

Meeting Date:
May 15, 2025

Location:
2380 Tyre Dr

Parcel Number
3002476

Request
A variance request
to allow an
accessory structure
in the side yard.

Applicant:
Marcus Peters

Property Owner:
Christopher
Steinker

Zoning:
D3 – Outer Village
Residential
Neighborhood

Case Manager:
Lauren Coffman,
Associate Planner

Contents

- Application, 3-31-2025
- Site Plan, 3-31-2025
- Elevations, 3-31-2025
- Site Photos 3-31-2025



Location Map, City of Hudson GIS

Request:

A variance request to allow an accessory structure to be located in the side yard when the Land Development Code prohibits accessory structures from being located in the side yard pursuant to section 1206.03(d)(3), “Accessory Uses/Structure – Accessory Use Development and Operation Standards” of the City of Hudson Land Development Code.

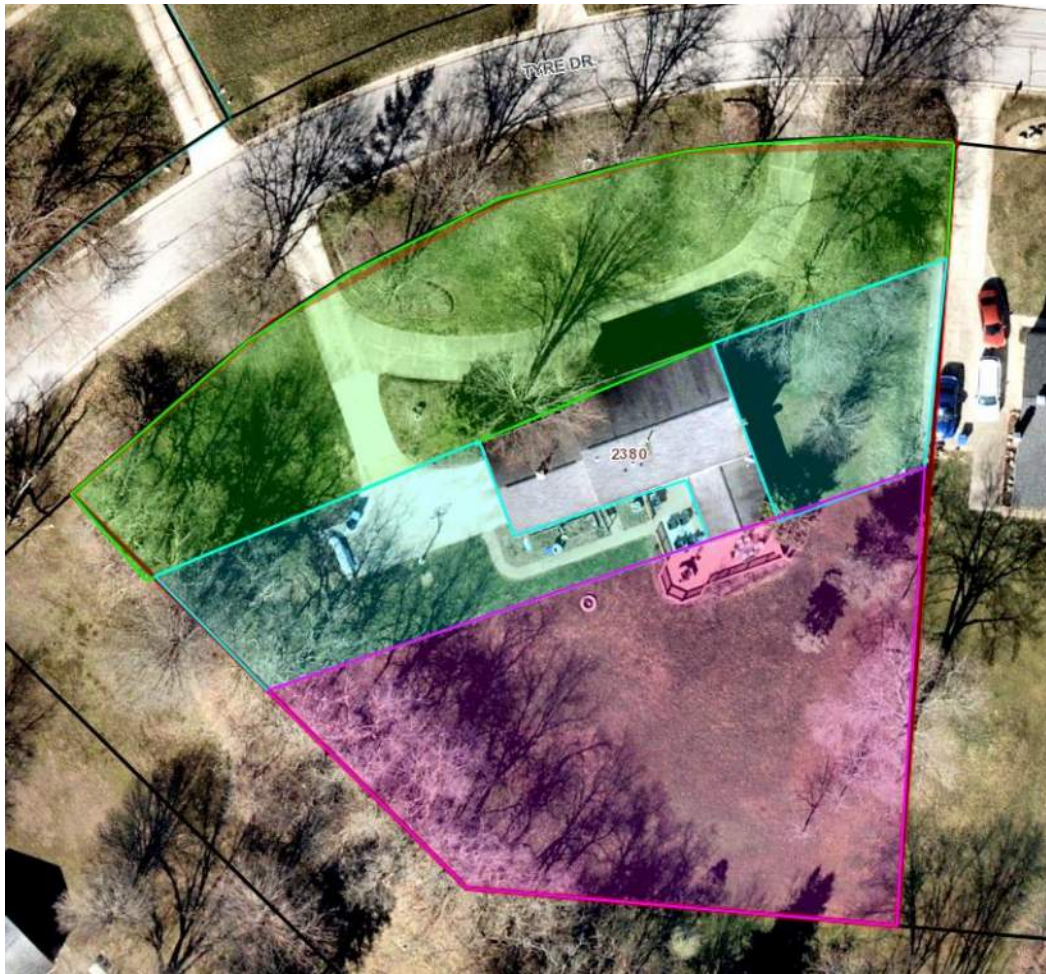
Adjacent Development:

The site is adjacent to residential development to the north, south, east and west.

Project Background

The property is located in District 3 – Outer Village Residential Neighborhood and is situated on Tyre Dr. The lot is approximately 0.77 acres and the house on the property was built in 1978. The owners purchased the property in 2023.

The applicant is requesting to construct a 18ft x 14ft (252 square foot) pergola on the property. The City of Hudson's Land Development Code has the following regulation relative to the placement of accessory structures on a property –



- 1206.03(d)(3) - Side setbacks. No accessory structure shall be located within a side yard, except for permitted fences or walls and on corner lots the majority of the floor area of any accessory structure shall not be located within a side yard.

The applicant states that the proposed location of the structure would be the most functional and accessible placement on the property. Additionally, the applicant states that relocating the proposed structure to meet all Land Development Code requirements would site the pergola too far from the homes primary outdoor seating area.

Hudson Board of Zoning and Building Appeals	
May 15, 2025	DOCKET 2025-285

Considerations

Section 1204.03 of the Land Development Code describes the standards for review of variance requests. These standards are listed below, along with staff findings to assist in your determination. All findings are subject to additional testimony presented to the Board during the public hearing:

1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variances:

The property in question will yield a reasonable return and there can be beneficial use of the property without the variance as there is sufficient room within the rear yard to construct the accessory structure to meet all Land Development Code requirements.

2. Whether the variance is substantial:

Staff notes that the requested variance would represent a 100% deviation from the code requirement; however, the structure would only be adjacent to a 16ft x 20ft extension of the home.

3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variances:

Staff notes the following:

- The lot is approximately 0.77 acres
- The proposed structure would have setbacks of approximately 76 feet from the side property line and 93 feet from the front property line.
- While the structure would be located in the side yard per the definition of the code, the structure would be located entirely behind the main mass of the house.
- The design of the structure is open air and would have less of a visual impact than a structure with exterior walls.

