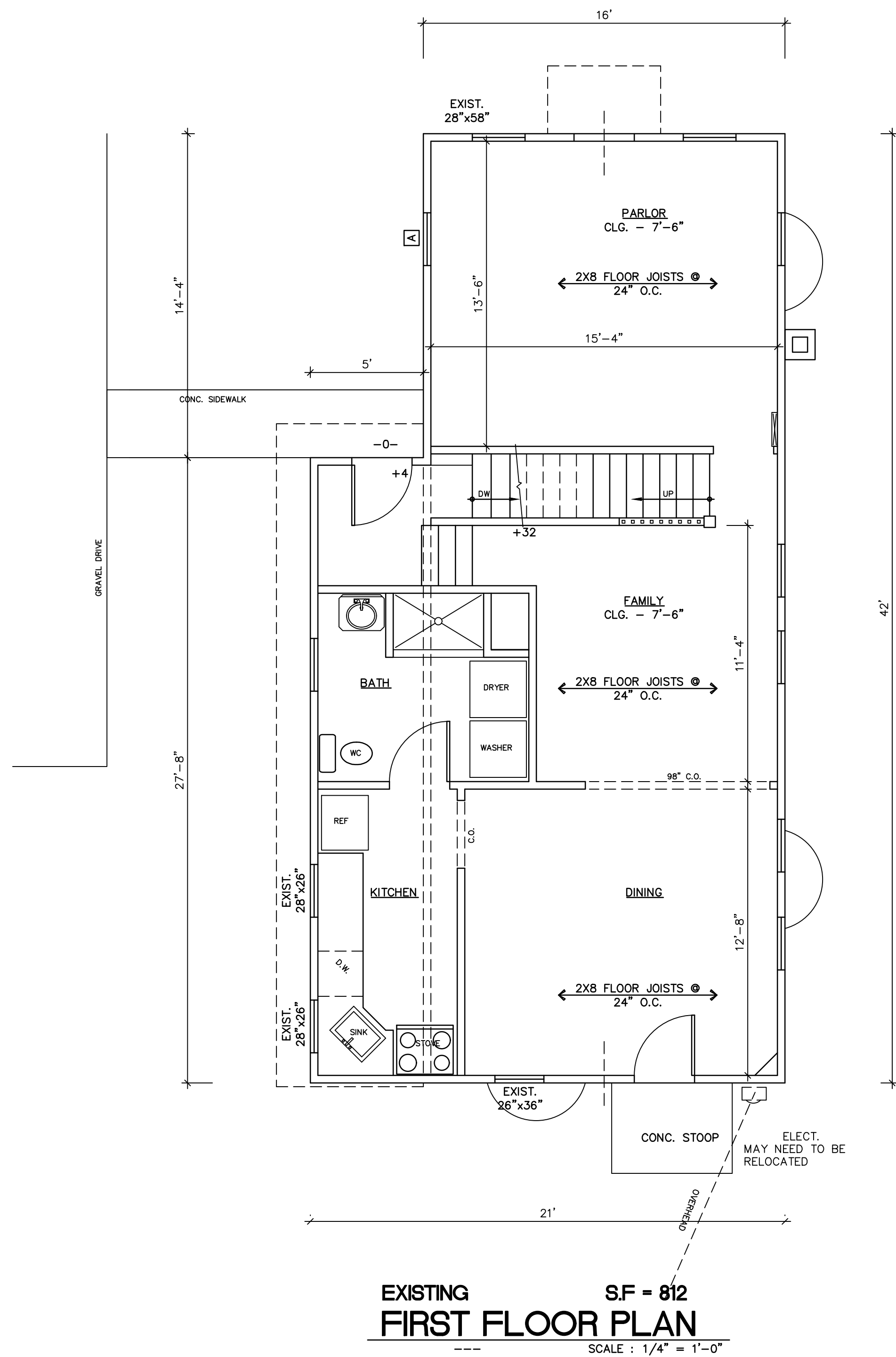
HOUSE ADDITION PLAN

16 OWEN BROWN ST , HUDSON , OHIO 44236
SUMMIT COUNTY, PP#3200338

R24-20

2
OF #

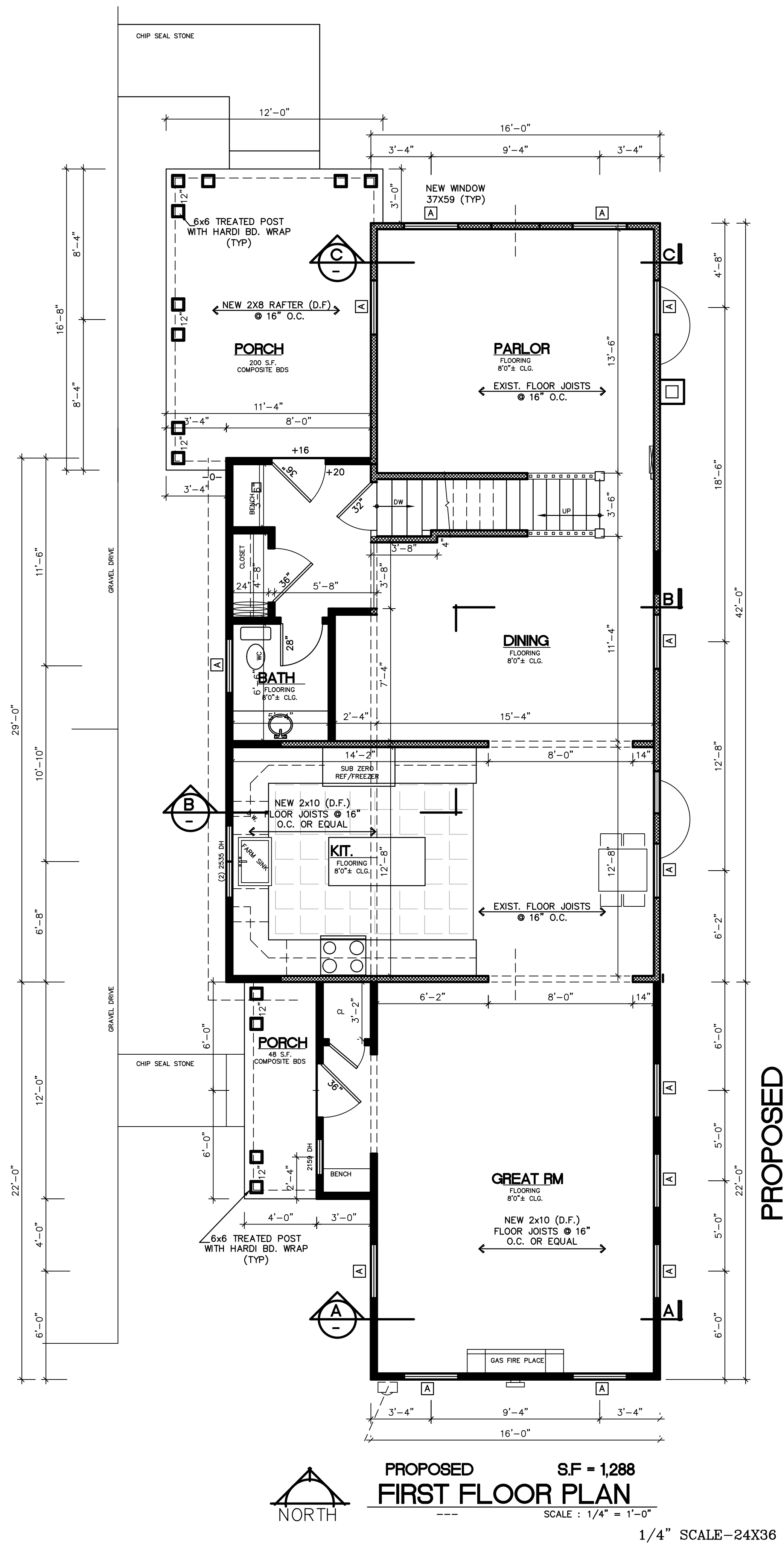
1/4" SCALE-24X36



EXISTING SF = 812
FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

WALL LEGEND

- DENOTES : EXISTING HOUSE WALLS
- DENOTES : NEW STUD WALLS AT 16" O.C. AND INSULATION
- DENOTES: EXISTING 8" CONC. BLOCK WALLS
- DENOTES: NEW 8" CONC. BLOCK WALLS WITH REINFORCING



