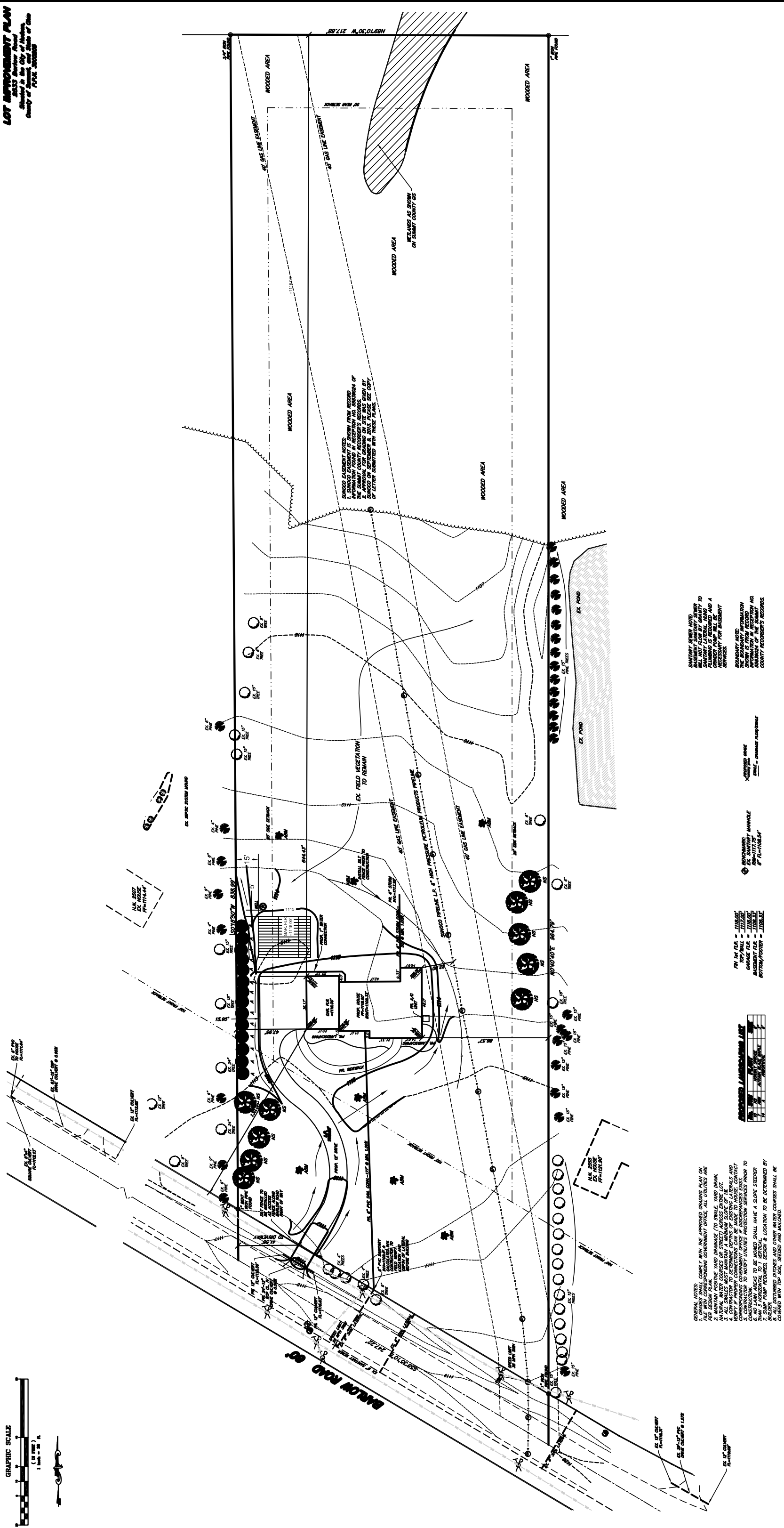
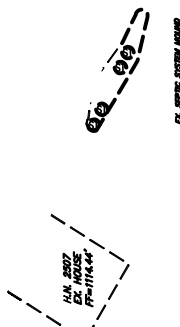


(IN FEET)
1 inch = 50 ft.

