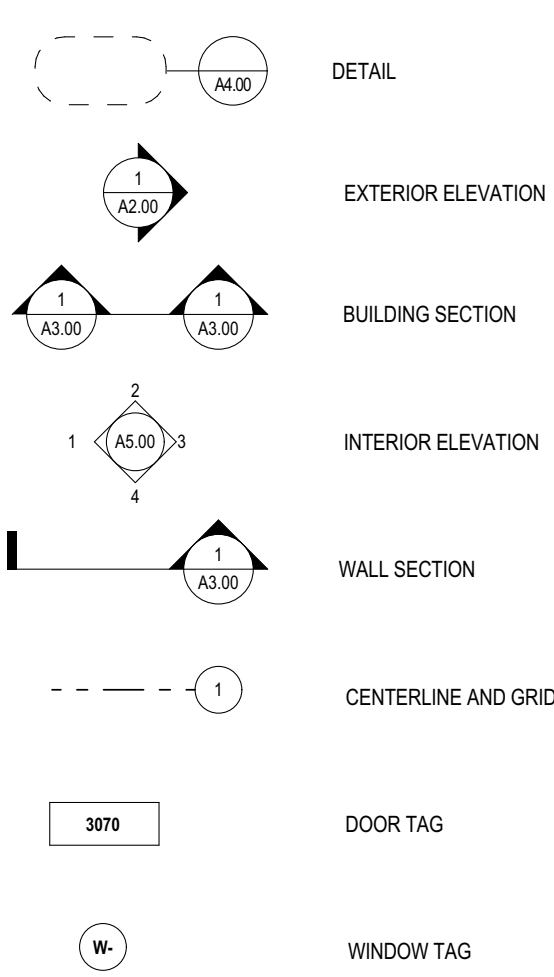




ABBREVIATIONS

| | | | |
|----------|-------------------------------|--------|-------------------------------|
| ABV | ABOVE | HC | HOLLOW CORE |
| AC | AIR CONDITIONING | HDWR | HARDWARE |
| AFF | ABOVE FINISHED FLOOR | HM | HOLLOW METAL |
| ALT | ALTERNATE | HVAC | HEATING, VENTILATION, AND AIR |
| AHJ | AUTHORITY HAVING JURISDICTION | HT | HEIGHT |
| ALUM | ALUMINUM | INSUL | INSULATION |
| APPROX. | APPROXIMATELY | JST | JOIST |
| ARCH | ARCHITECTURAL | LAM | LAMINATED |
| ASPH | ASPHALT | LF | LINEAR FOOT |
| BD | BOARD | MAS | MASONRY |
| BLDG | BUILDING | MATL | MATERIAL |
| BOTT | BOTTOM OF | MAX | MAXIMUM |
| BRG | BEARING | MECH | MECHANICAL |
| BOTT | BOTTOM | MFG. | MANUFACTURER |
| BTW | BETWEEN | MIN. | MINIMUM |
| CF | CUBIC FEET | MISC | MISCELLANEOUS |
| CIP | CAST IN PLACE | MO | MASONRY OPENING |
| CJ | CONTROL JOINT | MTD | MOUNTED |
| CLG | CEILING | MTL | METAL |
| CLR | CLEAR | NOM | NOMINAL |
| CMU | CONCRETE MASONRY UNIT | NTS | NOT TO SCALE |
| CONC | CONCRETE | O/ | OVER |
| CN | CLEAN OUT | O.C. | ON CENTER |
| CONT | CONTINUOUS | OPN | OPENING |
| DBL | DOUBLE | PREFAB | PREFABRICATED |
| DEPT | DEPARTMENT | PLYWD | PLYWOOD |
| DIA | DIAMETER | P LAM | PLASTIC LAMINATE |
| DIM | DIMENSION | PR | PAIR |
| DN | DOWN | PSI | POUNDS PER SQUARE INCH |
| DR | DOOR | REF | REFERENCE |
| DS | DOWNSPOUT | RM | ROOM |
| DTL | DETAIL | RO | ROUGH OPENING |
| DWG | DRAWING | REQ | REQUIRED |
| EA | EACH | SC | SOLID CORE |
| ELEC | ELECTRICAL | SECT | SECTION |
| EQ | EQUAL | SIM. | SIMILAR |
| EXH | EXHAUST | STRUC | STRUCTURAL |
| EXIST | EXISTING | TYP | TYPICAL |
| EXP | EXPOSED | UNO | UNLESS NOTED OTHERWISE |
| EXT | EXTERIOR | W/ | WITH |
| FD | FLOOR DRAIN | WWF | WELED WIRE FABRIC |
| FDN | FOUNDATION | | |
| FIN. | FINISHED | | |
| FLR | FLOOR | | |
| FT | FOOT | | |
| FTG | FOOTING | | |
| FUR | FURRING | | |
| GALV | GALVANIZED | | |
| GA | GAUGE | | |
| GC | GENERAL CONTRACTOR | | |
| GYP. BD. | GYPSUM BOARD | | |
| GYP | GYPSUM | | |

