

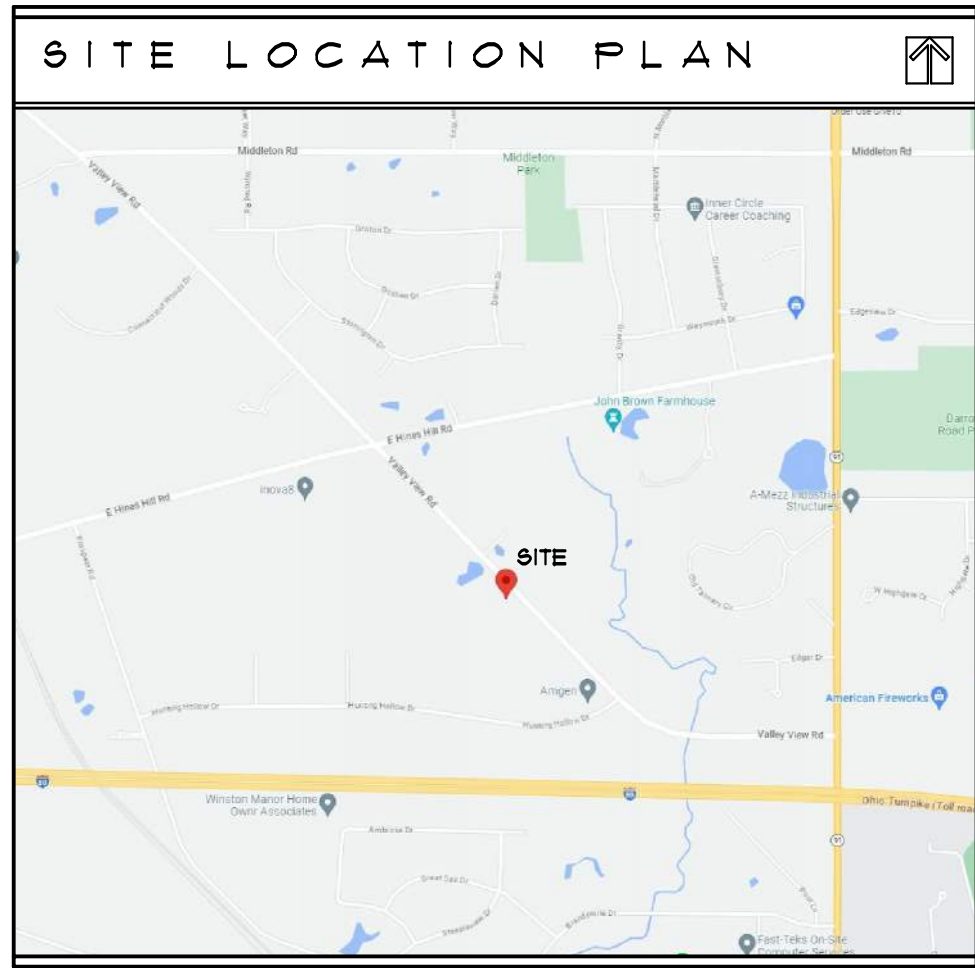
ADDITION & RENOVATION FOR:
K I N G R E S I D E N C E

7238 VALLEY VIEW ROAD • HUDSON OHIO 44236

ARCHITECT:
DAVID FELLIGRA & ARCHITECTS, INC.
TEL * 330-920-1888
EMAIL: dpelligra@dparchitectsinc.com
CONTACT: DAVID FELLIGRA

DESIGNER:
LAURA YEAGER SMITH HOME & DESIGN
TEL * 330-605-1949
EMAIL: laura@laurayeagersmith.com
CONTACT: LAURA YEAGER SMITH

