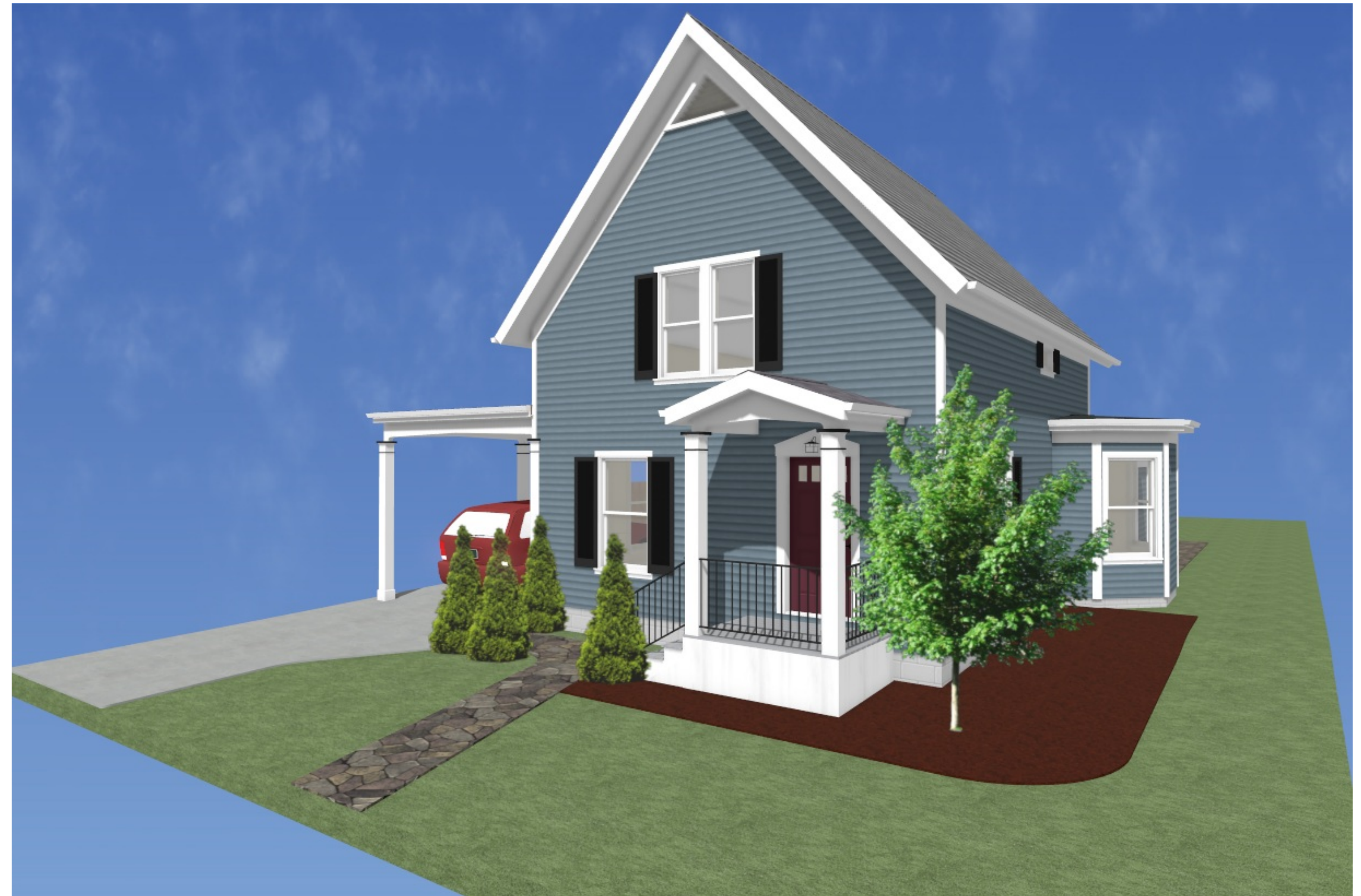


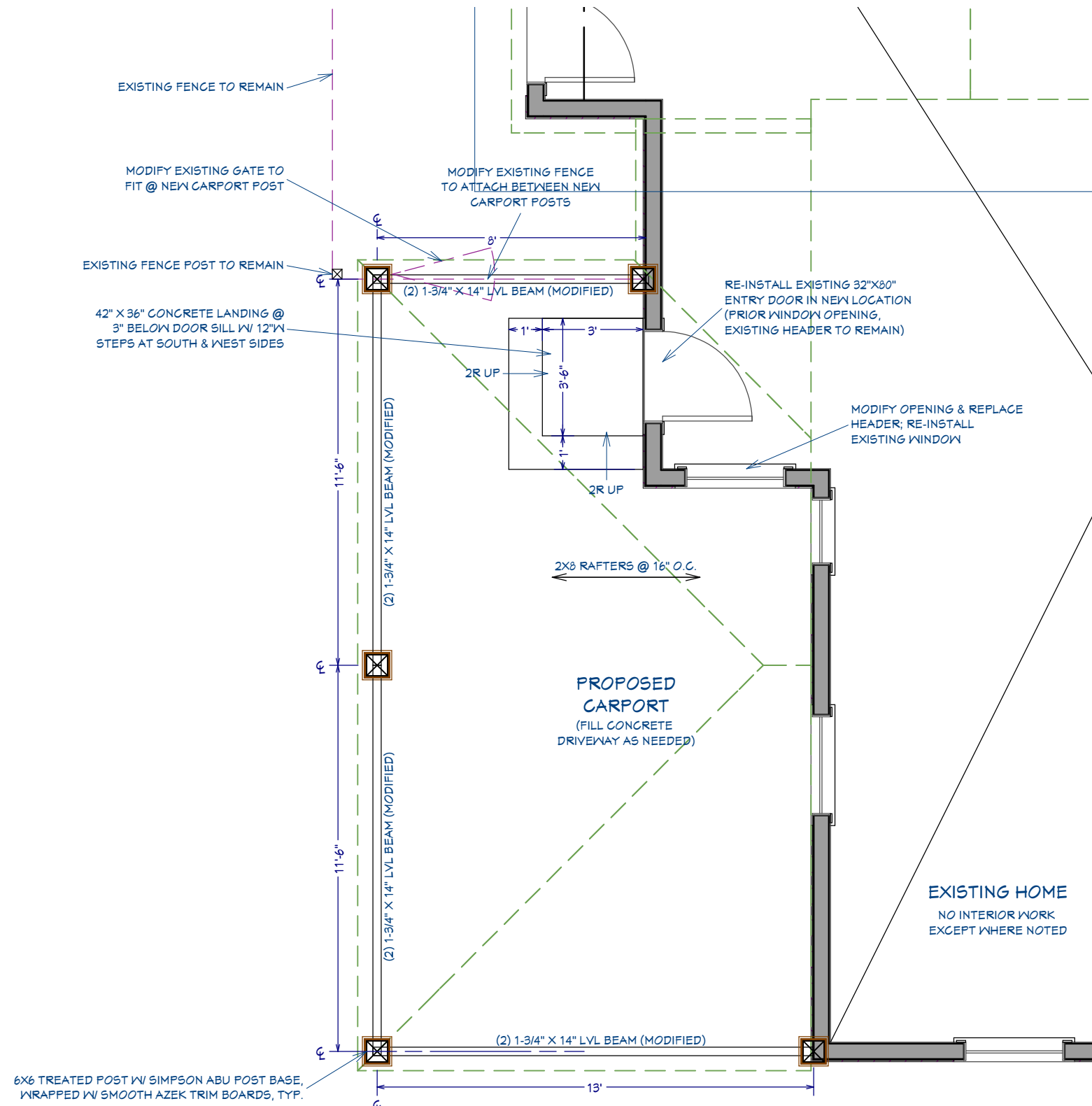


PROPERTY PROFILE:	DESIGN CRITERIA:	PROJECT DESCRIPTION:	GENERAL NOTES:																		
ADDRESS: 31 CHURCH STREET HUDSON, OHIO 44236 PARCEL: 3200397 ZONING: 510 - R - SINGLE FAMILY DWELLING, PLATTED LOT NEIGHBORHOOD CODE: 30460006 LOT SIZE (RECTANGULAR): 48' X '119' = 5,712 SF = 0.1311 ACRES EXISTING HOME DETAILS: TOTAL EXISTING LIVING AREA: 1,765 SF PROPOSED PROJECT DETAILS: PROPOSED ADDITIONAL LIVING AREA: 0 SF PROPOSED ATTACHED CARPORT AREA: 220 SF PROPOSED FRONT PORCH REPLACEMENT AREA: 33 SF SETBACK INFORMATION: FRONT (SOUTH) YARD SETBACK: NO CHANGE PROPOSED FROM EXISTING 18'-6" SETBACK. LEFT (WEST) SIDE YARD: PROPOSED REDUCTION FROM 5'-10" TO 3'-4" SETBACK. REAR (NORTH) YARD SETBACK: NO CHANGE PROPOSED FROM EXISTING 54'-0"" SETBACK. RIGHT (EAST) SIDE YARD SETBACK: NO CHANGE PROPOSED FROM EXISTING 7'-0" SETBACK.	GROUND SNOW LOAD: 20 PSF WIND DESIGN SPEED: 115 MPH (RCO 301.2(1)) SEISMIC DESIGN CATEGORY: B (RCO 301.2(2)) WINTER DESIGN TEMPERATURE: 5° F (RCO 301.2(1)E) ICE BARRIER UNDERLAYMENT: REQUIRED (RCO 301.2(1)) FLOOD HAZARD: N/A AIR FREEZING INDEX: 1500 (RCO 403.3(2)) DEAD LOAD: FLOOR CONSTRUCTION: 12 PSF ROOF CONSTRUCTION: 15 PSF EXTERIOR STUD WALL CONSTRUCTION VINYL SIDING: 12 PSF