DRAWING SYMBOLS



PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

BRUBAKER RESIDENCE

PROJECT INFORMATION

| | |
|-----------------|---|
| CITY | HUDSON |
| COUNTY | SUMMIT COUNTY |
| PARCEL NO | 3004359 |
| ZONING | ZONE 1 - SUBURBAN RESIDENTIAL NEIGHBORHOOD |
| LOT | .6921 ACRE, 30,148 SF |
| PROJECT | FIRST FLOOR ADDITION OFF NORTH SIDE OF EXISTING RESIDENCE |
| APPLICABLE CODE | BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE ZONING: CITY OF HUDSON |

PROJECT AREA

| | |
|----------------------|----------|
| EXISTING RESIDENCE | 1,892 SF |
| FIRST FLOOR ADDITION | 746 SF |
| TOTAL | 2,638 SF |

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS
HUDSON, OHIO
P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

| | | |
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| G100 | COVER SHEET | 03/27/2025 |
| G101 | GENERAL NOTES | 03/27/2025 |
| D100 | DEMOLITION & FOUNDATION PLAN | 03/27/2025 |
| A101 | FIRST FLOOR & ROOF PLAN | 03/27/2025 |
| A102 | REFLECTED CEILING PLAN | |
| A103 | EXTERIOR ELEVATIONS | 03/27/2025 |
| A104 | EXTERIOR ELEVATIONS | |



haraarchitects.com

PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

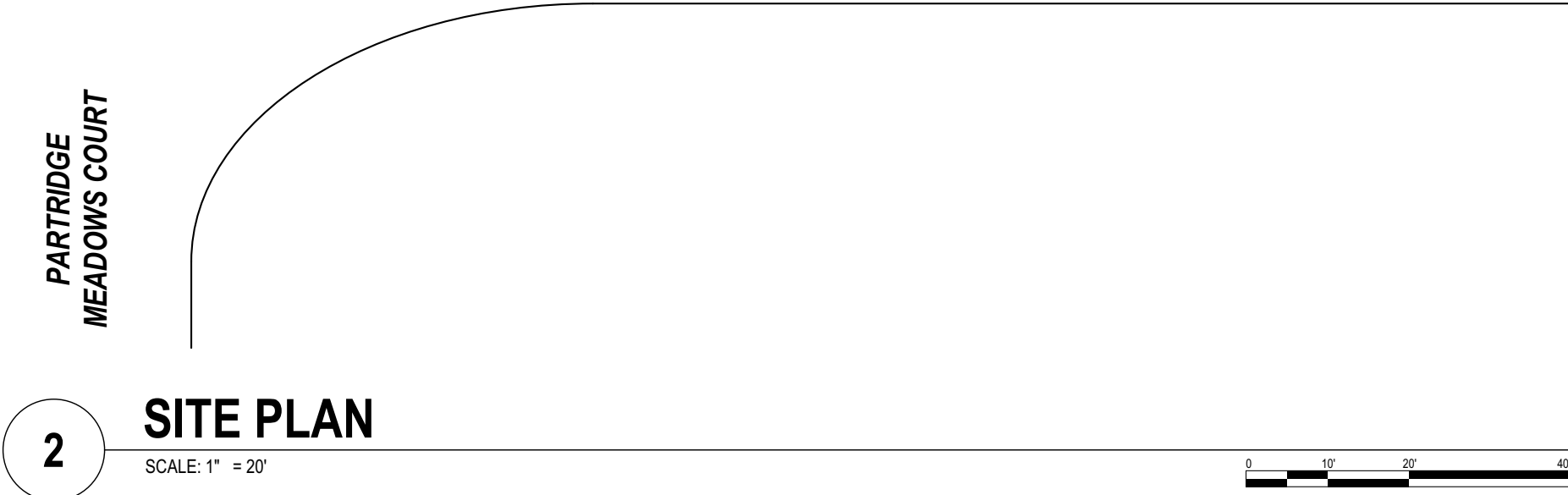
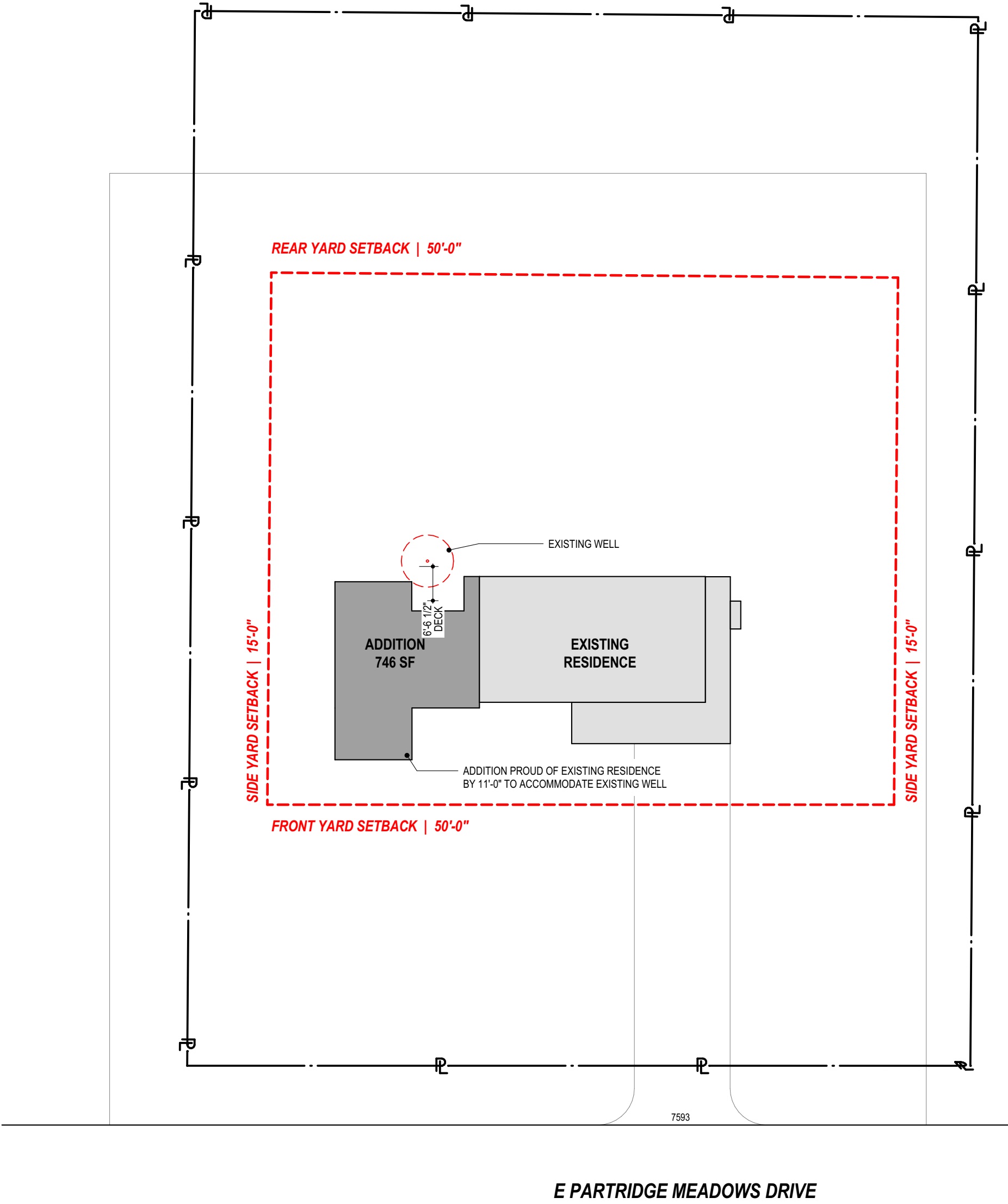
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BRUBAKER RESIDENCE