CONTRACTOR:
J RUSSELL CONSTRUCTION, INC.
TEL * 330-633-6462
EMAIL: JIM.RUSSELLCONSTRUCTION@GMAIL.COM
CONTACT: JIM WILSON



DRAWING INDEX		
DRAWING NUMBER	SHEET NUMBER	DRAWING DESCRIPTION
1	CVR	COVER SHEET
2	D-1	PROPOSED SITE PLAN
3	D-2	BASEMENT DEMOLITION PLAN
4	D-3	FIRST FLOOR DEMOLITION PLAN
5	D-4	SECOND FLOOR DEMOLITION PLAN
6	D-5	ROOF/ ATTIC DEMOLITION PLAN
7	A-1	BASEMENT FLOOR PLAN
8	A-2	FIRST FLOOR PLAN
9	A-3	SECOND FLOOR PLAN
10	A-4	ROOF/ ATTIC PLAN
11	A-5	EXTERIOR ELEVATIONS
12	A-6	EXTERIOR ELEVATIONS
13	A-7	EXTERIOR ELEVATIONS
14	A-8	BUILDING SECTIONS
15	A-9	BUILDING SECTIONS
16	A-10	SECTIONS AND DETAILS
17	M-1	CONCEPTUAL MECHANICAL PLANS

GENERAL NOTES:

1. TO BE CONSTRUCTED UNDER SUMMIT COUNTY BUILDING INSPECTION. MATERIALS AND CONSTRUCTION OF THIS PROJECT SHALL MEET LOCAL CODES, RESIDENTIAL CODE OF OHIO, OHIO MECHANICAL CODE, OHIO PLUMBING CODE AND NATIONAL ELECTRICAL CODE.
2. PERMITS SHALL BE OBTAINED FOR ALL CONSTRUCTION WORK PRIOR TO CONSTRUCTION FROM GOVERNING DEPARTMENTS AFTER DRAWING 'APPROVALS', ARE RECEIVED BY THE OWNER OR CONTRACTOR.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE REQUIRED TYPE AND NUMBER OF INSPECTIONS AND SHALL NOTIFY OFFICIALS WELL IN ADVANCE OF ALL SUCH INSPECTIONS.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES AND FOR ALL SAFETY PRECAUTIONS USED ON THE SITE.
5. THESE PLANS ARE FOR GENERAL INFORMATION ONLY. ALL CONTRACTORS SHALL FIELD CHECK, VERIFY AND APPROVE ALL DIMENSIONS, LOCATIONS AND CONDITIONS, ETC. IN THEIR SCOPE OF WORK.
6. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS AS SHOWN ON PLANS.
7. ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOT SPECIFIED, BUT WHICH IS NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER.
8. ALL CONTRACTORS SHALL FOLLOW THE MATERIAL OR EQUIPMENTS RECOMMENDED SPECIFICATIONS, UNLESS NOTED OTHERWISE. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER.
9. ALL CONCRETE SLABS THAT ARE CUT OR REMOVED SHALL BE PROPERLY PATCHED TO MATCH THE EXISTING FINISH FLOOR. ALL WALLS ETC. THAT ARE TO BE REMOVED SHALL BE PROPERLY BRACED SUPPORTING ANY OVERHEAD ASSEMBLY PRIOR TO THE REMOVAL. EXISTING WIRING, HVAC, AND PLUMBING SHALL BE REMOVED OR REROUTED AS NECESSARY.
10. ALL EXISTING ASBESTOS MATERIAL FOUND ON THE JOB SITE SHOULD BE REMOVED AND DISCARDED PER ENVIRONMENTAL PROTECTION AGENCY GUIDELINES BY A LICENSED AND INSURED HAZARDOUS WASTE CONTRACTOR.
11. THE OWNER SHALL FURNISH AND THE CONTRACTOR SHALL INSTALL THE REQUIRED PORTABLE FIRE EXTINGUISHERS AS DIRECTED BY THE LOCAL FIRE DEPARTMENT OFFICIALS. CONTRACTOR SHALL FURNISH PORTABLE FIRE EXT. ON EACH FLOOR LEVEL DURING CONSTRUCTION.
12. THE OWNER'S REPRESENTATIVE SHALL REVIEW AND APPROVE ALL FINISH MATERIALS INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL ETC. PRIOR TO PURCHASE AND INSTALLATION.
13. THE CONTRACTOR SHALL PROVIDE PROOF OF HIS LIABILITY INSURANCE TO THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.
14. THE OWNER SHALL PROVIDE PROPERTY INSURANCE AND ALL RISK INSURANCE COVERING THE ENTIRE PROJECT SCOPE.