PROPOSED SF = 1,288
FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

1/4" SCALE-24X36

COSTLOW & ASSOCIATES, LLC
1865 ARNDALE RD. - SUITE "C"
STOW, OHIO 44224
PHONE 330-688-9500
Email- Gordon.Costlow@gmail.com

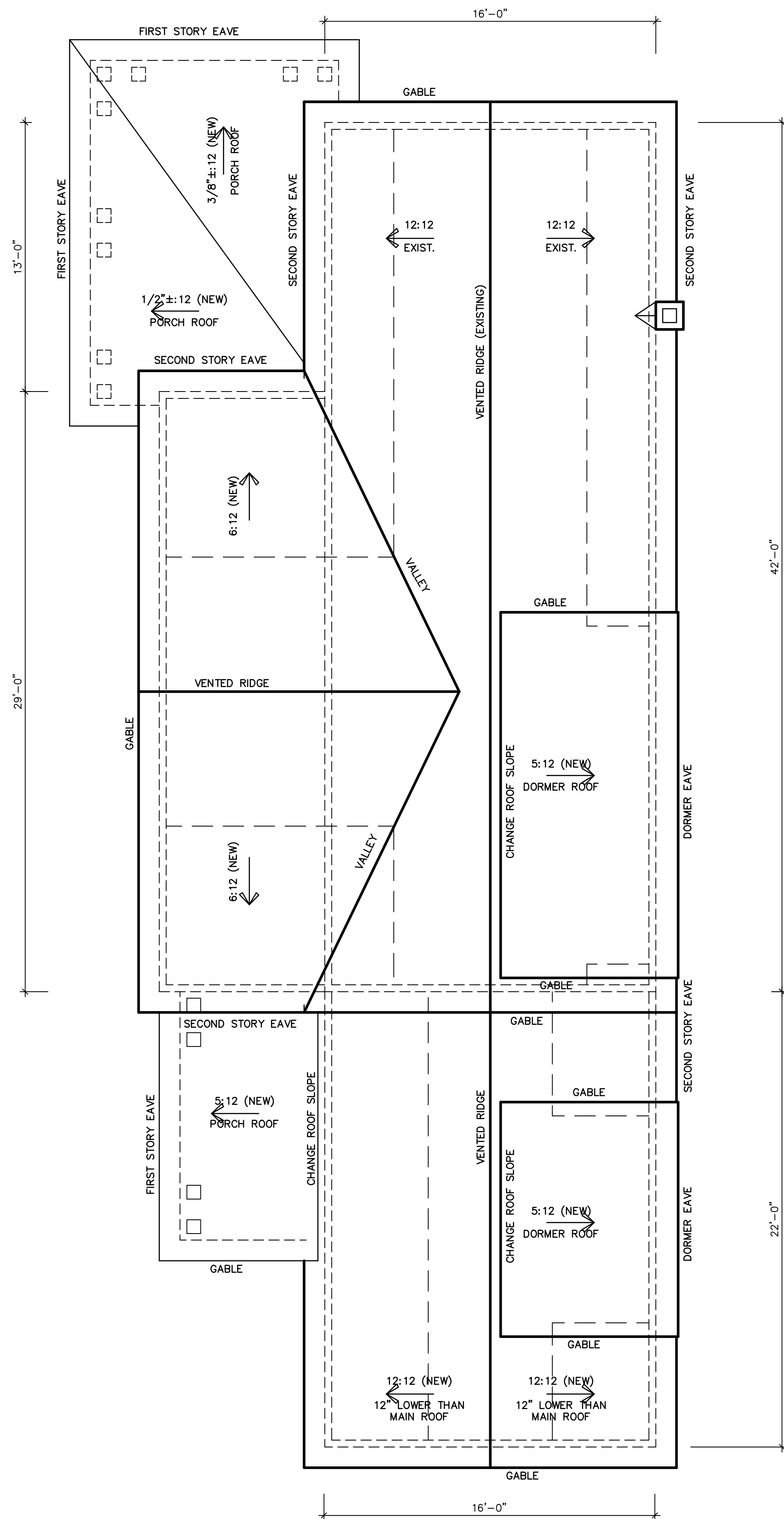
DATE:
12-08-2024
1-29-2025
2-03-2025

CHANGES AFTER
ARCH. BD. COMMENTS
1-1-24
-- WITH ITEM #

OWNER - MARK & KATHY MADAR , 330-701-1308
Email- mmadar58@gmail.com
HOUSE ADDITION PLAN
16 OWEN BROWN ST , HUDSON , OHIO 44236
SUMMIT COUNTY , PP#3200338