BRICK VENEER: 48 PSF INTERIOR WALL CONSTRUCTION GYPSUM BOARD: 8 PSF PLASTER: 20 PSF LIVE LOAD (RCO 301.5) SLEEPING ROOM: 30 PSF ROOMS OTHER THAN SLEEPING: 40 PSF PASSENGER VEHICLE GARAGES: 50 PSF STAIRS: 40 PSF BALCONIES AND DECKS: 40 PSF MIN. ROOF LIVE LOAD (RCO 301.6) FLAT TO < 4:12 PITCH: 20 PSF 4:12 PITCH TO < 12:12 PITCH: 16 PSF 12:12 PITCH OR GREATER: 12 PSF DESIGN CODE REFERENCE: 2019 RESIDENTIAL CODE OF OHIO 2023 NATIONAL ELECTRIC CODE 2024 OHIO PLUMBING CODE	1. DEMOLITION OF COVERED PORCH AT SOUTWEST PORTION OF HOME AND REPLACEMENT WITH AN 11' X 17' CARPORT. 2. REPLCATION OF 1 WINDOW AND 1 ENTRY DOOR. 3. REPLACEMENT OF FRONT PORCH WITH NEW FRONT PORCH AND PORTICO. <table><tr><th colspan="2">Layout Page Table</th></tr><tr><th>Label</th><th>Title</th></tr><tr><td>T-1</td><td>TITLE PAGE</td></tr><tr><td>S-1</td><td>SITE PLAN</td></tr><tr><td>D-1</td><td>DEMOLITION PLAN</td></tr><tr><td>A-1</td><td>CARPORT PLAN</td></tr><tr><td>A-2</td><td>CARPORT FRAMING, SECTION & DETAILS</td></tr><tr><td>A-3</td><td>CARPORT PLAN</td></tr><tr><td>A-4</td><td>CARPORT FRAMING, SECTION & DETAILS</td></tr></table>	Layout Page Table		Label	Title	T-1	TITLE PAGE	S-1	SITE PLAN	D-1	DEMOLITION PLAN	A-1	CARPORT PLAN	A-2	CARPORT FRAMING, SECTION & DETAILS	A-3	CARPORT PLAN	A-4	CARPORT FRAMING, SECTION & DETAILS	General Notes: 1 The work shall conform with all applicable local, state, and national codes. Plans have been drawn to conform with 2019 Residential Code of Ohio. 2 Local (municipal or county) building code regulations to supersede 2019 Residential Code of Ohio where they conflict. 3 Contractor shall field-verify existing conditions prior to performing any demolition, fabrication, or construction work. 4 Contractor shall report any existing conditions that are not documented or are different than those on these drawings to the designer, architect, or engineer of record prior to commencing any work. 5 Permit and Architecture Review Board applications and fees shall be the responsibility of the contractor. 6 Contractor shall determine construction procedures and sequencing, and provide any necessary shoring or bracing required to complete the work. 7 Contractor and sub-contractors shall be responsible to provide, maintain, and oversee all safety requirements necessary to complete the work in compliance with applicable safety regulations. 8 Written dimensions take precedent over scaled dimensions. If scaling dimensions is necessary during the course of construction best practice is to inquire and verify dimensions with the designer, architect, or engineer of record. Site and Property: 1 Before work commences, it is the responsibility of the contractor or owner to obtain the services of a surveyor or engineer to verify and mark all applicable property lines and verify setbacks for zoning regulation compliance. 2 Contractor to verify existing site conditions, grading, and location of all utilities. 3 Final grade around new structures shall be sloped to drain surface water away from all foundations. Finish grade shall fall a minimum of ½" per foot for a minimum of 10'. 4 Provide troweled or sawn control joints at maximum 10' O.C. in each direction for all poured concrete surfaces such as driveways, walkways, and patios. 5 Existing site topography outside the construction area shall remain unchanged. 6 Soil excavated from foundation area shall be hauled offsite unless contractor and owner agree otherwise. 7 Contractor or owner to be responsible to obtain proper approval from appropriate local authority for any changes to grading or topography outside the construction area.
Layout Page Table																					
Label	Title																				
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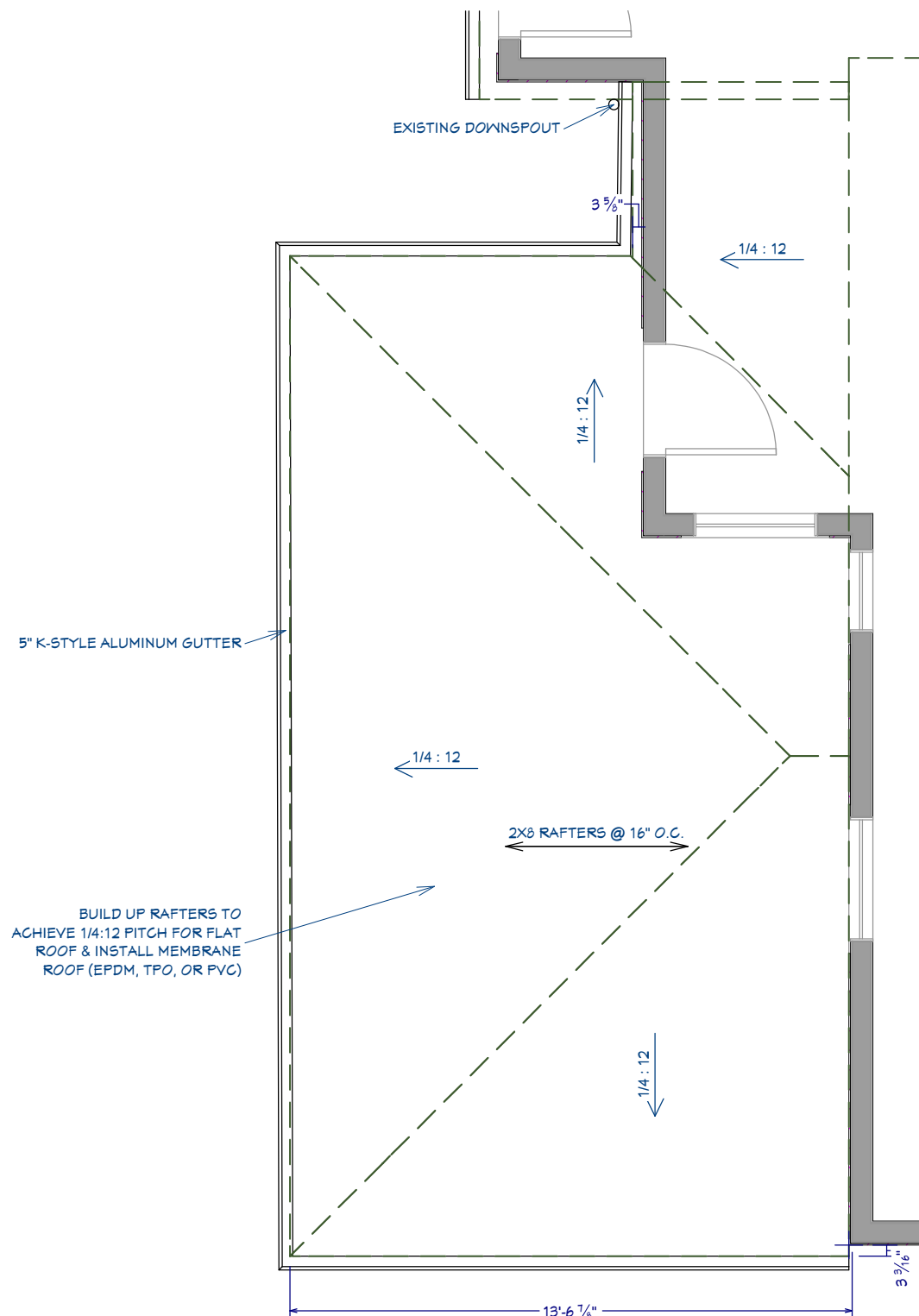
SITE PLAN NOTES:
1. ALL PROPERTY DIMENSIONS ARE TAKEN FROM COUNTY GIS MAP DATA AND ROUGH FIELD MEASUREMENTS.