DEMOLITION NOTES:

1. ALL DEMOLITION AND MATERIAL REMOVAL OPERATIONS SHALL BE CAREFULLY AND SAFELY CARRIED OUT TO ACCOMMODATE FUTURE NEW CONSTRUCTION. THE DEMOLITION CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR SAFE PROCEDURES, PRACTICES AND OPERATION. CONTRACTOR SHALL PROVIDE AND LOCATE ALL BARRICADES, WARNING LIGHTS, DANGER SIGNS, OVERHEAD PROTECTION, AND ALL OTHER RELATED SAFETY PRECAUTIONS, TO PROTECT ALL PERSONS AND PROPERTY EITHER DIRECTLY RELATED OR INCIDENTAL TO THE PROJECT, FROM INJURY OR DAMAGE FROM ANY CAUSE.
2. PROTECT ALL STRUCTURAL COMPONENTS AND IN-USE BUILDING SERVICE FROM DAMAGE. PROTECT EXISTING MATERIALS THAT ARE NOT TO BE DEMOLISHED. DO NOT DAMAGE EXISTING MATERIALS DESIGNATED TO BE REUSED. MAKE REQUIRED REPAIRS TO EQUIPMENT FOR PROPER OPERATION.
3. IF EXISTING STRUCTURE APPEARS TO BE IN DANGER OR HAZARDOUS MATERIALS ARE DISCOVERED, CEASE OPERATIONS IMMEDIATELY AND NOTIFY THE CONTRACTOR FOR DIRECTION.
4. PROVIDE WEATHERTIGHT TEMPORARY CONSTRUCTION FOR AREAS OF REMOVED ENTRY DOORS, REMOVED GLAZING AND OTHER AREAS REQUIRED CONSTRUCTION UNDER THE CONTRACT.
5. ALL WALLS, PARTITIONS, FRAMES AND OTHER MATERIALS SHOWN TO BE REMOVED SHALL HAVE NEATLY REMOVED CUT EDGES WHERE THEY WILL BE VISIBLE AFTER NEW CONSTRUCTION IS COMPLETED.
6. ALL DEMOLISHED ITEMS SHALL BE THE PROPERTY OF THE OWNER. ANY ITEMS NOT CLAIMED AND STORED BY THE OWNER SHALL BE DISCARDED BY THE CONTRACTOR.
7. CONTRACTOR SHALL PROVIDE SAFETY AND DUST PROOF BARRIERS FROM ALL PUBLIC OCCUPIED AREAS DURING THE ENTIRE CONSTRUCTION PERIOD.
8. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEBRIS DAILY.
9. ALL CONCRETE SLABS THAT ARE CUT OR REMOVED SHALL BE PROPERLY PATCHED TO MATCH EXISTING FINISH FLOOR.
10. ALL DEAD AND ABANDONED MECHANICAL, ELECTRICAL LINES SHALL BE DISCONNECTED AND REMOVED.
11. ALL ABANDONED PLUMBING LINES SHALL BE CAPPED OVER WITH CONCRETE AT FINISH FLOOR.
12. LOCATE ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO DEMOLITION. CAPPED UTILITIES SHALL BE ACCURATELY RECORDED.
13. EGRESS WIDTHS AND ACCESS SHALL NOT BE OBSTRUCTED.
14. DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT NOTICE.
15. DO NOT BURN OR BURY MATERIALS ON SITE.