0 5 10 15 20



GENERAL NOTES:

COURT Y WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE, ALL UTILITIES ARE TO BE PROTECTED.

PER DESIGN PLAN:

1. MAINTAIN POSITIVE YARD DRAINAGE (TO SINKLE YARD DRAIN).
2. MAINTAIN POSITIVE SIDEWALK DRAINAGE (TO STREET CURB).
3. ALL SWELLS MUST MAINTAIN A MINIMUM SLOPE OF 1%.
4. CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND MAINS.
5. IF PROPER CONNECTIONS CAN BE MADE TO HOUSE, CONTACT UTILITY COMPANY FOR RECORDS.
6. CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
7. ALL NEW LATERALS SHALL HAVE A SLOPE STEEPER THAN EXISTING.
8. 1/2" JUMP PIPES REQUIRED AT DESIGN & LOCATION TO BE DETERMINED BY ENGINEER.
9. BUILDUP SHALL BE AS SPECIFIED IN THE GRADING PLAN.

ALL OTHER WATER COURSES SHALL BE PROTECTED AND NOT OPENED UP, SOILED OR MISUSED.

SANITARY SEWER NOTE:
BASEMENT SANITARY SEWER
WILL NOT FLOW BY GRAVITY
SINCE THE LATERAL PUMP
PLUMBING IS REQUIRED AND A
GRINDER PUMP WILL BE
NECESSARY FOR BASEMENT
SEWAGES.

BOUNDARY NOTE:
THE BOUNDARY INFORMATION
SHOWN IS FROM RECORD
INFORMATION IN RECEPTION NO.
358,390/24 OF THE SUMMIT
COUNTY RECORDER'S RECORDS.

FIN 1st FLR.	=	1118.00'
TOP/WALL	=	1117.00'
GARAGE FLR.	=	1116.00'
BASEMENT FLR.	=	1108.33'
BOTTOM/FOOTER	=	1108.33'

BENCHMARK:
EX. SANITARY MANHOLE
RIM=1117.75'
H⁺ FL=1108.54'
PROPOSED GRADE
X existing grade
SWIML = DRAINAGE FLOW/SWIML

DATE	TIME	LOCATION	REMARKS
12	08	OFFICE	RECEIVED
13	08	OFFICE	RECEIVED
14	08	OFFICE	RECEIVED

modelling dimensions shown are for rough field layout only and should not be used for design.