4. Whether the variance would adversely affect the delivery of governmental services such as water and sewer:

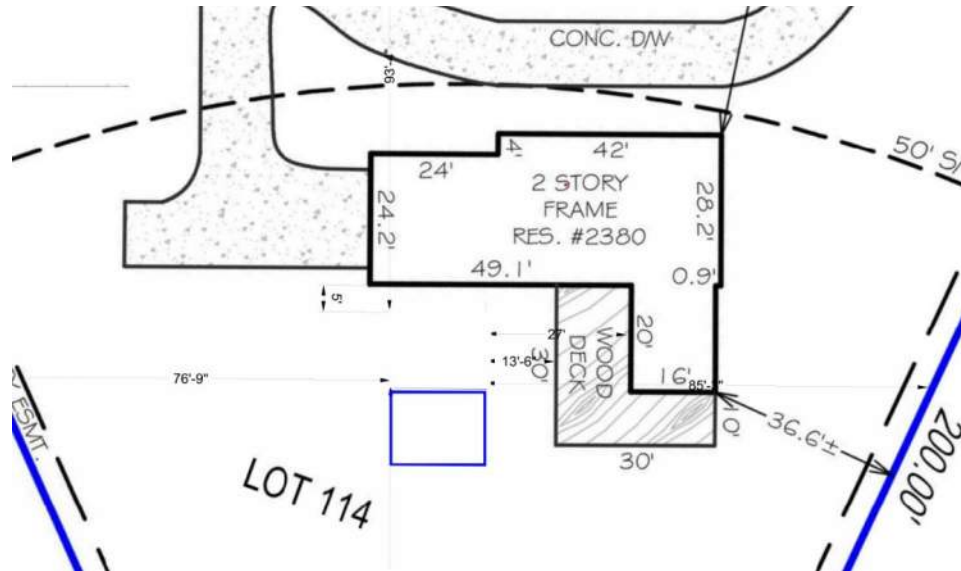
The variance would not adversely affect the delivery of governmental services.

5. Whether the applicant purchased the property with knowledge of the requirements.

The existing regulations were in effect when the owners purchased the property in 2023; however, staff notes the rear addition was constructed prior to 1999, when the Land Development Code was adopted.

6. Whether the applicant's predicament can be obviated feasibly through some method other than a variance:

Staff questions why the structure could not be placed farther to the rear of the home as depicted in the following example:



7. Whether the spirit and intent behind the requirement would be observed and substantial justice done by granting the variance.

The Board of Zoning and Building Appeals shall weigh the above factors, along with given testimony in order to make this determination.

Additional Approvals

The proposal would require the following:

- Administrative review and approval



25-285

Board of Zoning and
Building Appeals (BZBA)

Status: Active

Submitted On: 3/31/2025

Primary Location

2380 TYRE DR
Hudson, OH 44236

Owner

Christopher Steinker
2380 TYRE DR HUDSON,
OH 44236

Applicant



Marcus
Peters

330-931-
2633

@ mpetersoh@gmail.com



1405
Gillie Dr

Streetsboro, OH 44241

Applicant and Property Owner Information

Applicant Relationship to Property Owner:*

Contractor

Company Name:

Lasting Impressions Landscape and
Design

Property Owner Name*

Chris Steinker

Property Owner's E-Mail:*

xbox360gamer.chris@gmail.com

Property Owner Phone Number*

(901) 590-8776

Type of Hearing Request

Type of Request:*

Year Property Purchased*

Variance

2024

Code Required Regulation (please indicate feet, s.f. or height)* ?

Requested Variance (please indicate the amount of the variance in feet, s.f. or height)* ?

252 sq. ft.

14 ft

Resulting Set-Back (please indicate feet, s.f. or height)* ?

Not Applicable

Explanation of Request and Justification:*

Requesting a 252 sq. ft. pavilion to be built on the labeled "Side Yard". There was an addition built on to the house at some point which extended the labeled "Side Yard", however we are requesting the structure to be built behind the garage, out of site from the road and neighbors. The now labeled "Back Yard" is too far from the original seating area, very wet and in site line with neighbors and road. Tying it into the house is not an option as the roof lines will not line up correctly. We ould like this application reviewed as we feel it is the best area for this property.

Supplemental Information for Determining Practical Difficulty

The property in question will yield a reasonable return and there can be a beneficial use of the property with the variance because:*

The now labeled back yard from the addition is too far away from the house and this variance will allow outdoor living space to be connected to there existing deck and sun room. It is also out of site from the nighbors and road and is all fenced in as a back yard.

The variance is
insubstantial

Describe why the variance is substantial or insubstantial*

I feel it is insubstantial as this area is already the backyard, fenced in and is actualy behind the garage and house.

Would the essential character of the neighborhood
be substantially altered?*

no

Explain why the request is the minimum amount necessary to make reasonable use of the property or structure(s):*

Without this variance, we will be forced to build too far away from the house, which is very wet, close to setback lines, in site lines from the road and neighbors and does not flow with the space of the existing yard.

Would adjoining properties be negatively impacted?*

no

Describe how the adjacent properties will not be affected.*

The structure will not be seen from any one of the adjacent properties as it is being built "Behind" the house and garage.

Will this request adversely affect public services (mail, water, sewer, safety services, etc.)

no

The situation cannot be feasibly solved by means other than a variance. Explain:*

The now labeled "Backyard" is too far from the existing deck and will not work due to slope, water, distance and flow of traffic. We cannot tie into the house either as roof lines do not line up.

The spirit and intent behind the zoning requirement would be observed and substantial justice done by granting the variance. Explain below:

It would allow the property an opportunity to extend the outdoor living space into the actual backyard and create a practical flow from the backdoor, garage and addition. It would also allow the opportunity to build this structure behind the house and out of site of adjoining properties.

The circumstance leading to this request was not caused by current owner. It was caused by:*

one of the previous owners that built the addition, forcing the backyard away from the actual usable backyard.

List any special circumstances particular to the property/lot (i.e.: exceptional irregularity, narrowness, shallowness or steepness) these circumstances are:*

The labeled "Side Yard" next to the addition is the actual backyard. It is all behind the existing house and garage and is all fenced in.