SITE WORK:

1. EARTHWORK AND EXCAVATION
A. ALL CURING, GRUBBING AND SCALPING SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS REGARDING EROSION AND SEDIMENTATION CONTROL.
B. ALL SURFACE OBJECTS, ROOTS, DEBRIS AND ALL TREES, STUMPS, GRASS, WEEDS SHALL BE CLEARED FROM THE AREA TO BE GRADED OR FILLED. SUCH ITEMS SHALL BE REMOVED MATERIAL.
C. ALL TOPSOIL AND ORGANIC SURFICIAL SOILS SHALL BE STRIPPED WITHIN THE LIMITS OF EARTHWORK. TOPSOIL THAT IS SUITABLE FOR USE IN THE FINAL WORK SHALL BE STOCKPILED ON THE SITE AS DIRECTED BY OWNER. ALL OTHER SOILS SHALL BE REMOVED FROM THE SITE.
D. PROTECT EXISTING TREES, VEGETATION AND OTHER EXISTING IMPROVEMENTS TO REMAIN IN PLACE. DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR AS DIRECTED.
E. EXISTING ASPHALT AND CONCRETE PAVEMENT AREAS WITHIN THE LIMITS OF THE NEW CONSTRUCTION SHALL BE COMPLETELY REMOVED AND DISPOSED OF OFF-SITE. EXISTING CLEAN BASE COURSE MAY BE STOCKPILED FOR REUSE IF DESIRED.
F. ALL GENERAL SITE GRADING SHALL BE COMPLETED BEFORE WORK IS STARTED ON THE BUILDING FOUNDATIONS.
G. PRIOR TO EXCAVATION, LOCATE AND MARK THE EXISTING UNDERGROUND UTILITIES IN THE AREA OF CONSTRUCTION. PROVIDE ADEQUATE MEANS OF PROTECTION DURING EARTHWORK FOR EXISTING UTILITIES TO REMAIN. REPAIR ANY DAMAGED UTILITY OR SITE IMPROVEMENT THAT MAY OCCUR. IF UTILITIES ARE ADJUSTED IN THE FIELD COORDINATE CHANGES WITH ALL OTHER PARTIES.
H. PREVENT SURFACE WATER FROM FLOWING INTO EXCAVATIONS OR ADJOINING PROPERTIES. EXISTING WALKS, PARKING AREAS AND STREETS SHALL BE KEPT BROOM CLEAN DAILY, FREE OF ALL DIRT AND DEBRIS FROM THE CONSTRUCTION SITE.
I. ADDITIONAL FILL REQUIRED TO RAISE THE GRADE WHICH MAY CONSIST OF ON-SITE SOILS, SHALL BE FREE OF ALL STICKS, DEBRIS, ROOTS, CLUMPS AND SHALL BE DENSE AND DRIED BEFORE RECOMPACTION IN 8 INCH MAXIMUM LAYERS.
J. ENGINEERED FILL UNDER SLABS AND PAVEMENT AREA SHALL BE PLACED IN 8 INCH LAYERS OF LOOSE MATERIAL, WITH EACH LAYER BEING COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D 1557.
K. UNLESS SHOWN ON DRAWINGS, ANGLE OF ALL BANKS SHALL NOT EXCEED A SLOPE OF 1:3.
L. BOTTOM OF EXCAVATIONS SHALL BE DEWATERED AND PROTECTED FROM FROST. DO NOT PLACE FOUNDATIONS, FOOTINGS OR SLABS ON FROZEN GRADE.
M. ALL EXCAVATIONS SHALL BE PROPERLY AND ADEQUATELY SLOPED OR SHORED AND BRACED TO PROTECT THE PROPERTY OF THE OWNER AND THE SAFETY OF THE WORKMEN. ALL SUCH PROTECTION SHALL BE IN ACCORDANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS AND ALL OTHER APPLICABLE CODES AND ORDINANCES.