REVISION TABLE				PROJECT
				BO FILE

BOTOSAN RESIDENCE- BARLOW ROAD, CITY OF HUDSON

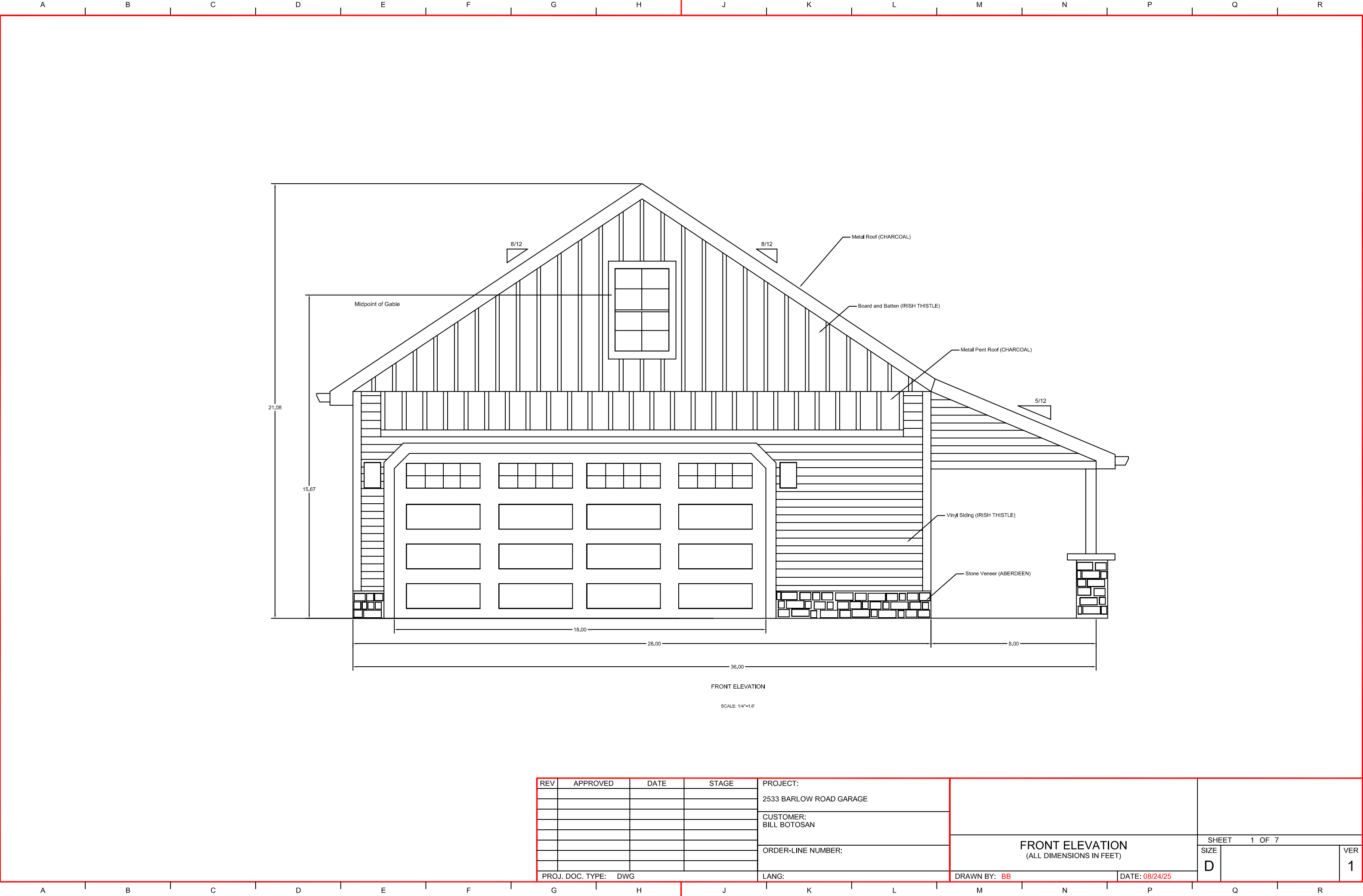
WILEY

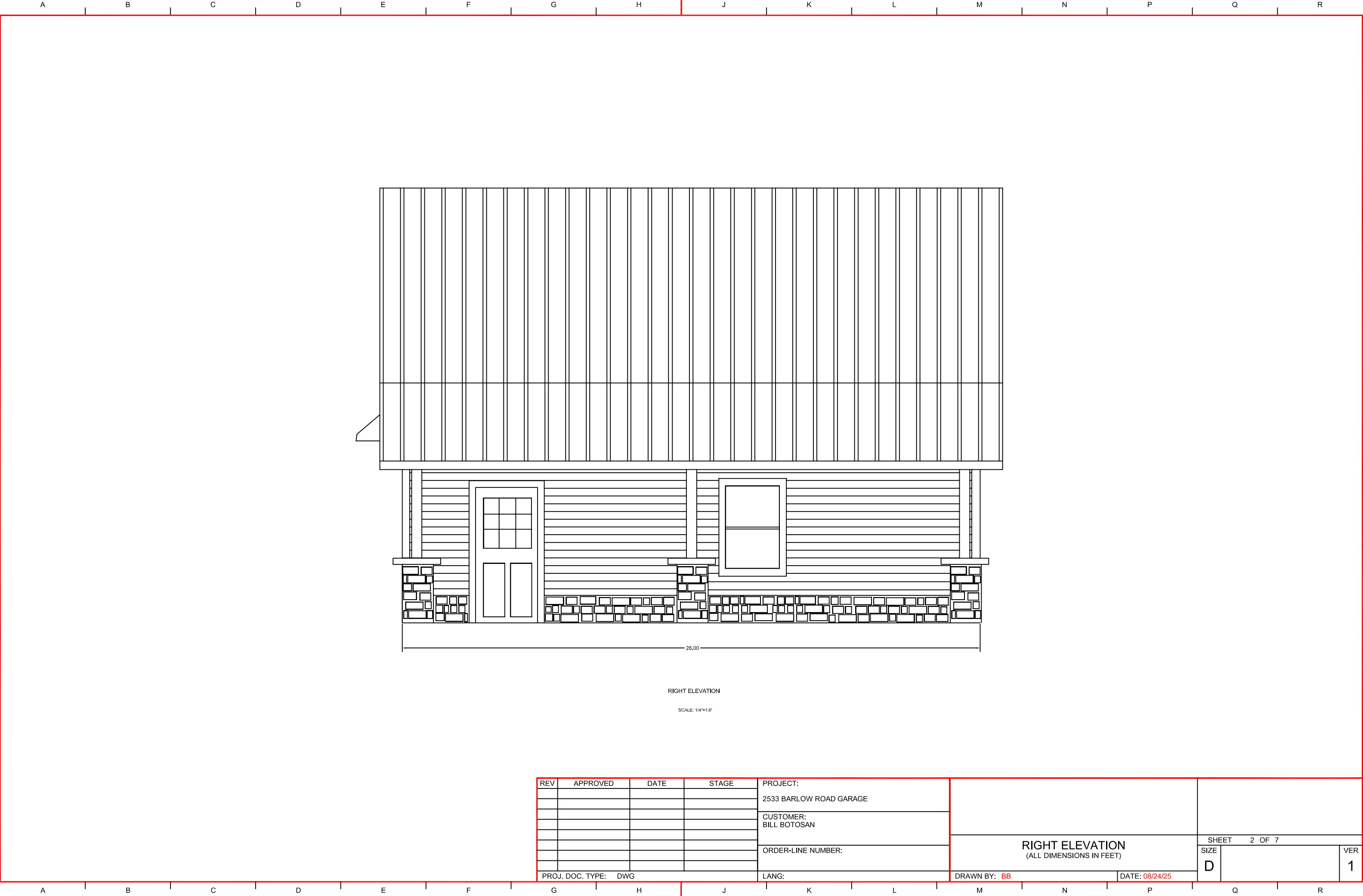
SCALES
HORIZONTAL 1"=20'
DRAWING FILE
13-077 LIP.DWG
SHEET NUMBER
1-8