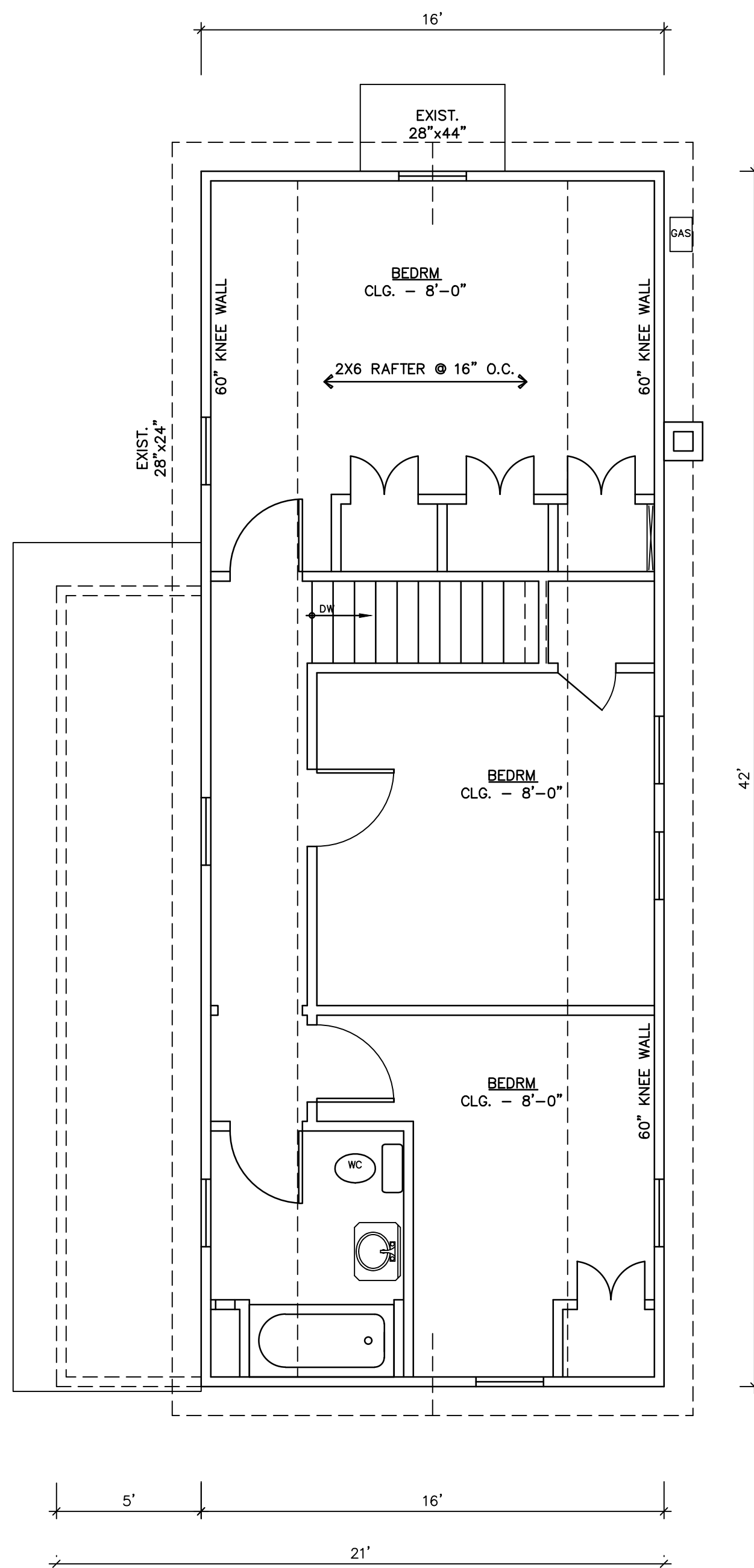
R24-20

4
OF #



**PROPOSED
ROOF PLAN**

SCALE : 1/4" = 1'-0"



**EXISTING
SECOND FLOOR PLAN**

SF = 672
SCALE : 1/4" = 1'-0"