BZBA Meeting Information

The following persons are authorized to represent this application with respect to all matters associated with the project*

Marcus Peters

By checking this box, I do hereby certify that I am authorized to represent the property owner and to accept any conditions that the Board may impose.*



By checking this box, I do hereby certify that the information to the City of Hudson in and with this application is true and accurate and consents to employees and/or agents of the City of Hudson entering upon the premises of this application for purposes of inspection and verification of information pertaining to the application, and if this application is approved, to verify conformance to requirements and conditions of such approval. I acknowledge that City reviews or approvals do not absolve the subject property from deed restrictions, easements, or homeowner association covenants, restrictions, or regulations regarding structures and uses on the property. *



Board Meeting Date

 AHBR

☐

 BZBA

☐

 Planning Commission

☐

Internal

 Company Name

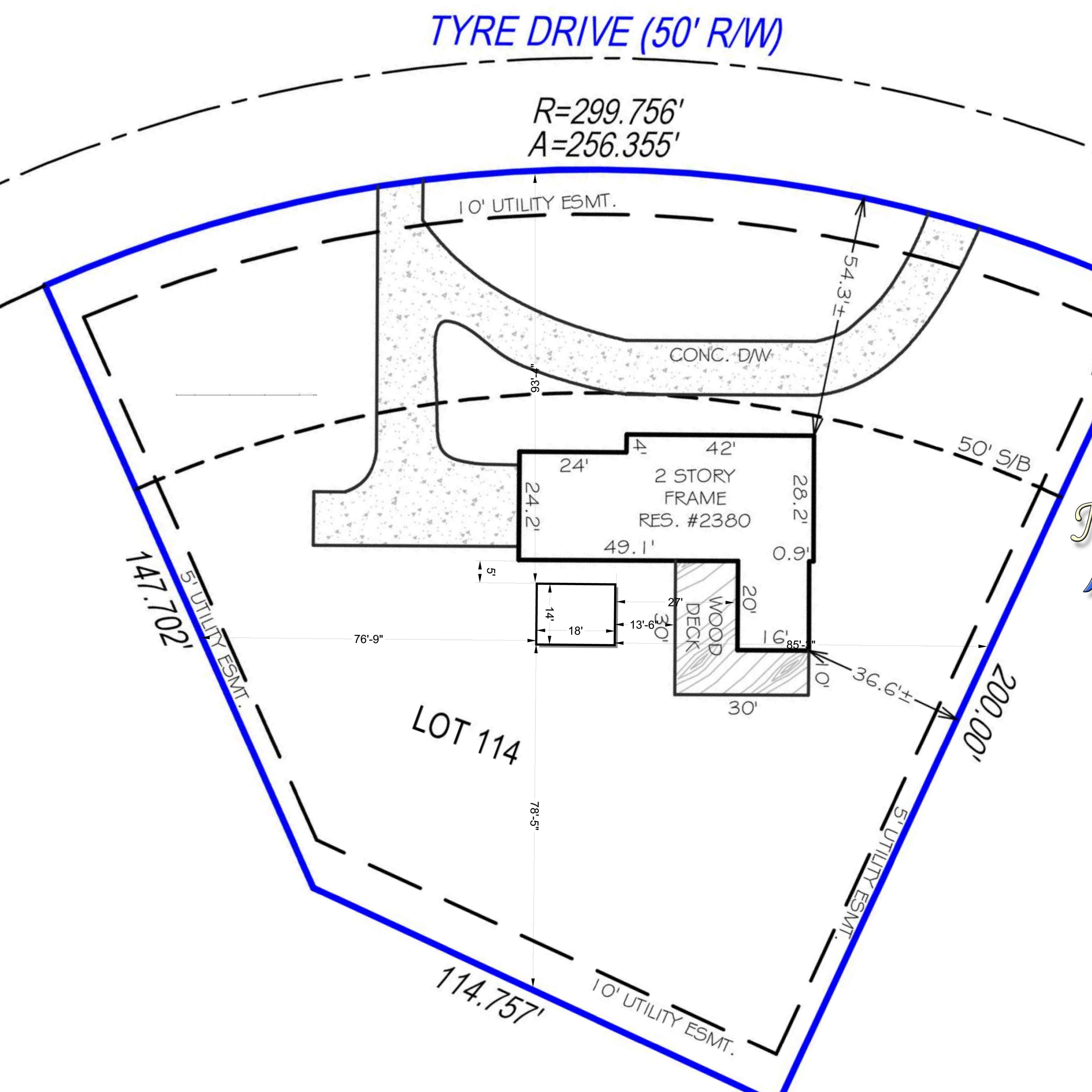
 Variances

 Meeting Date

 District

TYRE DRIVE (50' R/W)