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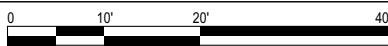
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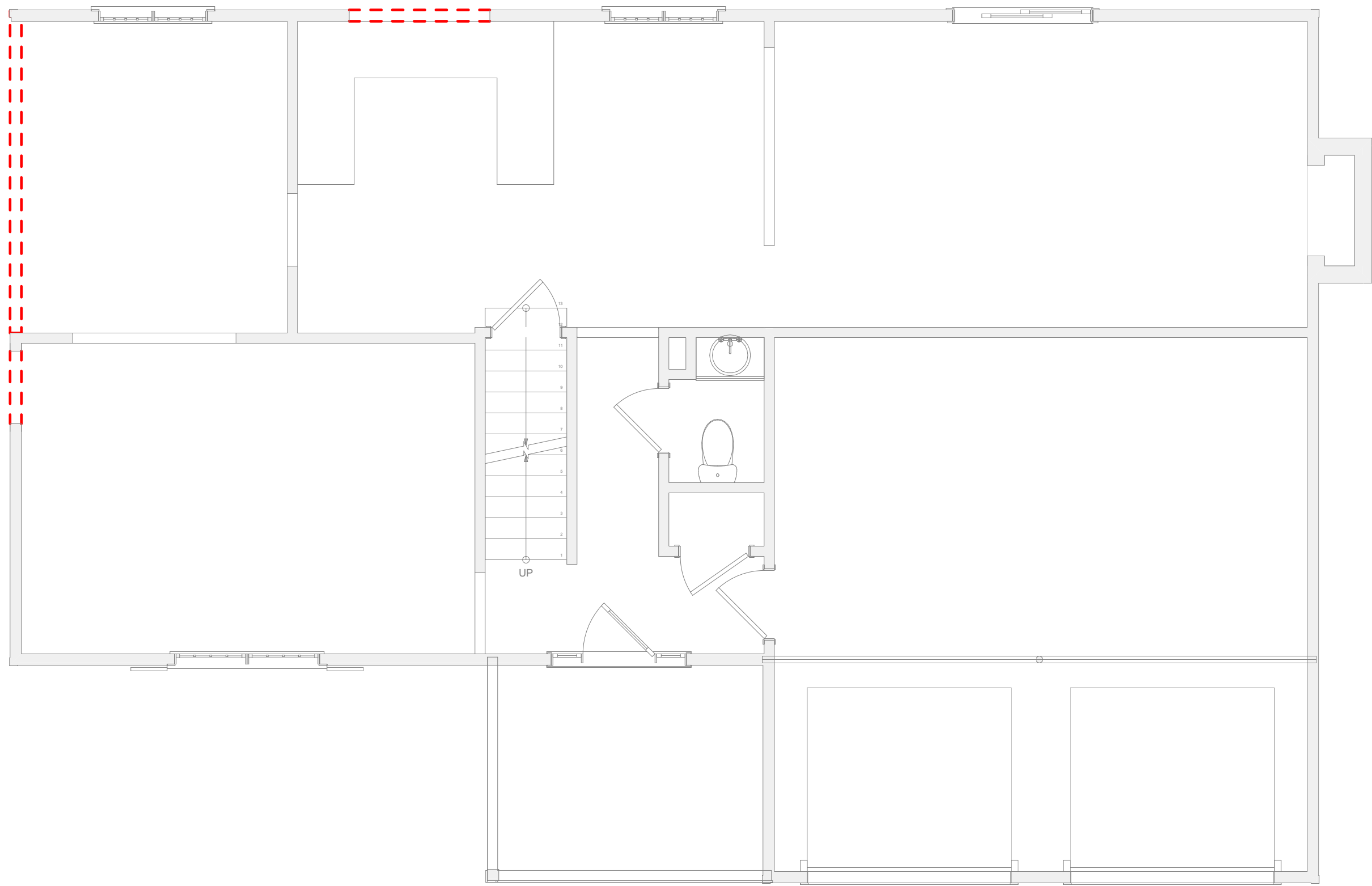
2 SITE PLAN
SCALE: 1" = 20'