**TWO WORKING DAYS
BEFORE YOU DIG**
Call 1-800-362-2764

PLAN PREPARED BY -
LAND PROFESSIONALS INC.
 CIVIL ENGINEERING
 8091 WAUWATOSH ROAD
 WAUWATOSH, WI 53096
 (262) 771-1000

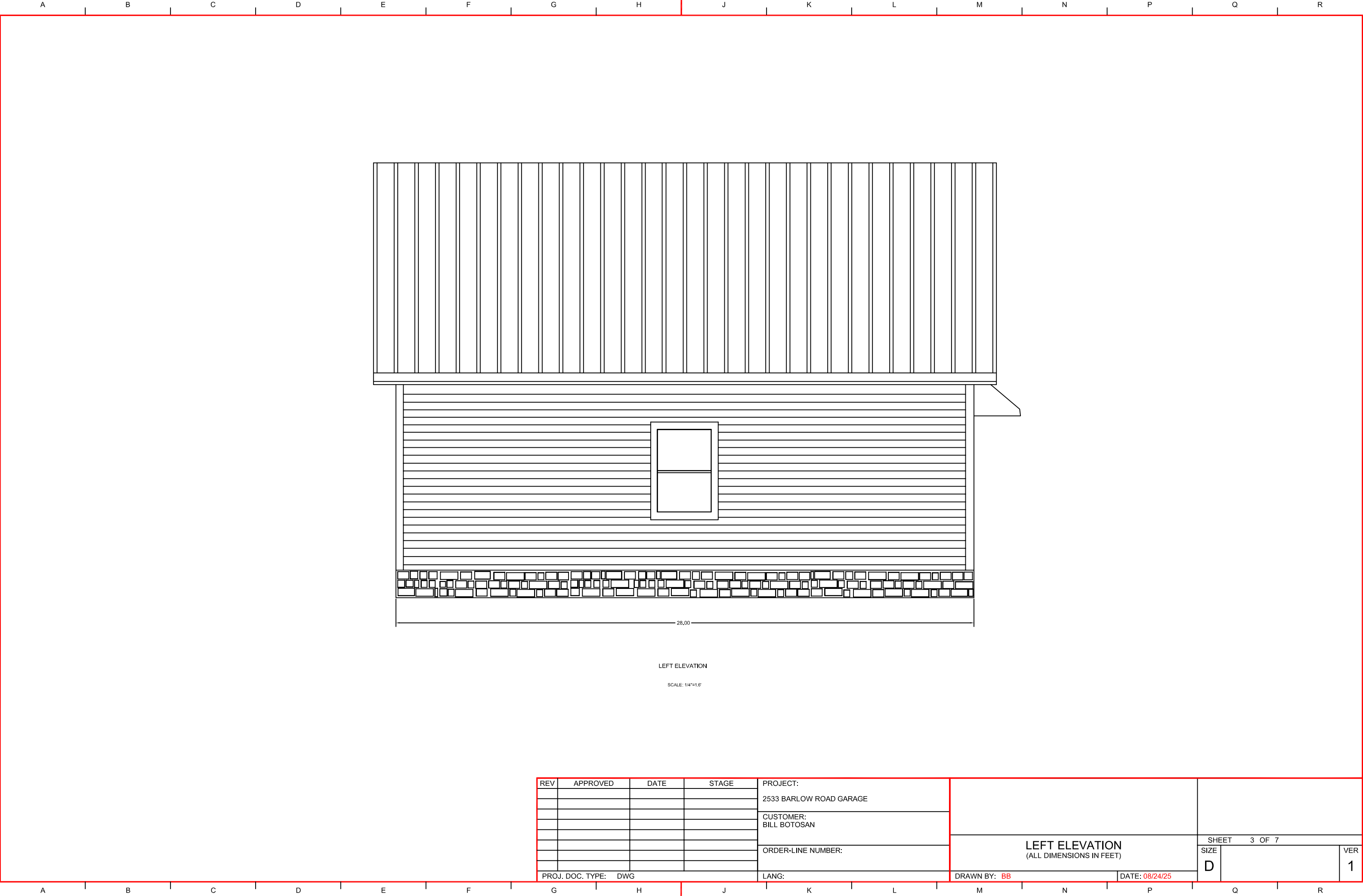




RIGHT ELEVATION

SCALE: 1/4"=1.0'

REV	APPROVED	DATE	STAGE	PROJECT:	RIGHT ELEVATION (ALL DIMENSIONS IN FEET)		
				2533 BARLOW ROAD GARAGE			
				CUSTOMER: BILL BOTOSAN			
				ORDER-LINE NUMBER:			
				LANG:			
PROJ. DOC. TYPE: DWG				DRAWN BY: BB	DATE: 08/24/25	SHEET SIZE D	2 OF 7 VER 1