SUMMIT COUNTY GIS MAP

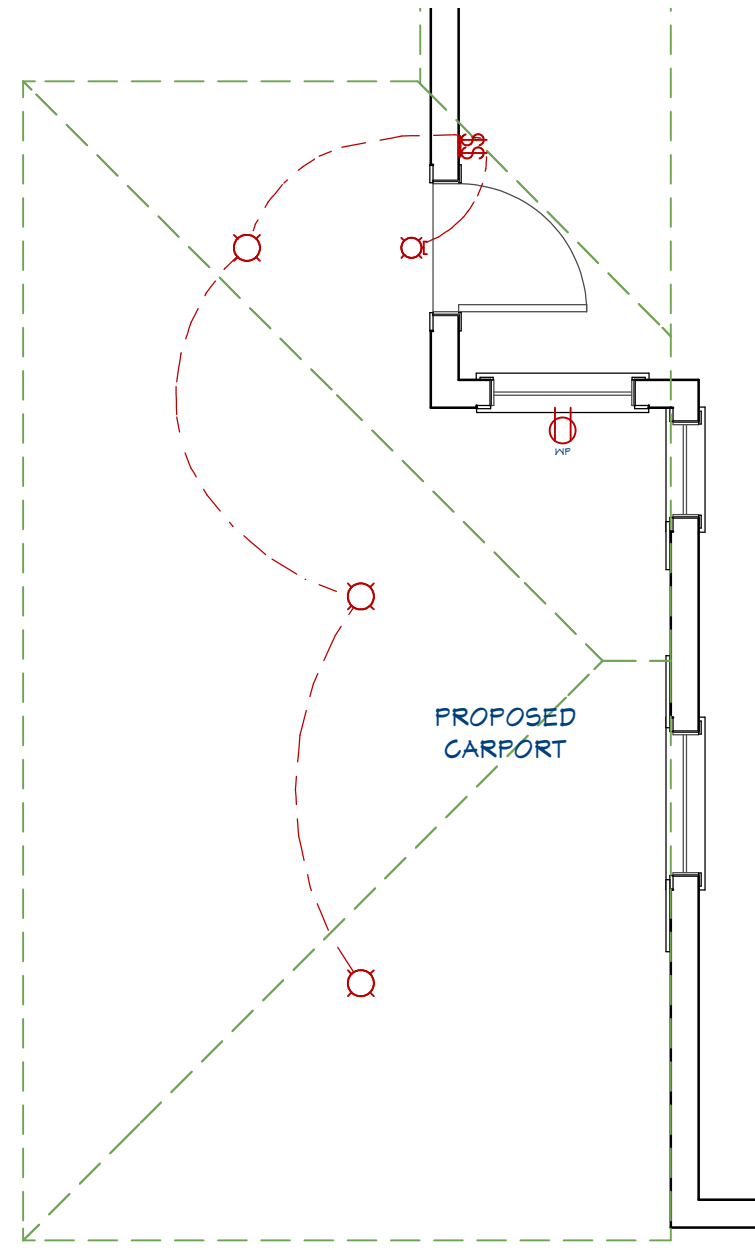
GOOGLE MAPS IMAGE



CARPORT PROPOSED PLAN
1/4" = 1'-0"