COVER SHEET

G100

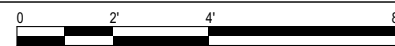
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2

FIRST FLOOR PLAN - DEMOLITION

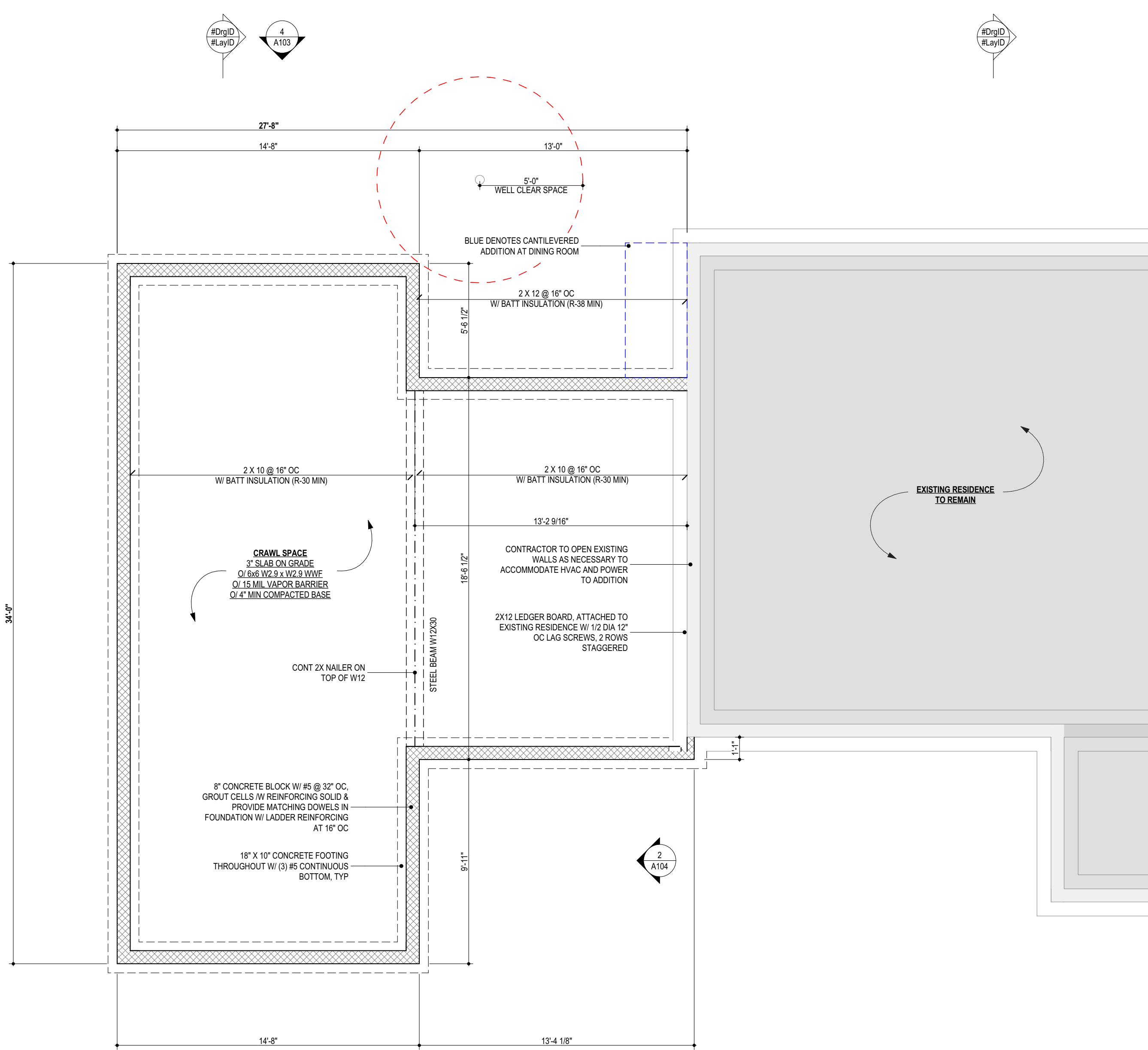
SCALE: 1/4" = 1'-0"