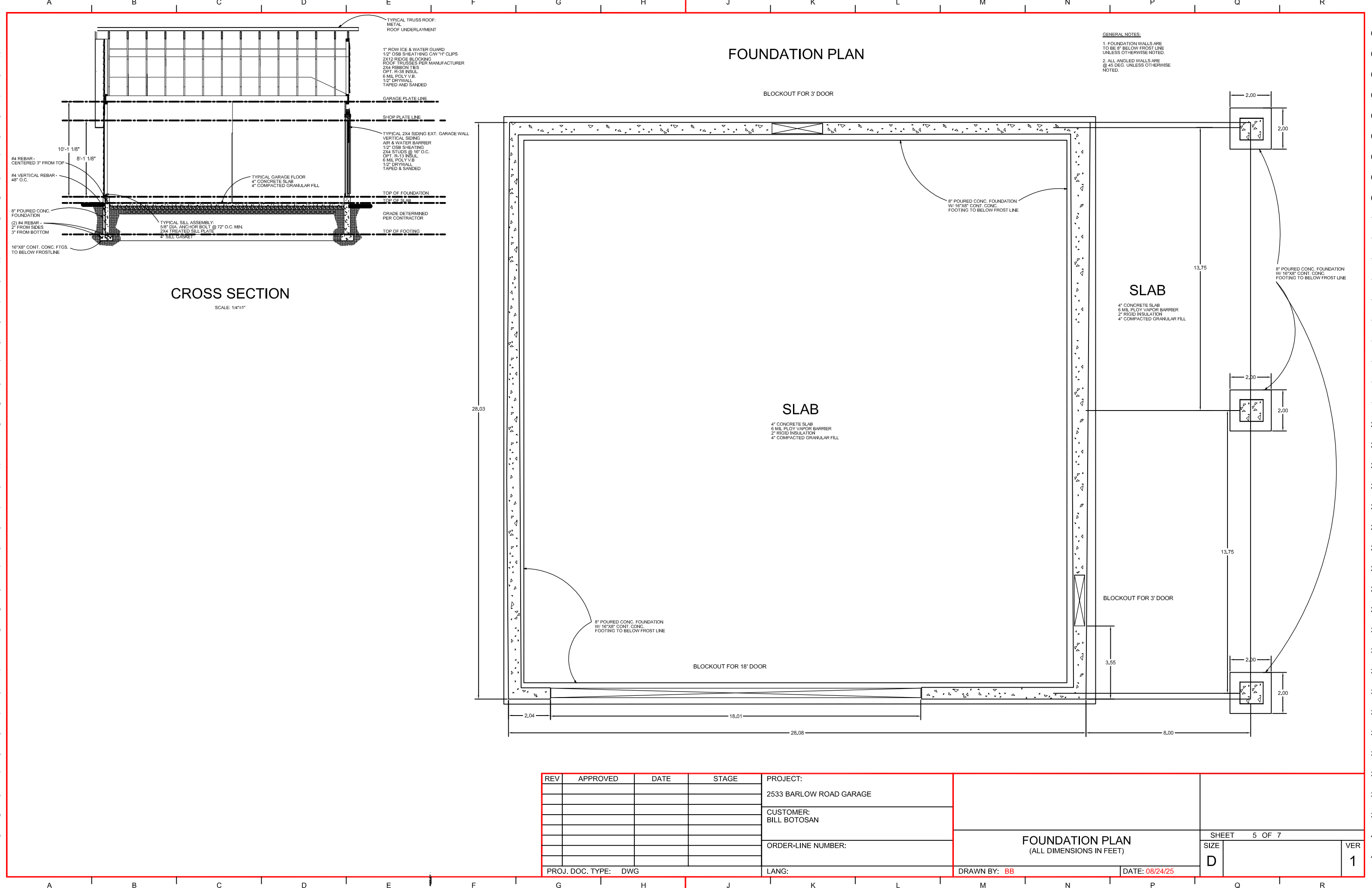




REAR ELEVATION

SCALE: 1/4"=1.0'

REV	APPROVED	DATE	STAGE	PROJECT:	REAR ELEVATION (ALL DIMENSIONS IN FEET)		
				2533 BARLOW ROAD GARAGE			
				CUSTOMER: BILL BOTOSAN			
				ORDER-LINE NUMBER:			
PROJ. DOC. TYPE: DWG				LANG:	DRAWN BY: BB	DATE: 08/24/25	
					SIZE	SHEET 4 OF 7	VER
					D		1