UTILITIES

- A. TRENCHES FOR UTILITIES SHALL BE MINIMUM 36 INCHES DEEP WITH ADEQUATE WIDTH FOR WORKING, UNLESS NOTED OTHERWISE.
B. PIPE BEDDING SHALL BE CLEAN, NATURAL OR PROCESSED BANK RUN GRAVEL, CONFORMING ASTM C33, NO. 67, 100 PASSING A 1" SIEVE, AND RETAINED ON A NO. 5 SIEVE.
C. USE CLEAN GRANULAR FILL MATERIAL FREE OF ALL ROCKS, DEBRIS, AND OTHER CONSTRUCTION MATERIAL FOR BACKFILLING. LONG UTILITY EXCAVATIONS TO WITHIN A MINIMUM OF 12" ABOVE THE NEW CONDUIT OR PIPING WITHOUT COMPACTION. COMPACT BACKFILL IN 8" LAYERS USING HEAVY COMPACTION EQUIPMENT OR 4" LAYERS USING HAND-OPERATED TAMPERS.
D. NEW UNDERGROUND STORM AND SANITARY LINES SHALL BE INSTALLED WITH MINIMUM OF 24" COVER ABOVE AND PROVIDING A MINIMUM SLOPE OF 1/8", UNLESS NOTED OTHERWISE. USE SCHEDULE 40 PVC PIPING UNLESS NOTED.
E. VERIFY ALL EXISTING AND NEW UTILITIES WITH LOCAL UTILITY COMPANIES PRIOR TO WORK. SEE THE MECHANICAL AND ELECTRICAL DRAWINGS FOR EACH RESPECTIVE UTILITY OR SERVICE.
F. DIRT OR OTHER FOREIGN MATERIAL SHALL BE PREVENTED FROM ENTERING THE PIPE JOINT DURING HANDLING OR LAYING OPERATIONS AND ANY PIPE OR FITTING THAT HAS BEEN INSTALLED WITH DIRT OR FOREIGN MATERIAL IN IT SHALL BE REMOVED, CLEANED AND RELAID.

FOUNDATION NOTES:

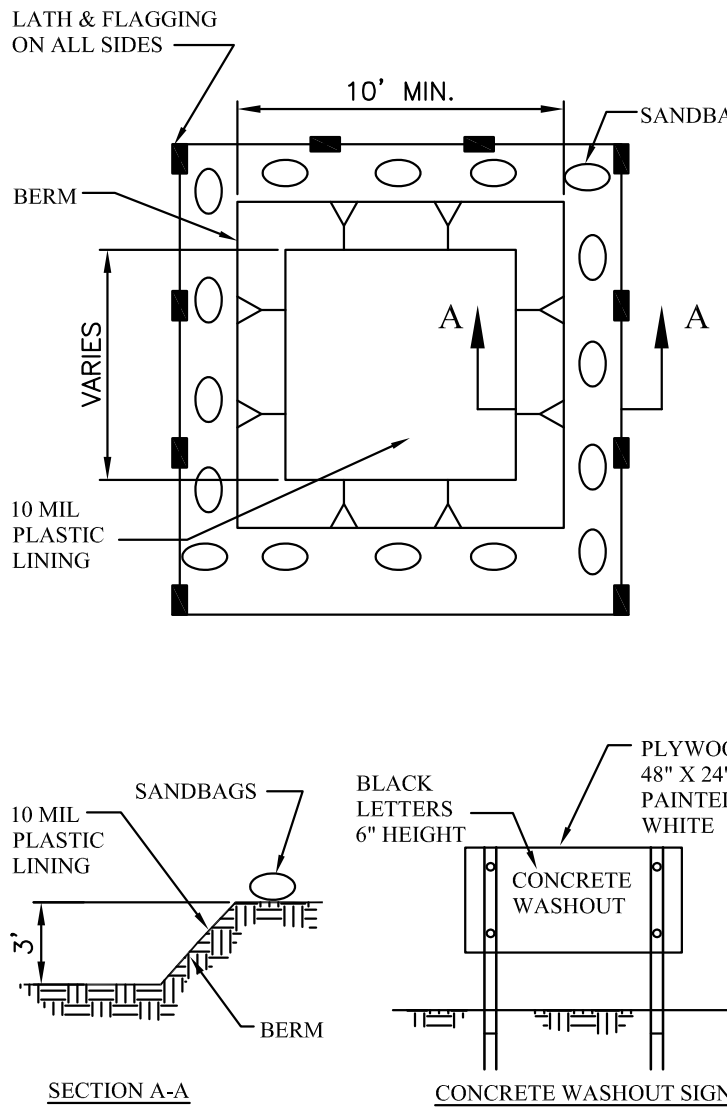
1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
2. MAXIMUM DESIGN SOIL PRESSURE - 2500 LBS. SQ. FT. TOP OF ALL EXTERIOR FOOTINGS TO BE MINIMUM 2' - 8" BELOW FINISH FLOOR. ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL. TWO BARS SHALL BE PLACED CONTINUOUS IN BOTTOM OF ALL FOOTINGS. SEE FOUNDATION PLAN FOR BAR SIZES.
3. WHERE FOOTINGS CHANGE ELEVATIONS, STEP FOOTINGS TWO HORIZONTAL TO ONE VERTICAL.
4. FOOTING ELEVATIONS SHOWN ON DRAWINGS ARE TO TOP OF GRADE.
5. ALL REINFORCING BARS TO BE DEFORMED BARS INTERMEDIATE GRADE.
6. ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS SHALL CONFORM WITH ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 318-65).