DEMOLITON PLAN GENERAL NOTES

- REMOVE CEILING WHERE NEW CEILINGS ARE INDICATED AND AS NOTED REMOVE ALL UNUSED ABANDONED FASTENERS, SUPPORTS, BRACKETS, HANGERS, ETC. ABOVE THE CEILING. PATCH AND REPAIR WALL SURFACES FOR NEW CEILING.
- TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE INCURRED.
- ALL DEMOLITION ACTIVITIES SHALL BE COORDINATED WITH THE OWNER TO MINIMIZE DISRUPTION OF NORMAL DAILY ACTIVITIES IN THE PROJECT AREA.
- RESUPPORT EXISTING CONDUIT, PIPING, AND EQUIPMENT REMAIN AS REQUIRED DUE TO DEMOLITION OF EXISTING CEILINGS.
- PATCH ALL EXISTING ADJACENT INTERIOR FINISHES TO REMAIN AS UNDISTURBED BY THE DEMOLITION TO MATCH ADJACENT SURFACES.
- ALL DEMOLITION ITEMS ARE TO REMAIN THE PROPERTY OF THE OWNER AT THEIR DISCRETION. ALL ITEMS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. IN ADDITION, SEE CODED NOTES BELOW FOR ITEMS TO BE REMOVED AND TURNED OVER TO OWNER.
- ALL STRUCTURAL MEMBERS ARE TO REMAIN AND BE PROTECTED UNLESS OTHERWISE NOTED.
- NOTIFY ARCHITECT PRIOR TO DEMOLITION IF ITEM INDICATED TO BE REMOVED IS SUSPECT AS STRUCTURAL ELEMENT.
- MAINTAIN BUILDING IN WEATHERTIGHT CONDITIONS AT ALL TIMES.

DEMOLITION PLAN CODED NOTES



3

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

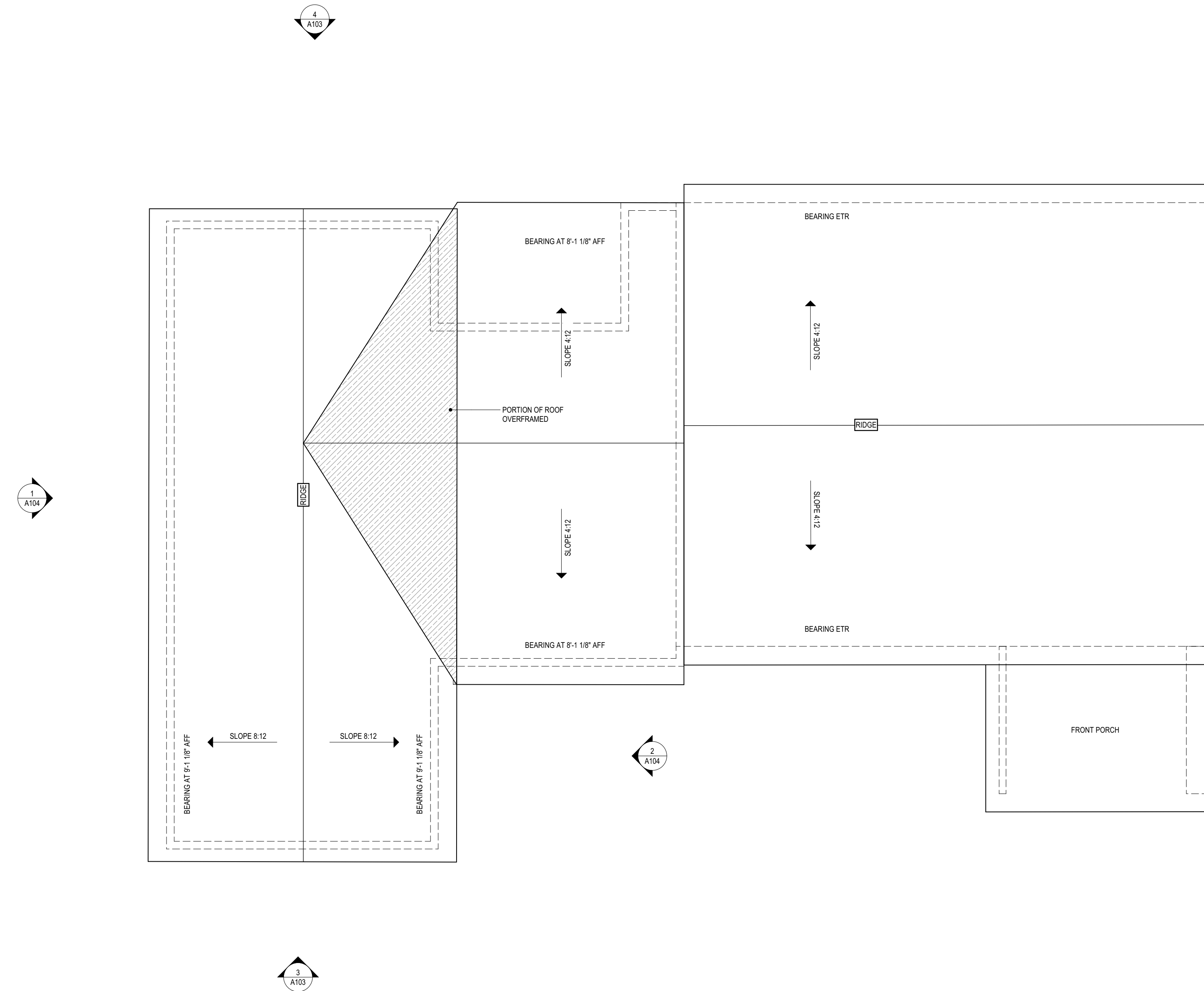


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1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