$R=299.756'$
 $A=256.355'$



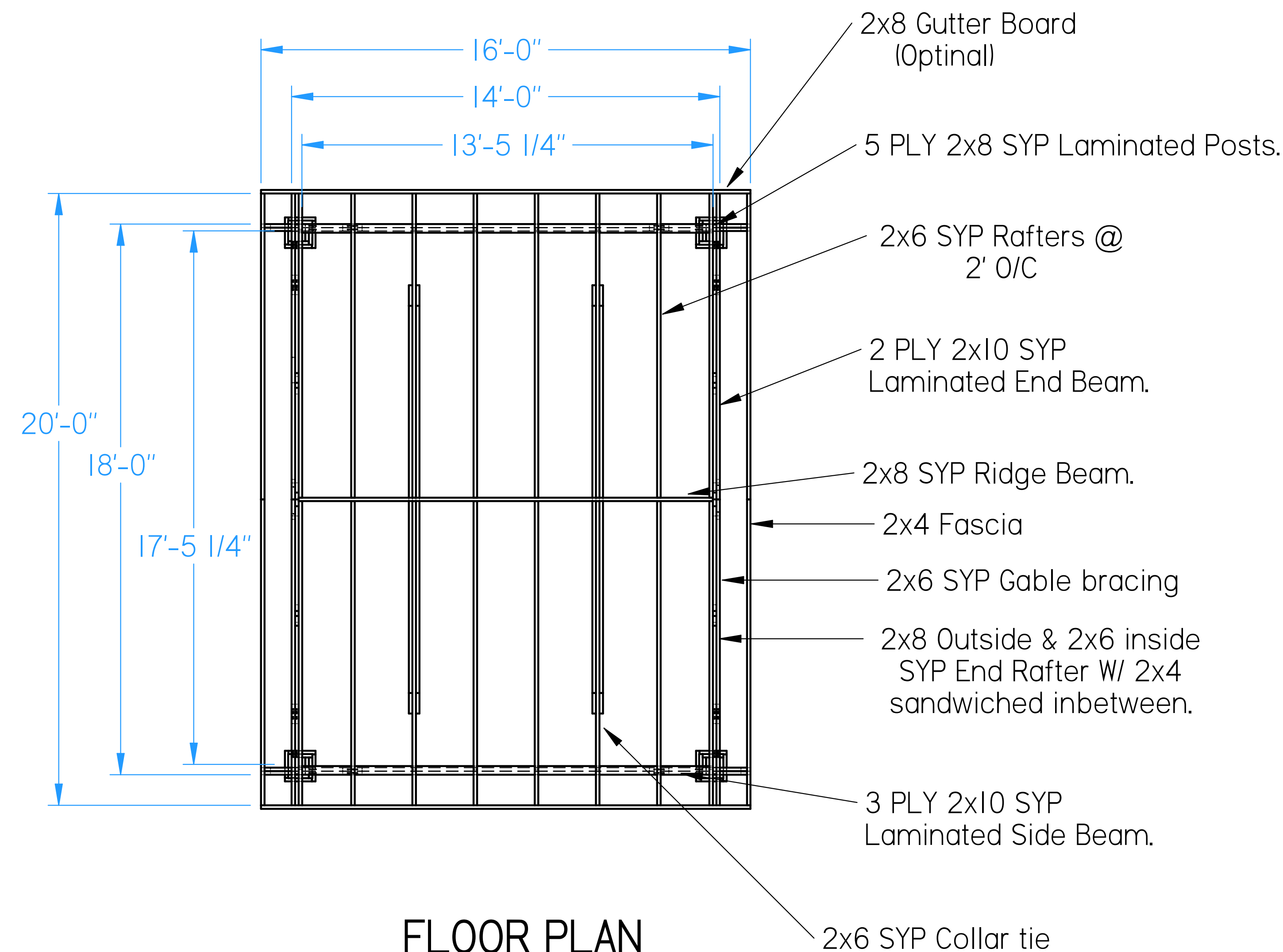
Breckenridge Pavilion
18x14 W/ Ceiling

DRAWN BY: marvin.s

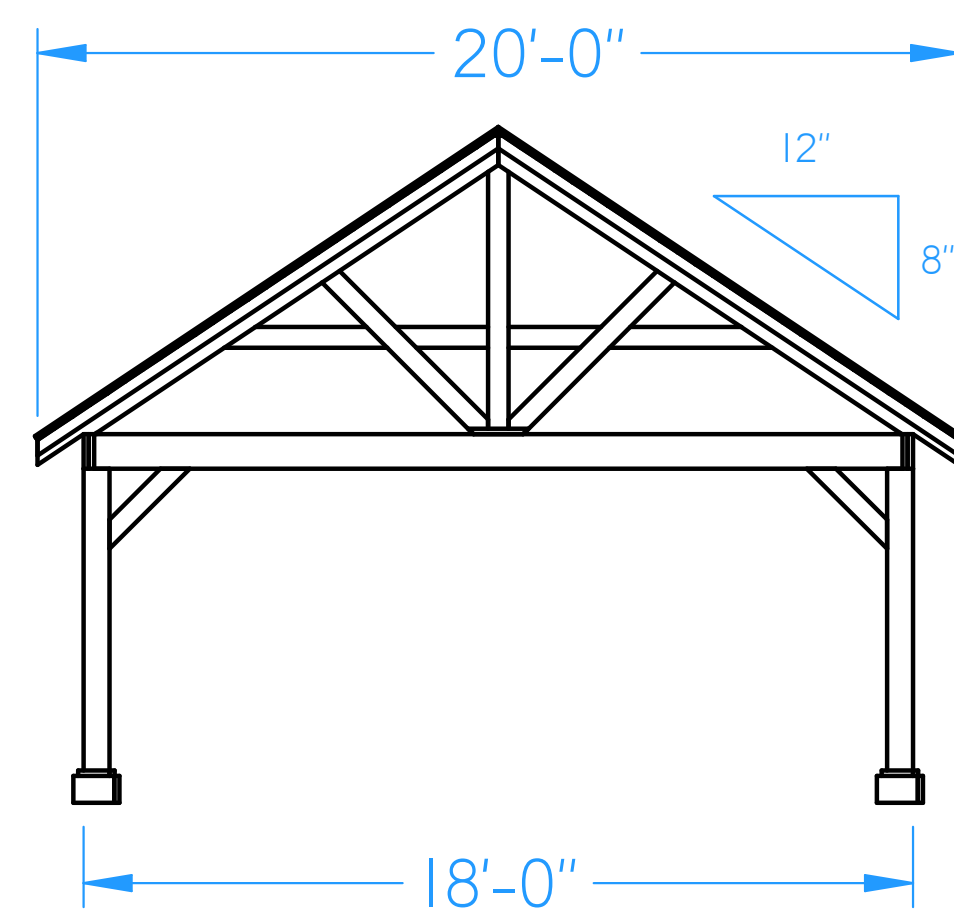
DATE: 3/20/25

PROJECT:
Breckenridge
Pavilion 18x14.dft

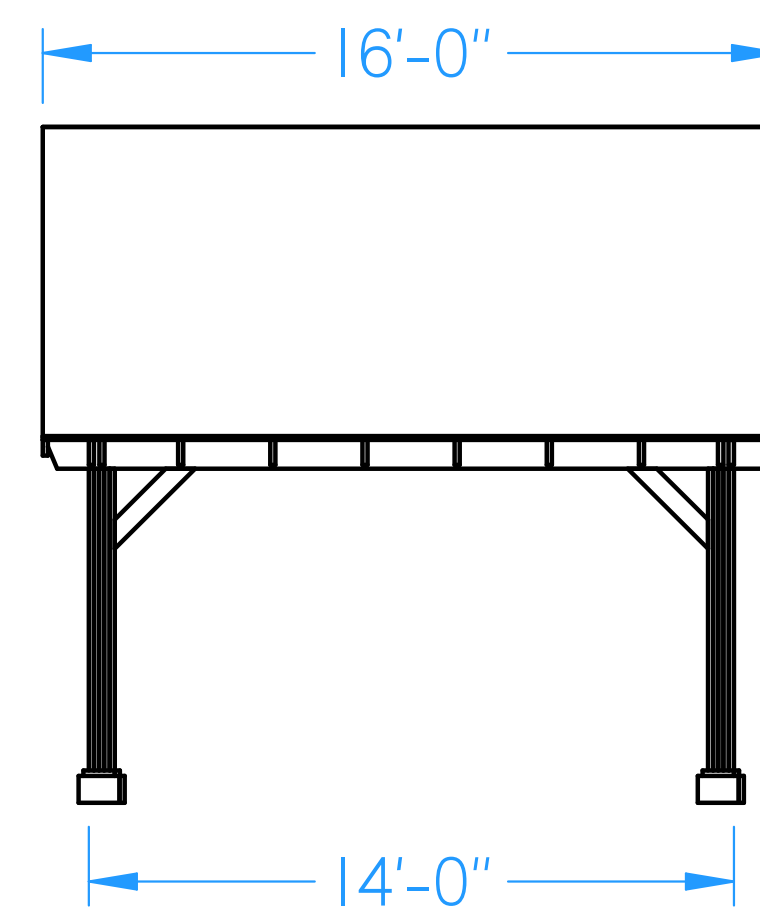




FLOOR PLAN



END ELEVATION



SIDE ELEVATION

Design Complies with Ohio Residential Code 2019 and The Ohio Building Code 2017
 Structural Design Based On ASCE 7 - 10
 Snow Load:
 Ground Snow Load = 20 Psf
 Snow Exposure Factor For Terrain Category B = 1.0
 Unbalanced Snow Load, Does Not Apply
 Roof LL = 20- psf
 Roof DL = 10 psf