WALL LEGEND

DENOTES : EXISTING HOUSE WALLS

DENOTES : NEW STUD WALLS AT 16" O.C.
AND INSULATION

DENOTES : EXISTING 8" CONC. BLOCK WALLS

DENOTES : NEW 8" CONC. BLOCK WALLS
WITH REINFORCING

EXISTING HOUSE

1ST FLOOR SF = 812
2ND FLOOR SF = 672
TOTAL SF. = 1,484

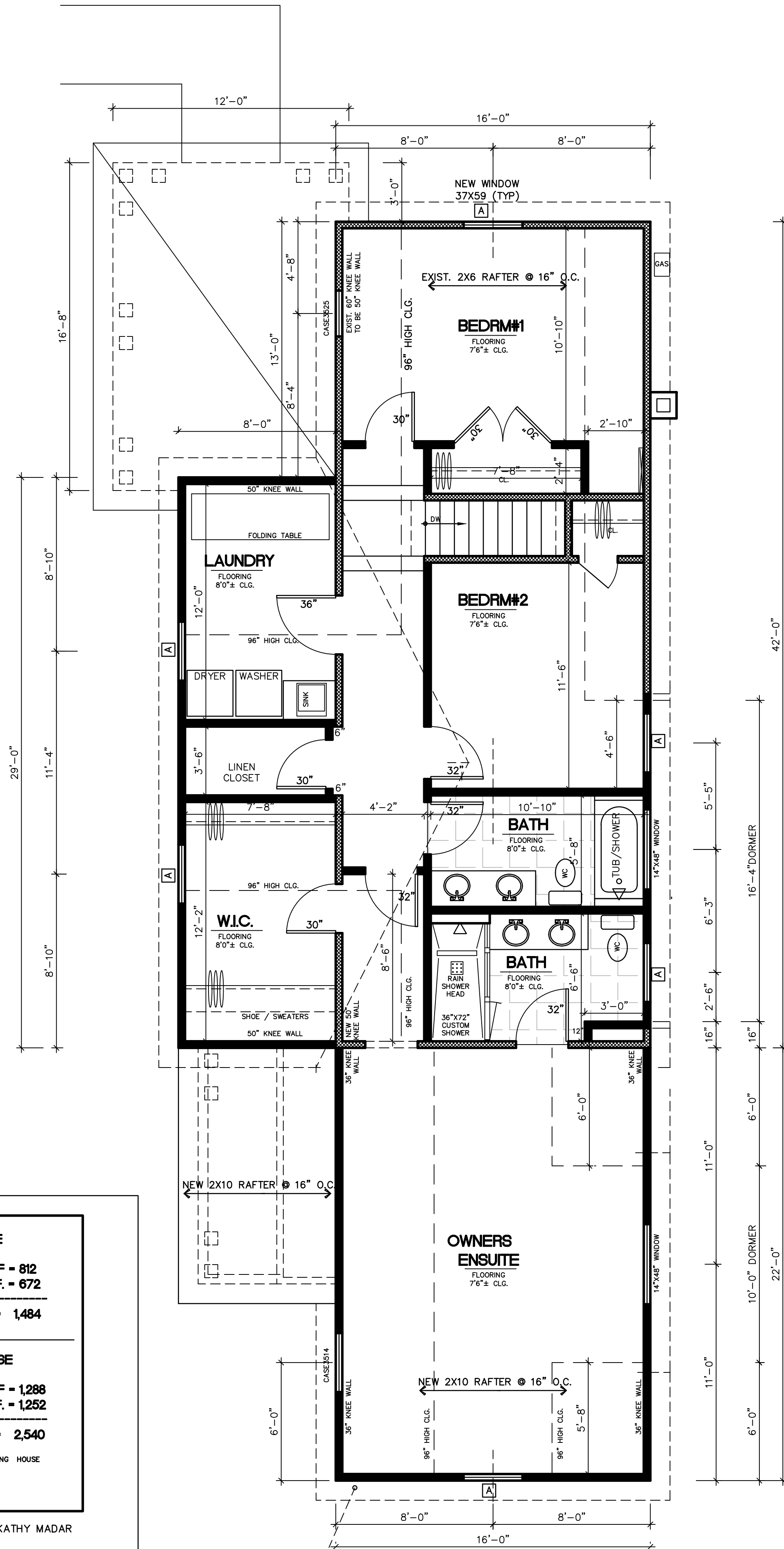
PROPOSED HOUSE

1ST FLOOR SF = 1288
2ND FLOOR SF = 1252
TOTAL SF. = 2,540

1,056 S.F. ADDED TO EXISTING HOUSE
PLUS 2 PORCHES

OWNER - MARK & KATHY MADAR
330-701-1308

16 OWEN BROWN ST HUDSON , OHIO 44236 DATE: 1-29-24
SUMMIT COUNTY , PP#3200338



**PROPOSED
SECOND FLOOR PLAN**

SF = 1,252
SCALE : 1/4" = 1'-0"