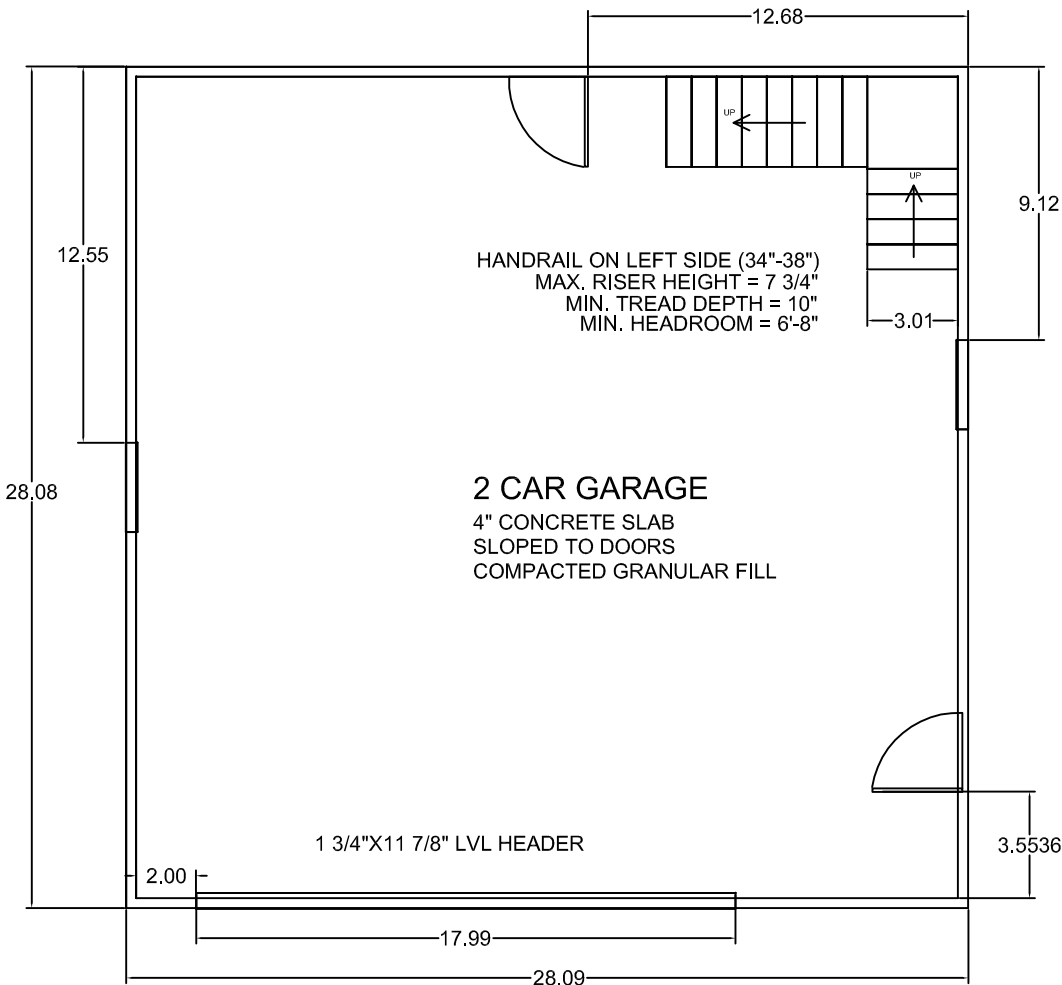


- GENERAL NOTES:
- 1. ALL MAIN LEVEL WALLS ARE 10'-1 1/8" HIGH UNLESS OTHERWISE NOTED.
 - 2. ALL ANGLED WALLS ARE @ 45 DEGREES UNLESS OTHERWISE NOTED.
 - 3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD + 1/2" SHEATING) & ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.

MAIN LEVEL FLOOR PLAN

WINDOWS: 32" X 58"
DOORS: 36"X84"
GARAGE DOOR: 216"X96"