3 ROOF PLAN

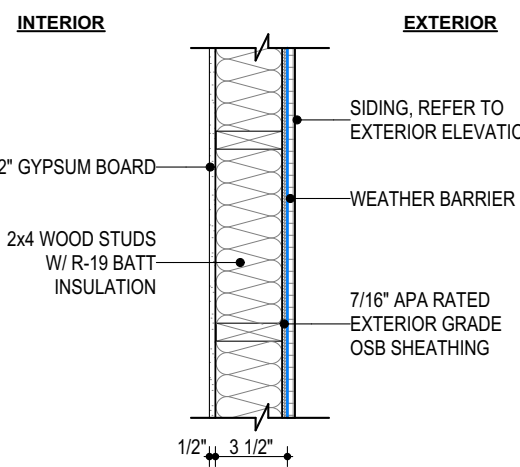
SCALE: 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

| ID | QTY | W x H | REMARKS |
|-----|-----|---------------|---------|
| W01 | 3 | 3'-0" x 5'-0" | |
| W02 | 3 | 3'-0" x 2'-0" | |
| W03 | 5 | 3'-0" x 3'-0" | |
| W04 | 2 | 3'-0" x 5'-6" | |

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE.

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION, INSTALL FULL DEPTH BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR TRUSS CRITERIA

TCL= 30 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 15 PSF
19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF
TCDL= 10 PSF
BCDL= 10 PSF
NET UPLIFT= 10 PSF
ATTIC LL= 40 PSF
ATTL < L/240

WOOD HEADERS (U.N.O.)

| OPENING | HEADERS | NON BEARING | BEARING |
|----------------|----------------|----------------|----------------|
| UP TO 4'-0" | (2) 2 X 8 | 1 JACK, 1 KING | 1 JACK, 1 KING |
| 4'-0" - 6'-0" | (2) 2 X 10 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 6'-1" - 8'-0" | (2) 2 X 12 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 8'-1" - 10'-0" | (2) 11 1/4 LVL | 2 JACK, 1 KING | 3 JACK, 1 KING |

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.

ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.

OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO INSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