PROPOSED

OWNER - MARK & KATHY MADAR , 330-701-1308
Email - mmadar58@gmail.com

HOUSE ADDITION PLAN

16 OWEN BROWN ST , HUDSON , OHIO 44236
SUMMIT COUNTY , PP#3200338

R24-20

5

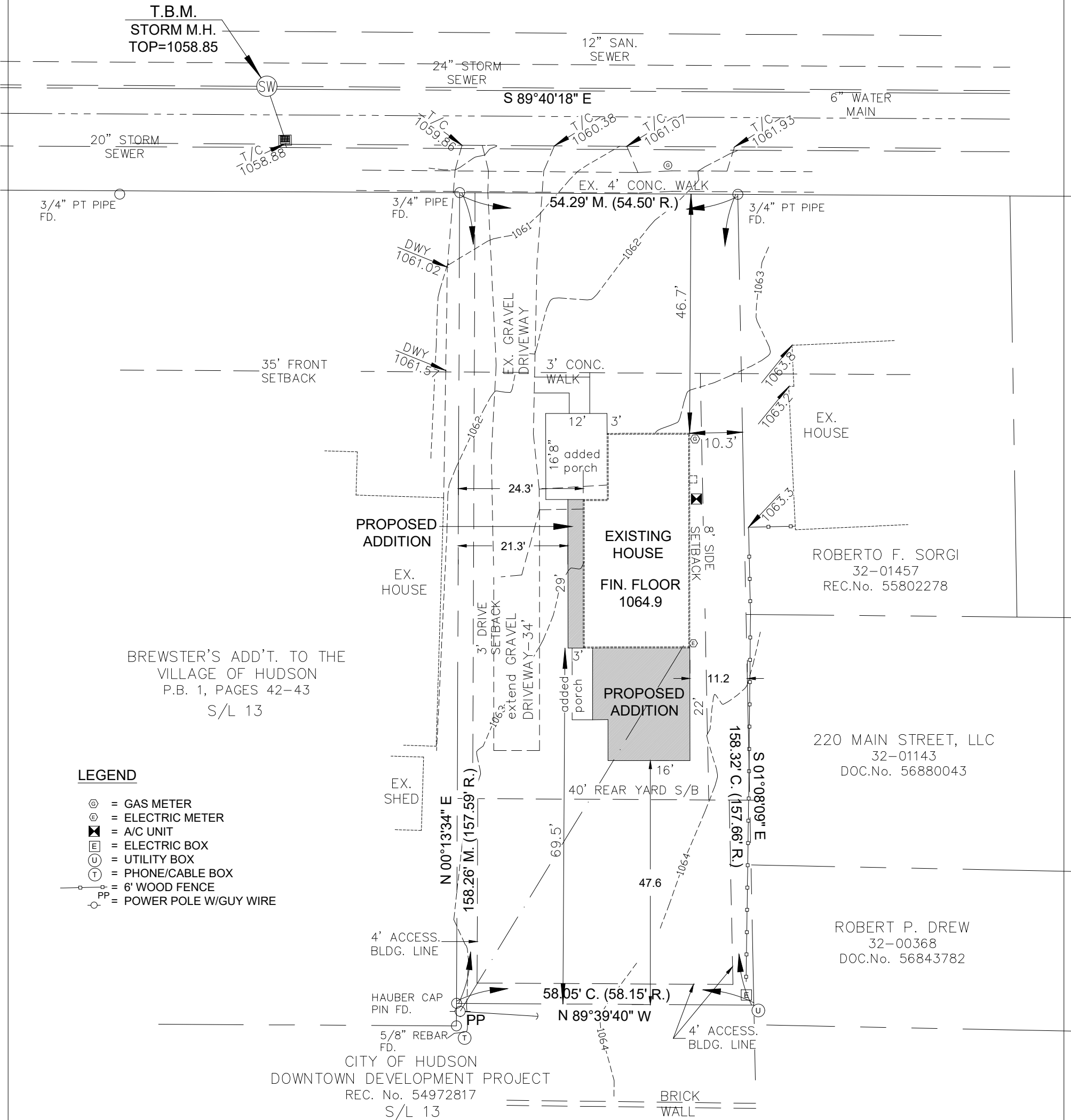
OF #

DATE:
12-08-2024
1-29-2025
2-03-2025

CHANGES AFTER
ARCH. BD. COMMENTS
1-1-24
-- WITH ITEM #

COSTLOW & ASSOCIATES, LLC
1865 ARNDALE RD. - SUITE "C"
STOW , OHIO 44224
PHONE 330-688-8500
Email - Gordon.Costlow@gmail.com
old plan - R19-08

OWEN BROWN STREET 40'



IMPERVIOUS SURFACE CALCULATION
TOTAL LOT AREA = 8,890 S.F.
ALLOWABLE IMPERVIOUS SURFACE AREA = 3,556 S.F. (40%)
CURRENT IMPERVIOUS SURFACE AREA = 2,500 S.F. (28.0%)
DATE : 1-30-25



I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND SHOWN ON THIS PLAT AND THAT THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SHOWN HEREON.

LAURI R. CULP, P.S. 7834
CULP SURVEYING, LLC
3853 RIDGEVIEW DRIVE
RICHFIELD, OHIO 44286
330-815-3765

BASE DRAWING BY:

16 OWEN BROWN STREET
PT. OF ORIG. HUDSON TWP. LOT 55, BLOCK 20
PPN 32-00338
CITY OF HUDSON
SUMMIT COUNTY, OHIO
DECEMBER, 2024 SCALE: 1" = 20'