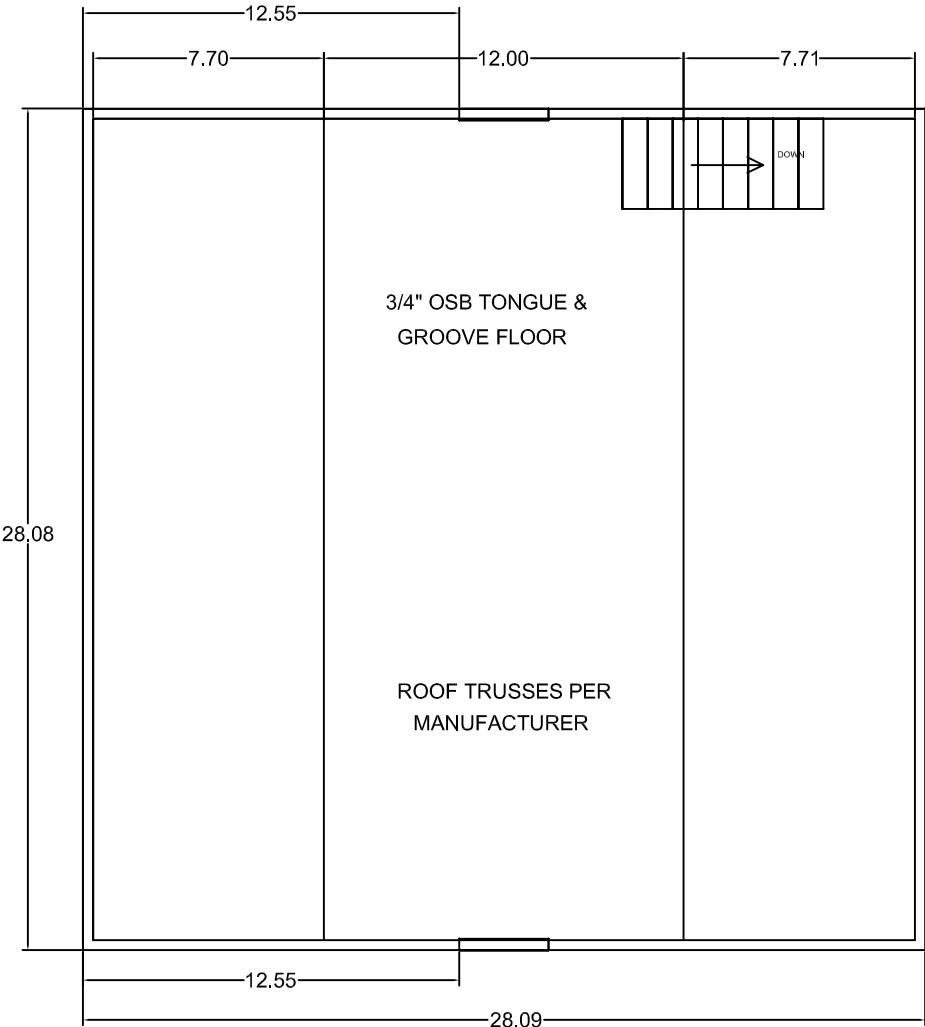
784 SQ. FT.



LOFT FLOOR PLAN

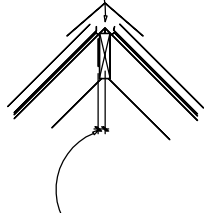
WINDOWS: 32" X 58"

336 SQ. FT.

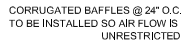


REV	APPROVED	DATE	STAGE	PROJECT:			
				2533 BARLOW ROAD GARAGE			
				CUSTOMER: BILL BOTOSAN			
				ORDER-LINE NUMBER:			
				LANG:	DRAWN BY: BB	DATE: 08/24/25	
PROJ. DOC. TYPE: DWG							
					FLOOR PLANS (ALL DIMENSIONS IN FEET)		SHEET 6 OF 7
					SIZE D		VER 1

SCALE: 1"=1'-0"



SCALE: 1"=1'-0"



GUTTER —

CONTINUOUS FAVE

HURRICANE STRAPPING

DOUBLE TOP PLATE

REV	APPROVED	DATE	STAGE	PROJECT:					
				2533 BARLOW ROAD GARAGE					
				CUSTOMER:					
				BILL BOTOSAN					
				ORDER-LINE NUMBER:	ROOF PLAN (ALL DIMENSIONS IN FEET)		SHEET 7 OF 7		
							SIZE		VER
							D		1
PROJ. DOC. TYPE: DWG				LANG:	DRAWN BY: BB		DATE: 08/24/25		