Wind Load:
 Basic Wind Speed = 115 MPH
 Wind Pressure For Exposure B Per Table
 Importance Factor For Category II = 1.0

SEISMIC DESIGN

S5 = 15
 SI = 6
 Site Class = D
 Designed Using Simplified
 Lateral Force Analysis
 Procedures.
 F = 1.0
 Fa = 1.4
 Sds = 1.0
 R = 7

STRUCTURAL PLANS ONLY.
 OTHERS RESPONSABLE FOR
 MEETING ALL OTHER STATE AND
 LOCAL REQUIREMENTS AND
 REQUIRED SUBMITTAL

All materials,Treated Southern
 Yellow Pine #2 or better grade
 unless noted otherwise.

All fastners are Big Timber WTX
 or BTX Construction screws at
 length and diameter specified
 W/ Coating approved for use in
 Preservative Treated Wood
 unless noted otherwise.

**BERLIN
GARDENS**
TAKE LIFE OUTDOORS™

**VALLEY
CITY SUPPLY**

LASTING IMPRESSIONS
LANDSCAPE & DESIGN

**Breckenridge Pavilion
18x14 W/ Ceiling**

DRAWN BY: marvin.s

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PROJECT:

Breckenridge
Pavilion 18x14.dft

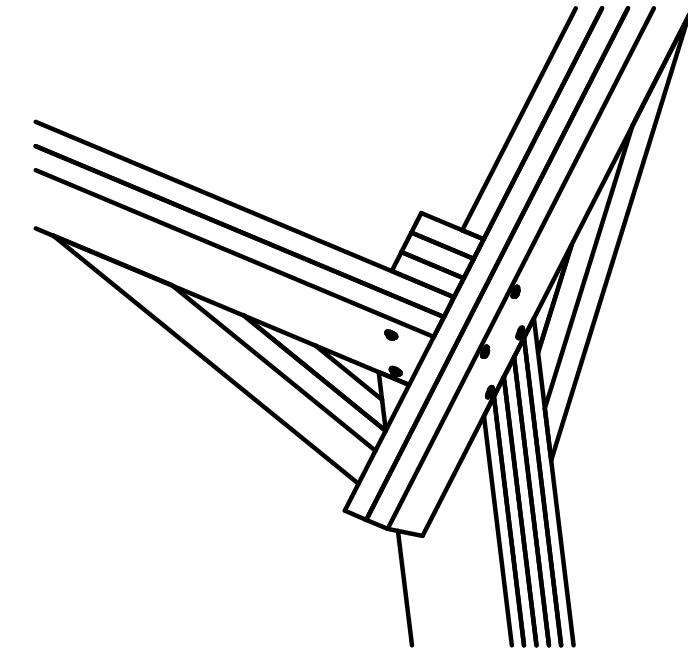
**Breckenridge Pavilion
18x14 W/ Ceiling**

DRAWN BY: marvin.s

DATE: 3/20/25

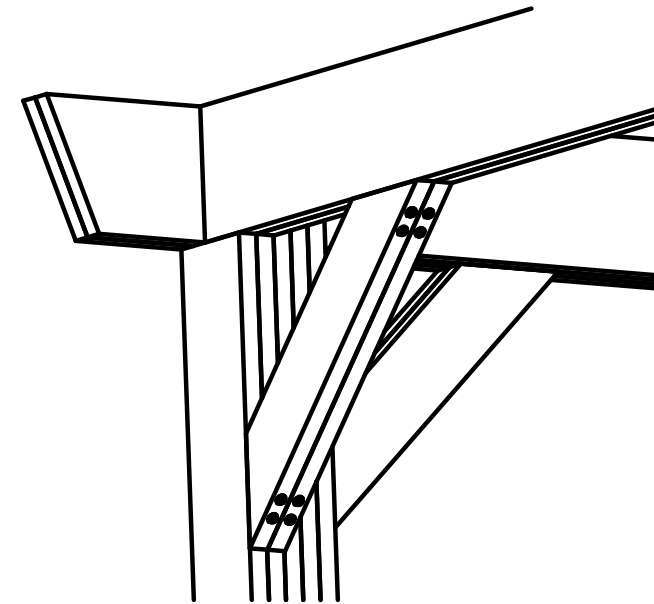
PROJECT:
Breckenridge
Pavilion 18x14.dft

Beams set on notched posts, Beams fastened to posts W/ 5/16" x 3 1/2" lags. (2) lags per front/back beam & (4) per side beam.