CONCRETE NOTES:

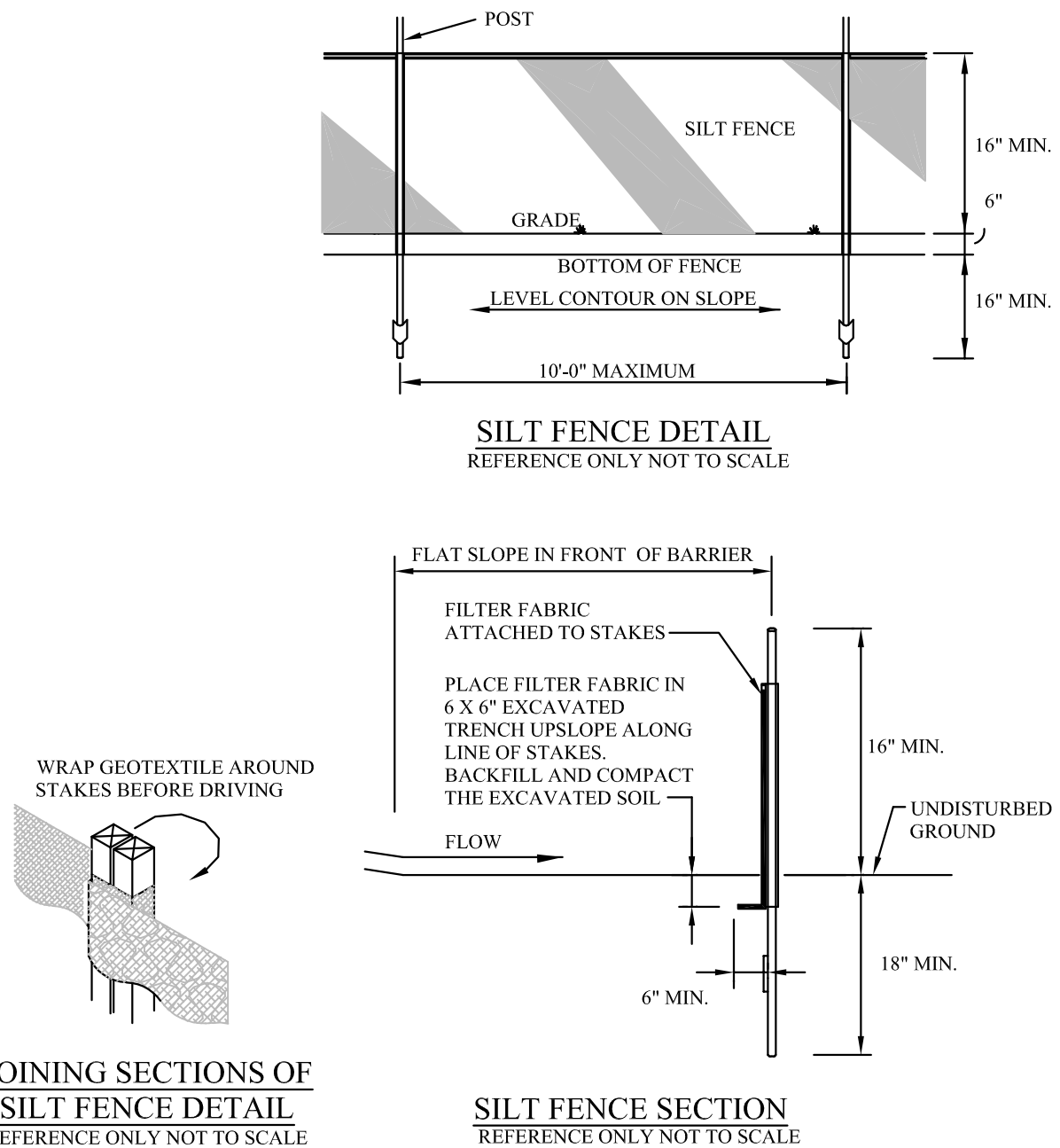
1. ALL CONCRETE WORK SHALL BE IN COMPLIANCE WITH THE AMERICAN CONCRETE INSTITUTE, INCLUDING: FORMWORK, PLACEMENT, REINFORCEMENT, AND FINISHES.
2. ALL CONCRETE FORMWORK SHALL BE STRAIGHT, FREE OF DISTORTION AND DEFECTS. FORMS SHALL RETAIN HORIZONTAL AND VERTICAL ALIGNMENT UNTIL REMOVAL OF SUCH.
3. ALL EXTERIOR CONCRETE TO BE 3500 PSI AT 28 DAYS, AIR ENTRAINED, & BAGG. USE LIGHT BROOM FINISH ON EXTERIOR SLABS, WALKS, DRIVES, AND PARKING AREAS.
4. CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, FINE AGGREGATE, COURSE AGGREGATE, WATER AND AIR ENTRAINING AGENT, AS REQUIRED. ALL CONCRETE SHALL HAVE WATER/CEMENT RATIOS CORRESPONDING CEMENT FACTORS SUFFICIENT TO MEET STRENGTH AND WORKABILITY REQUIREMENTS.
5. USE OF CALCIUM CHLORIDE AND WATER REDUCER MIXTURES ARE PROHIBITED.