FLASH AND TERMINATE ALL ROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

INDICATES DOWNSPOUT AND GUTTER LOCATION

DS

GUTTER

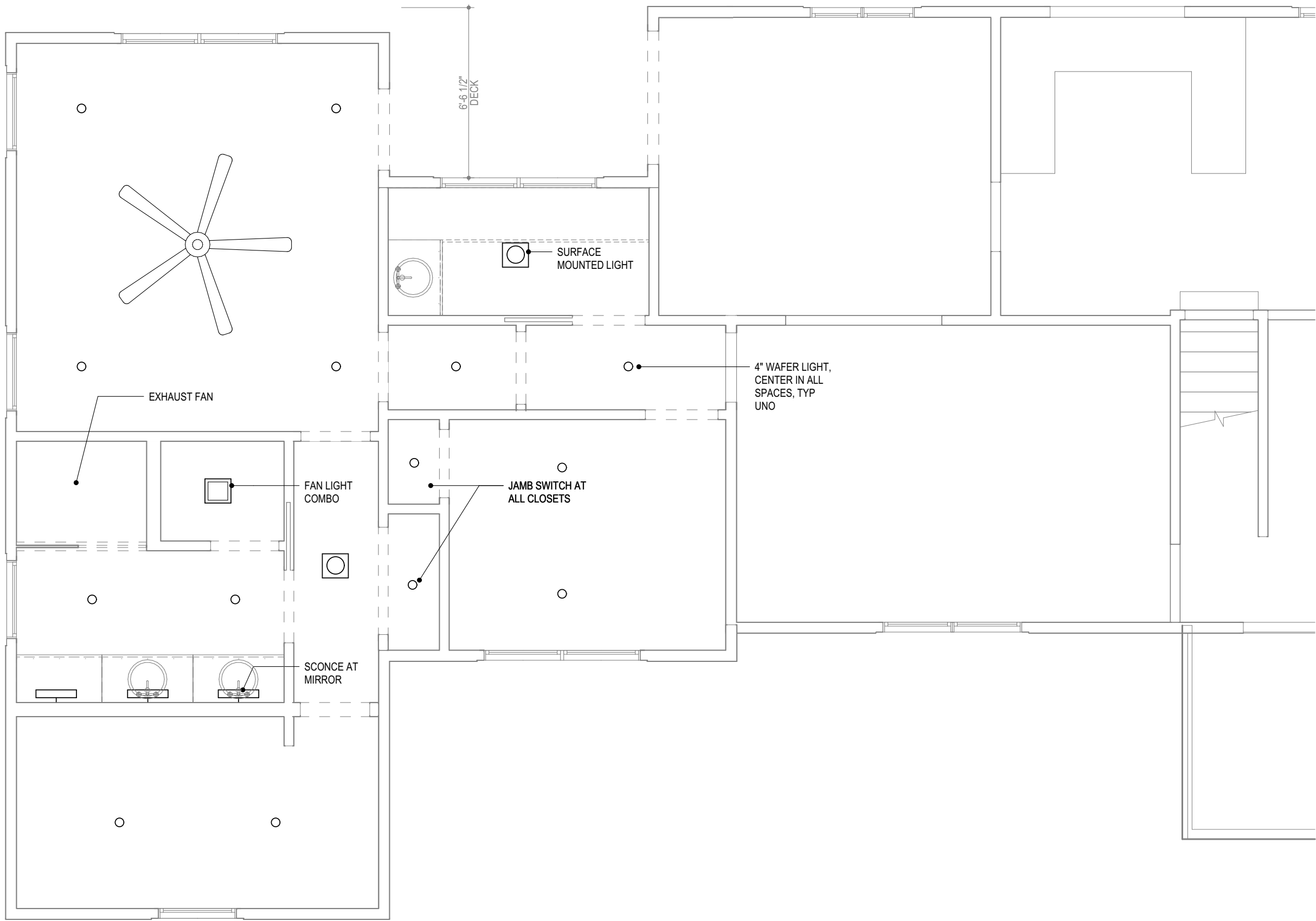
MATERIAL SCHEDULE

ASPHALT SHINGLE ROOF (R-1)

30 YEAR ARCHITECTURAL SHINGLE
OR MANUFACTURER'S RECOMMENDED UNDERLAYMENT
OR 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS.

BASIS OF DESIGN: GAF TIMBERLINE HDZ SHINGLES

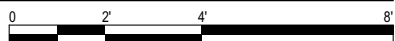
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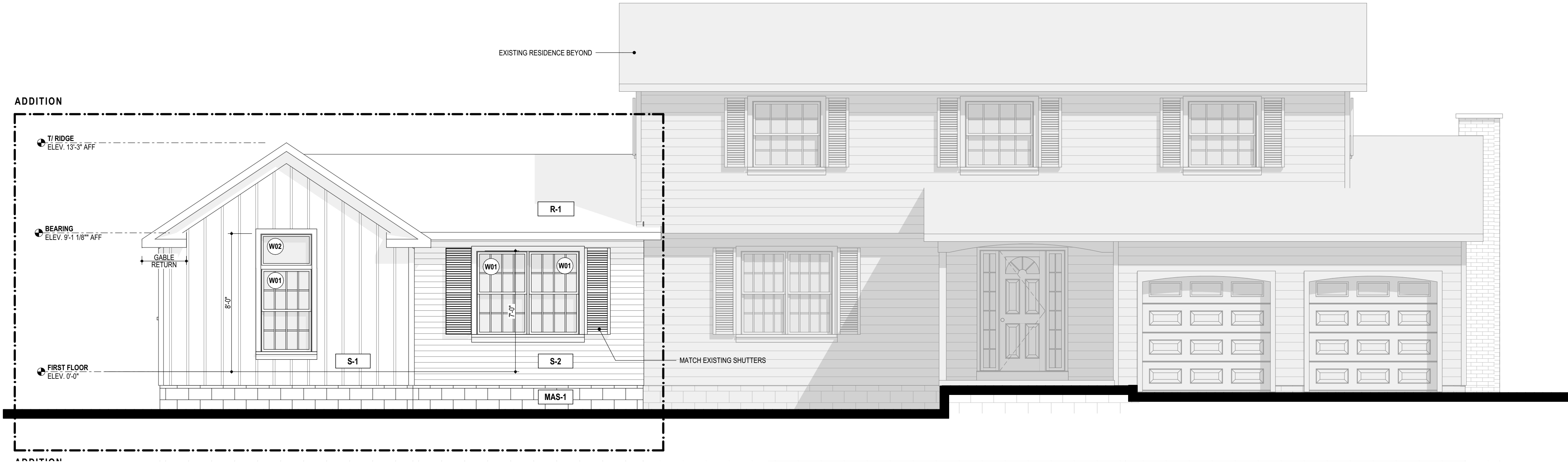


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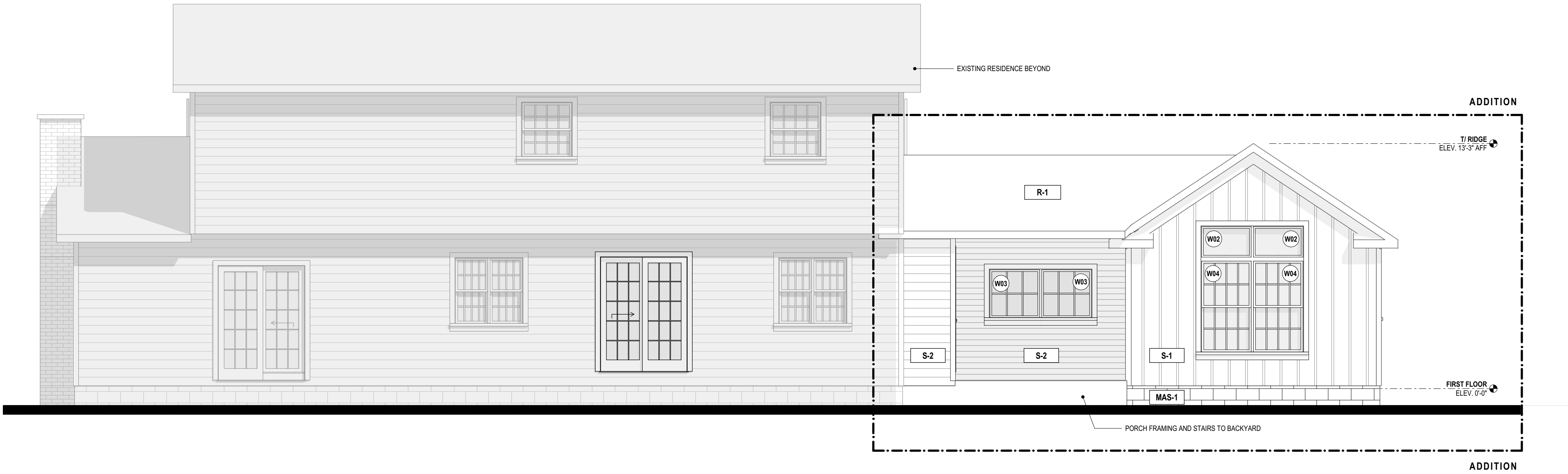
FIRST FLOOR CEILING PLAN