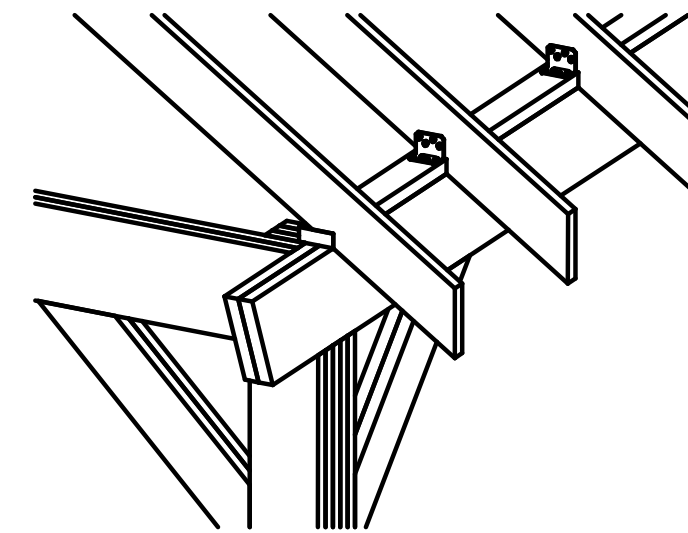
BEAM / POST CONNECTION

2 Ply 2x6 SYP Braces fastened W/ (2) 5/16 x 5" & (2) 5/16 x6" lags each end.



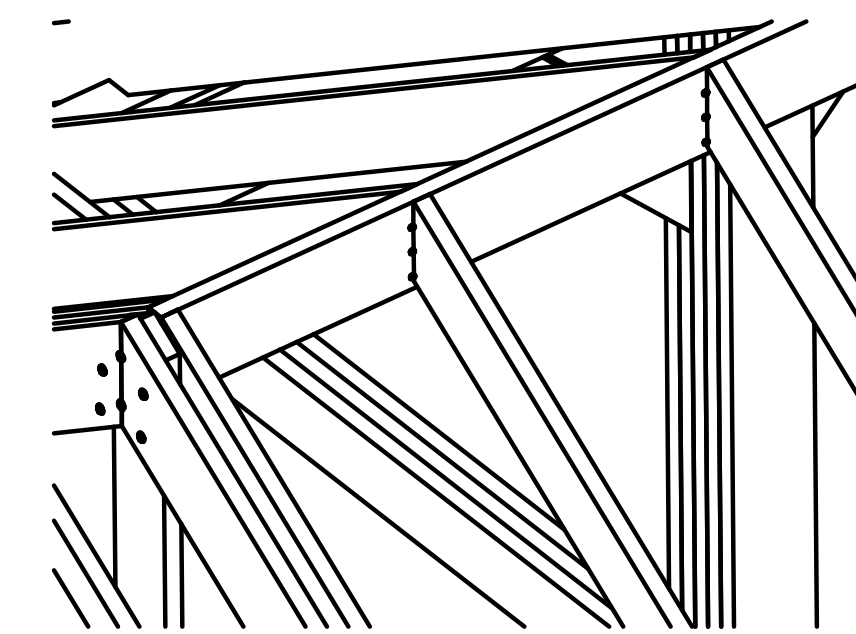
BRACE CONNECTION

2x4 Roof plate fastened to beams W/ #10x3" screws @ 24" O/C.
Rafters fasted to roof plate W (1) Simpson A23 Bracket.
Bracket fastened W/ #10x1 1.25" screws.



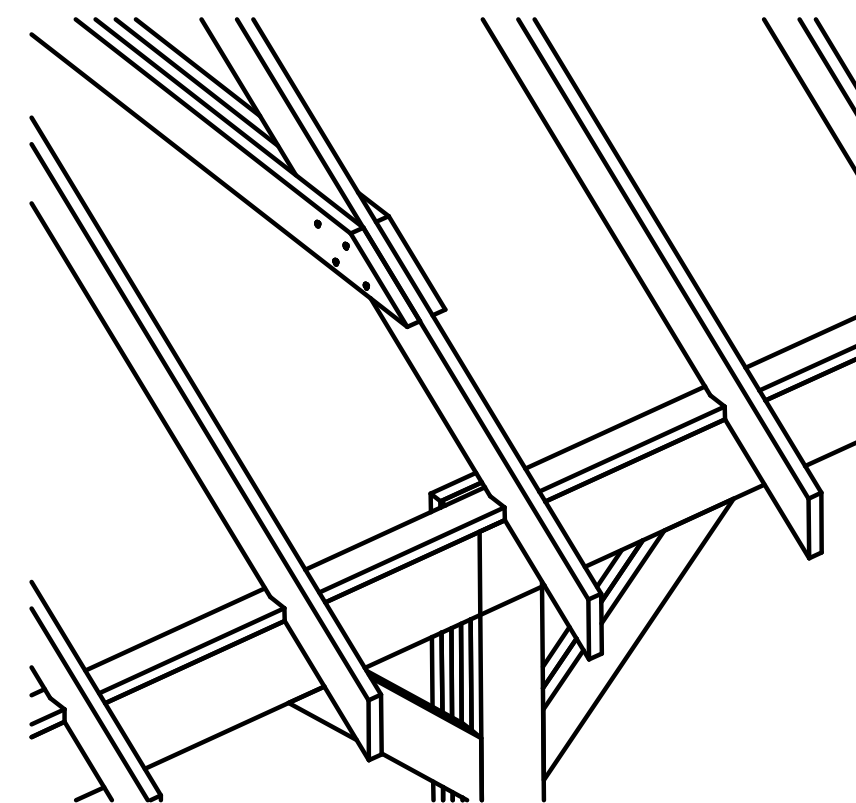
RAFTER / BEAM CONNECTION

End Rafters fastened to Ridge Beam W/ (2) 5/16 x 6" Lags.
Common Rafters fastened to Ridge Beam W/ (3) #10 x 3" Screws per rafter.



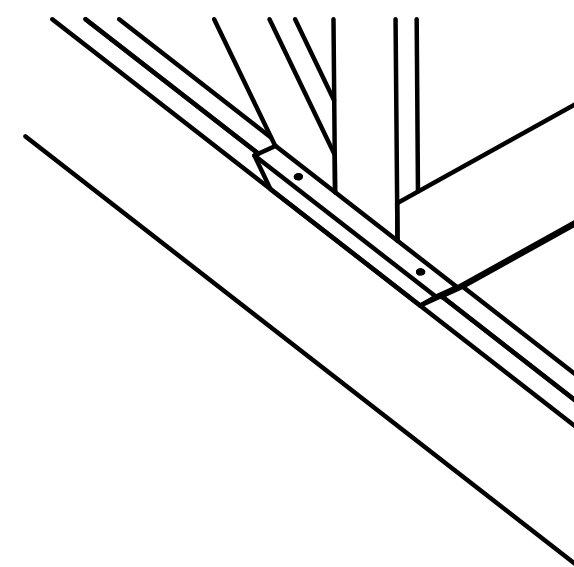
RAFTER / RIDGE BEAM CONNECTION

2x6 SYP Collar Ties fastened to Rafter W/ (4) #10 x 2 1/2" Screws each end.