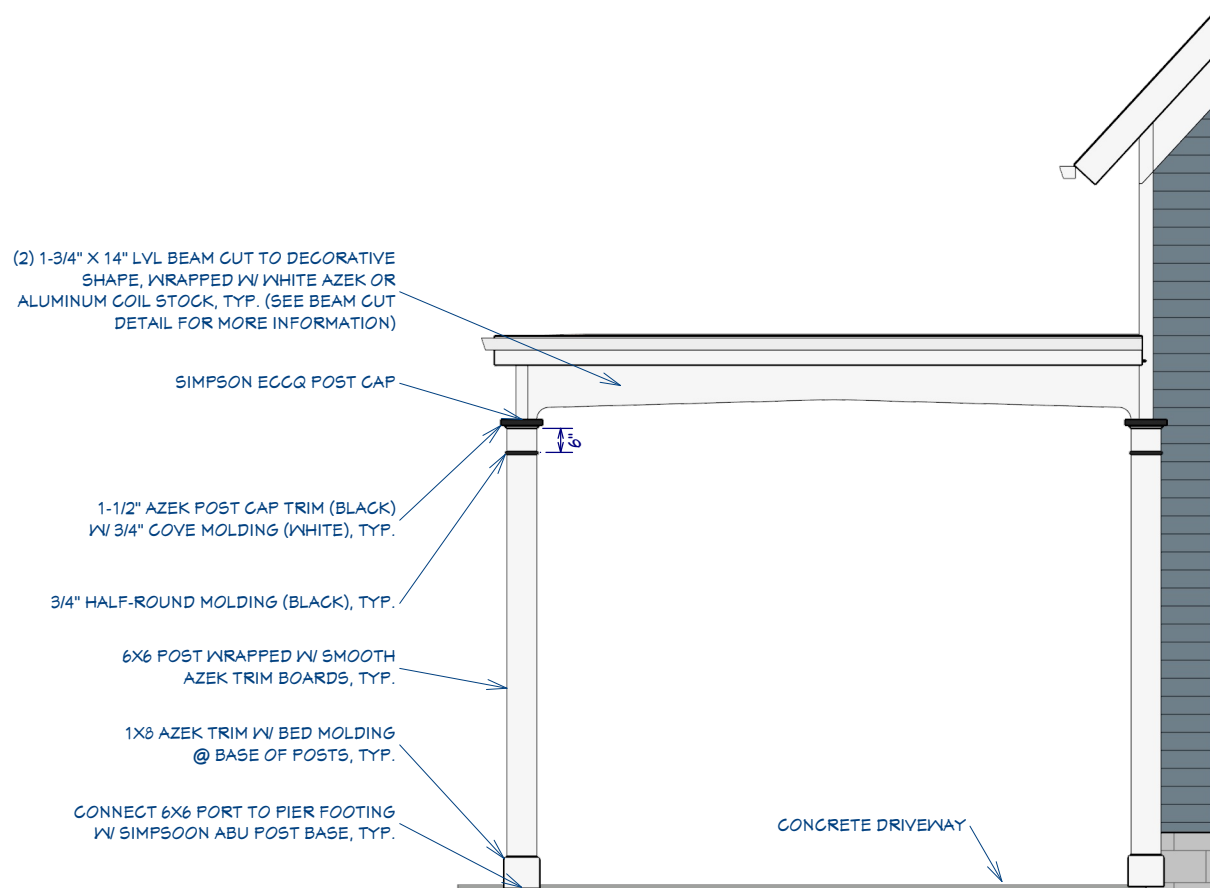
PROPOSED CARPORT ROOF PLAN
1/4" = 1'-0"



ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	COMMENTS
	CEILING FLUSH-MOUNT LIGHT FIXTURE	WET-RATED
	EXTERIOR WALL-MOUNT SCONCE LIGHT FIXTURE	WET-RATED
	SINGLE POLE SWITCH	
	GFCI RECEPTACLE W/ EXTRA-DUTY WEATHERPROOF COVER	

- ELECTRICAL NOTES:
- ALL WORK TO COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.
 - CONFIRM LOCATION OF ALL LIGHT FIXTURES W/ OWNER AT TIME OF ROUGH-IN.
 - ALL EXISTING ELECTRICAL IN THE HOME TO REMAIN AS IS EXCEPT AS SHOWN IN THE ELECTRICAL PLAN.
 - PROVIDE AFCI PROTECTION FOR NEW, EXTENDED, OR MODIFIED CIRCUITS IN THE FOLLOWING AREAS, AS NEEDED: KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS. CIRCUITS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [NEC 210.12(B)]
 - ALL EXTERIOR LIGHT FIXTURES TO BE WET-RATED.
 - ALL NEW RECEPTACLES TO BE TAMPER-RESISTANT (TR) TYPE. [2023 NEC 406.12]

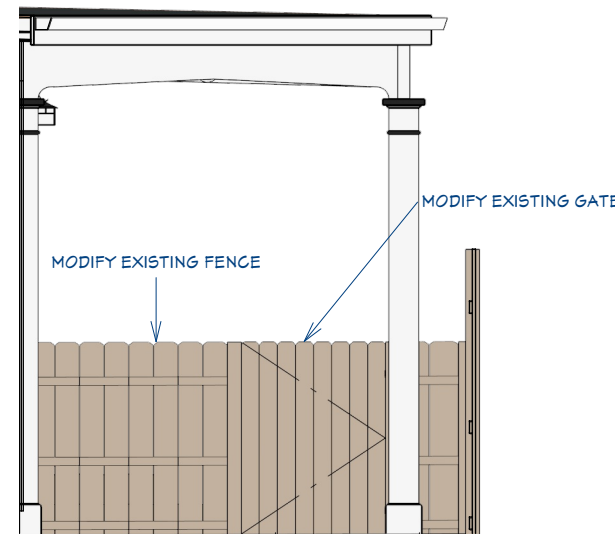
CARPORT ELECTRICAL PLAN
1/4" = 1'-0"



CARPORT SOUTH ELEVATION
1/4" = 1'-0"



CARPORT WEST ELEVATION
1/4" = 1'-0"



CARPORT NORTH ELEVATION
1/4" = 1'-0"

- GENERAL PLAN NOTES:
- ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
 - CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
 - ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
 - ALL EXISTING DOORS TO REMAIN EXCEPT AS NOTED.
 - NO WORK TO BE PERFORMED INSIDE THE HOME EXCEPT AS NEEDED FOR DOOR & WINDOW RELOCATION.
 - FILL IN MATCHING SIDING & EXTERIOR TRIM WHEREVER NEEDED.
 - PAINT ANY NEW SIDING & EXTERIOR TRIM TO MATCH EXISTING HOME.

REVISION TABLE		REVISION		DATE	
NUMBER	DATE	REVISION	BY	DATE	BY
1	6/10/26	PRELIMINARY PLANS	CH	6/30/26	CH
2	6/30/26	REVISED CARPORT DIMENSIONS	CH		

CARPORT PLAN

CARPORT & FRONT PORCH
KASS RESIDENCE
31 CHURCH STREET
HUDSON, OHIO 44236

DRAWINGS PROVIDED BY:
KIRK HARTUNG
khartung@keseleman.com
440.554.1329

DATE:
6/30/26

SCALE:
AS SHOWN

SHEET:
A-1

TO BE ADDED AFTER PRELIMINARY PLAN REVIEW:

1. CARPORT CEILING/ROOF FRAMING PLAN
2. CARPORT FOUNDATION PLAN
3. CARPORT POST DETAILS
4. CARPORT BEAM DETAILS
5. CARPORT CROSS SECTION

KIRK HARTUNG
440-554-1206
HartungHomeServices@gmail.com

DATE:

5/30/26

SCALE:

AS SHOWN

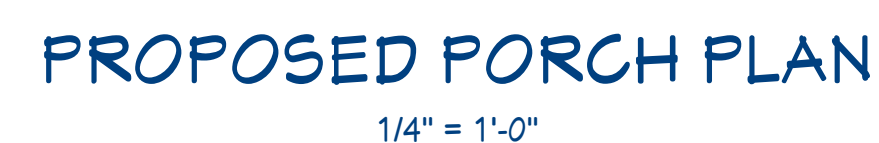
SHEET:

A-2

[illegible]

CARPET FRAMING, SECTION & DETAILS

CARPORT & FRONT PORCH
KASS RESIDENCE
31 CHURCH STREET
HUDSON, OHIO 44236



- NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
 2. ALL EXISTING ROOFING MATERIALS TO REMAIN ON EXISTING HOME.
 3. ALL NEW PORCH ROOFING TO BE ASPHALT SHINGLES TO MATCH COLOR OF EXISTING SLATE ROOFING AS CLOSELY AS POSSIBLE.
 4. CONNECT ALL RAFTERS TO BEAMS W/ SIMPSON H2.5A HURRICANE TIES.
 5. PROVIDE FULL COVERAGE ICE & WATER SHIELD FOR PORCH ROOF.
 6. PROVIDE 30# ROOFING FELT.
 7. PROVIDE ALL NECESSARY FLASHING AT ROOF-TO-WALL CONNECTION.
 8. PROVIDE ALUMINUM DRIP EDGE AT ALL EDGES OF NEW ROOF AREA.
 9. FOLLOW ALL MANUFACTURER SPECIFICATIONS & INSTRUCTIONS FOR PROPER PREPARATION & INSTALLATION OF ROOF.

- ELECTRICAL NOTES:
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE REQUIREMENTS.
 2. NO ELECTRICAL WORK PROPOSED FOR FRONT PORCH AREA.

[illegible]

CARPORT PLAN

CARPORT & FRONT PORCH
KASS RESIDENCE
31 CHURCH STREET
HUDSON, OHIO 44236

DRAWINGS PROVIDED BY:
KIRK HARTUNG
440-554-1206
HartungHomeServices@gmail.com

DATE:

6/30/26

SCALE

AS SHOWN

SHEET

A-3



- GENERAL PLAN NOTES:**
1. ALL WORK TO COMPLY WITH LOCAL BUILDING CODE.
 2. CONTRACTOR TO FIELD-VERIFY ALL DIMENSIONS.
 3. ALL EXISTING WINDOWS TO REMAIN EXCEPT AS NOTED.
 4. ALL EXISTING DOORS TO REMAIN EXCEPT AS NOTED.
 5. NO WORK TO BE PERFORMED INSIDE THE HOME EXCEPT AS NEEDED FOR DOOR & WINDOW RELOCATION.

TO BE ADDED AFTER PRELIMINARY PLAN REVIEW:

1. PORCH FOUNDATION PLAN
2. PORCH FLOOR FRAMING PLAN
3. PORCH CEILING/ROOF FRAMING PLAN
4. PORCH POST DETAILS
5. PORCH BEAM DETAILS
6. PORCH CROSS SECTION



NUMBER	DATE	REVISION	DESCRIPTION
1	6-10-26	KH	PRELIMINARY PLANS
2	6-30-26	KH	REVISED CARPORT DIMENSIONS

CARPORT FRAMING,
SECTION & DETAILS

CARPORT & FRONT PORCH
KASS RESIDENCE
31 CHURCH STREET
HUDSON, OHIO 44236

DRAWINGS PROVIDED BY:
KIRK HARTUNG
440.564.1326
k.hartung@kesselmanconstruction.com

DATE:
6/30/26

SCALE:
AS SHOWN

SHEET:

A-4

31 CHURCH ST.,
HUDSON, OHIO



FRONT OF HOME



BACK OF HOME



LEFT SIDE FRONT HALF



RIGHT SIDE BACK HALF



LEFT SIDE BACK HALF



RIGHT SIDE FRONT HALF



EXISTING SIDE PORCH AREA,
PROPOSED AREA FOR NEW CARPORT





EXISTING FRONT PORCH AREA,
PROPOSED AREA FOR NEW FRONT
PORCH WITH ROOF OVERHANG