SCALE: 1/4" = 1'-0"





3 WEST ELEVATION (FRONT OF ADDITION)
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION (REAR OF ADDITION)
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

ROOF SOFFITS, GABLE RETURNS, AND TRIM PROFILES TO MATCH EXISTING RESIDENCE UNLESS NOTED OTHERWISE.

ROOF SOFFITS TO BE PERFORATED ALUMINUM SOFFIT OR APPROVED EQUAL.

ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

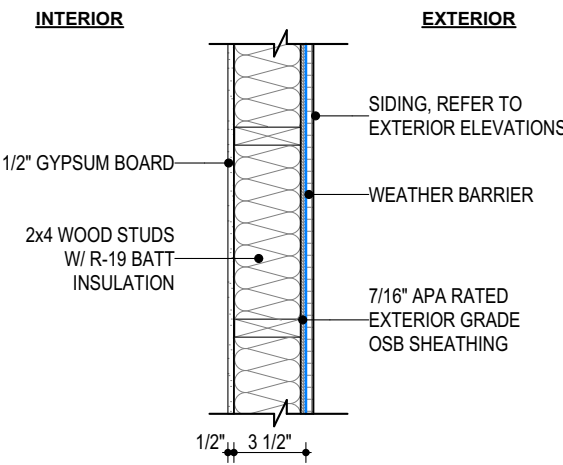
GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308)

BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310)

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



| WINDOW SCHEDULE | | | |
|-----------------|-----|---------------|---------|
| ID | QTY | W x H | REMARKS |
| W01 | 3 | 3'-0" x 5'-0" | |
| W02 | 3 | 3'-0" x 2'-0" | |
| W03 | 5 | 3'-0" x 3'-0" | |
| W04 | 2 | 3'-0" x 5'-6" | |

MATERIAL SCHEDULE

ALL MATERIAL ASSEMBLIES LISTED BELOW TO OCCUR OVER THE FOLLOWING UNLESS NOTED OTHERWISE:

O/ WEATHER BARRIER
O/ APA RATED EXTERIOR GRADE OSB SHEATHING
O/ 2x6 STUDS W/ R-19 BATT INSULATION

EXPOSED FOUNDATIONS (MAS-1)
NEW FOUNDATION WALLS TO BE MATCH EXISTING RESIDENCE WITH PAINTED CMU

VERTICAL SIDING (S-1)
VERTICAL FIBER CEMENT SIDING, BOARD AND BATTEN
JAMES HARDIE OR APPROVED ALTERNATE
COLOR: BY OWNER

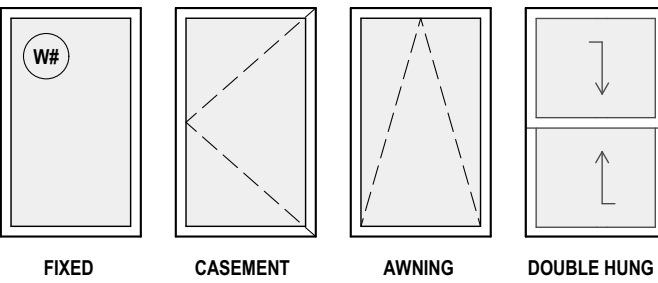
HORIZONTAL SIDING (S-2)
HORIZONTAL ALUMINUM OR FIBER CEMENT LAP SIDING
JAMES HARDIE OR APPROVED ALTERNATE
COLOR: BY OWNER

ASPHALT SHINGLE ROOF (R-1)
30 YEAR ARCHITECTURAL SHINGLE
O/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT
O/ 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE FACE OF ALL FASCIAS

WINDOWS
VINYL WINDOW, WHITE, GRIDS TO MATCH EXISTING RESIDENCE

GUTTERS & DOWNSPOUTS
ALUMINUM 7" x 5" STYLE GUTTER & DOWNSPOUT
COLOR: WHITE

WINDOW LEGEND



BASIS OF DESIGN:
WINDOW HEAD GIVEN ABOVE FIRST AND SECOND FLOOR, CONFIRM WINDOW QUANTITIES WITH ELEVATIONS.

**** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.**

haraarchitects.com

PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

MEP
L - EMENT

BRUBAKER RESIDENCE

7593 PARTRIDGE DRIVE, HUDSON, OHIO 44236

PROJECT #: 2506

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EXTERIOR ELEVATIONS