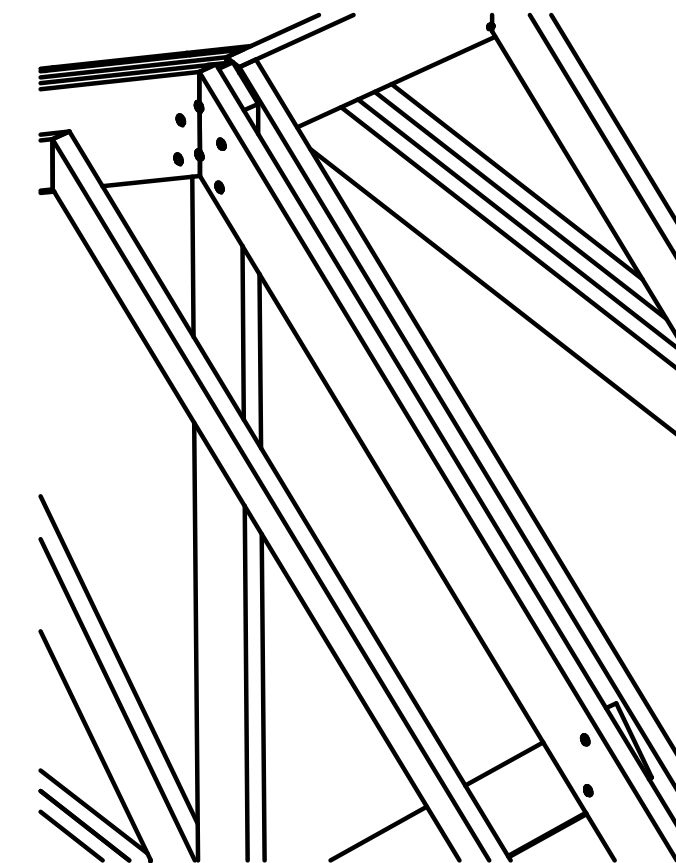
COLLAR TIE CONNECTION

2x2 SYP Block fastened to top of beam W/ (2) 5/16 x 4" Lags.
Bracing attached to block W/ (2) #10 x 2 1/2" Screws per brace.



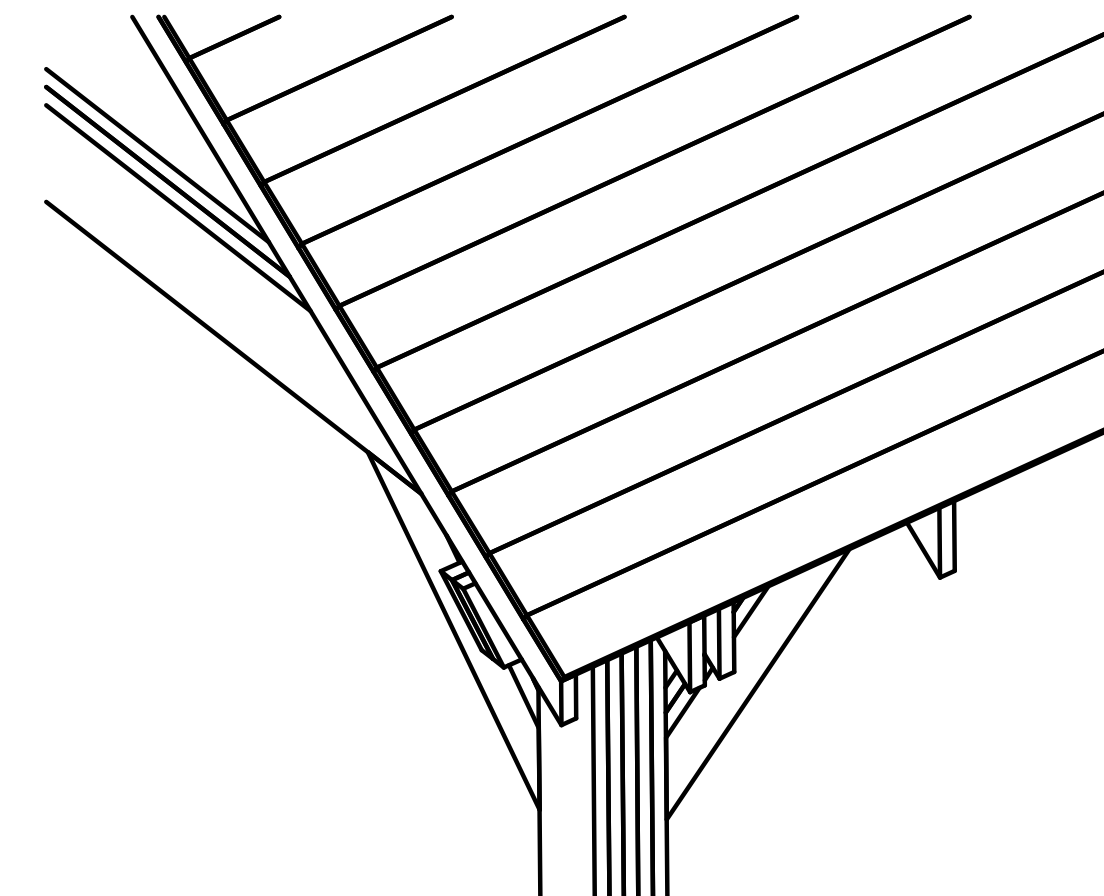
GABLE BRACING / BEAM CONNECTION

Gable bracing sandwiched between the 2x6 & 2x8 end rafter.
Fastened W/ (2) 5/16 x 3 1/2" Lags each side.



GABLE BRACING / END RAFTER CONNECTION

1x6 SYP roof sheathing. Fastened W/ (2) 2" x 18GA 1/2" Crown staples per rafter.



ROOF SHEATHING CONNECTION

GENERAL NOTES:

- FT Synthetics underlayment on top of roof sheathing.
- 30 Yr. asphalt shingles or 29 GA. painted steel roofing.
- Optional 1x6 T&G ceiling can be installed.

Breckenridge Pavilion
18x14 W/ Ceiling

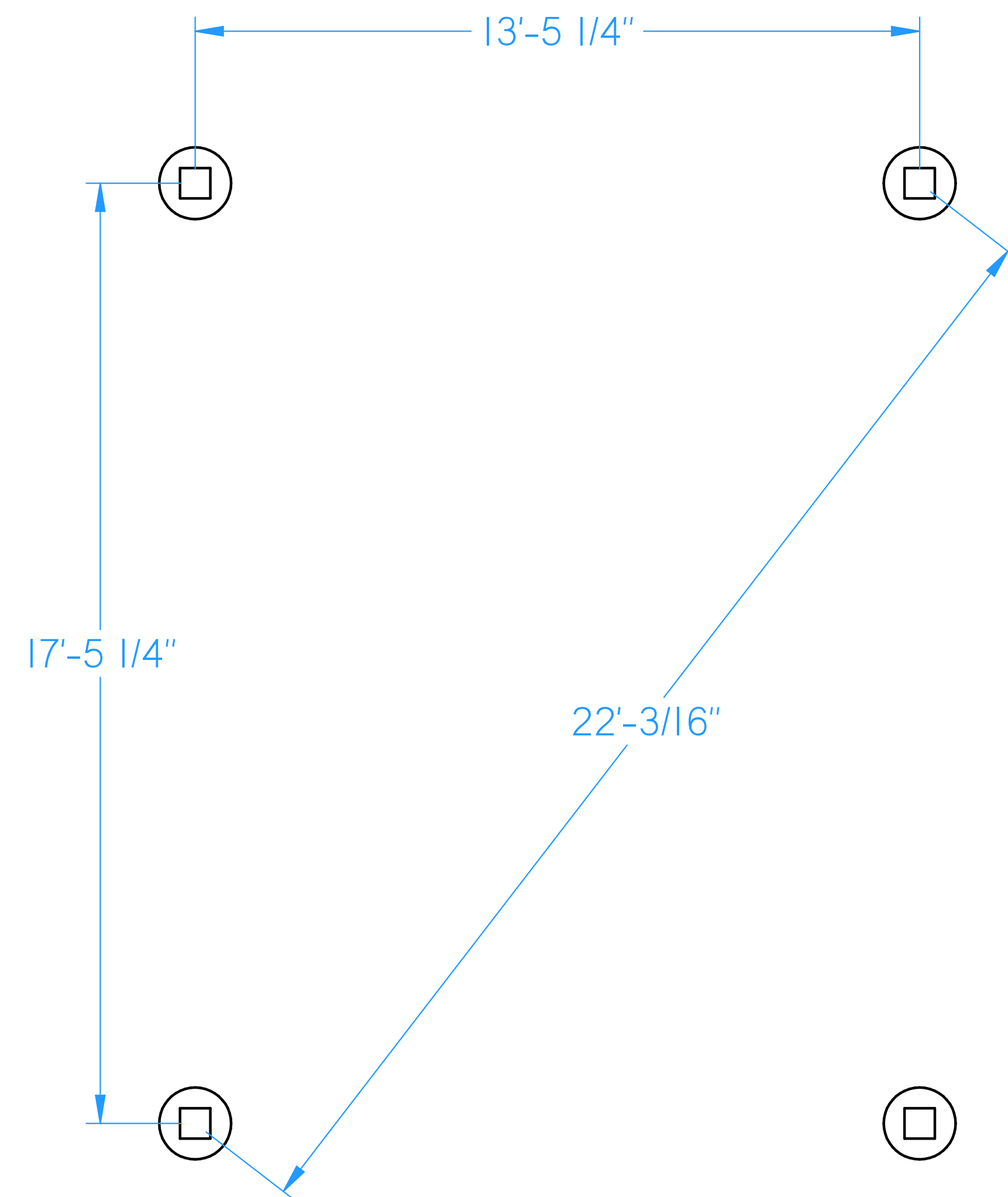
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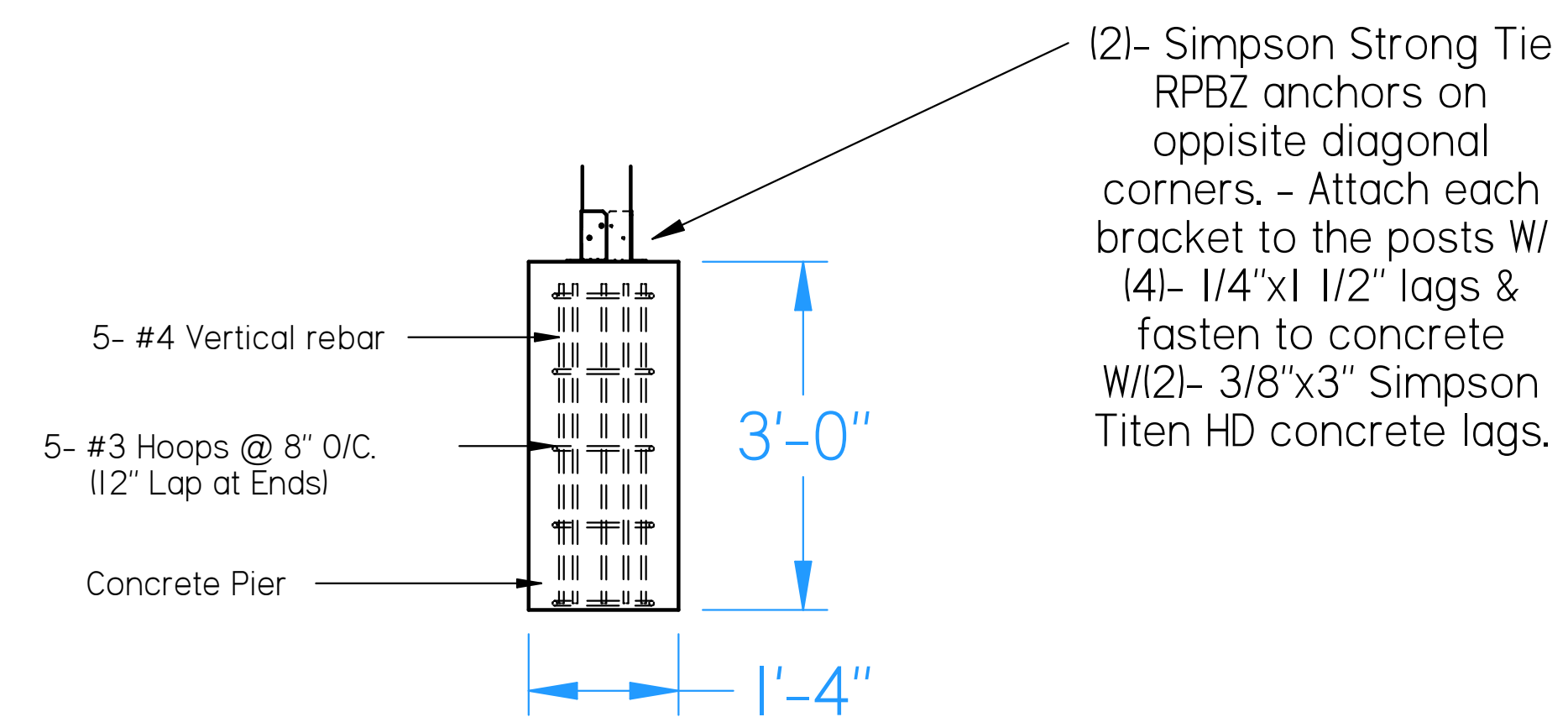
PROJECT:
Breckenridge
Pavilion 18x14.dft

FOUNDATION NOTES:

- Concrete - 4,000 psi W/
5-7% Air Entertainment



FOOTER LAYOUT



CONCRETE FOOTER DETAIL



PUBLIC NOTICE

Case # 25-225 Mtg. Date 5-15-25

Subject 323A variance
Sideyard setback

330-342-1790





 **PUBLIC NOTICE**

Case # 25-225 Mtg. Date 5/5/25
Subject 333A Avenue
600 West Street

330-342-1790

SCAN ME 