6. ALL EXTERIOR CONCRETE SHALL BE TREATED WITH AN ANTI-SPLALLING TREATMENT ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS. ALL EXPOSED CONCRETE AREAS INSIDE OF BUILDINGS TO HAVE A DUSTPROOF SEALER PROVIDED PER MANUFACTURER'S INSTRUCTIONS. USE A TROUPEL FINISH ON INTERIOR SLABS.
7. ALL CONCRETE SLABS SHALL BE SAW CUT AS SOON AS POSSIBLE FOLLOWING THE PATTERNS AS SET FORTH IN THE DRAWINGS. SAW CUT LARGE AREAS INTO A MAXIMUM OF 120' S/C CONTROLL JOINT. USE AN EDGING TOOL ON THE PERIMETER OF ALL CONCRETE WALKS.
8. PRE CAST CONCRETE PLANK FLOOR SYSTEM FOR MEZZANINE TO BE PROPERLY INSTALLED STRICTLY FOLLOWING MANUFACTURE'S GUIDELINES.

MASONRY NOTES:

1. CONCRETE MASONRY UNITS SHALL MEET ASTM C90 STANDARD FOR HOLLOW LOAD BEARING MASONRY UNITS. ASTM C145 SOLID LOAD BEARING MASONRY UNITS.
2. MORTAR FOR UNIT MASONRY SHALL COMPLY WITH ASTM C-270-80A. MORTAR FOR REINFORCED MASONRY SHALL COMPLY WITH ASTM C-476-80.
3. FIRE RATED MASONRY SHALL COMPLY WITH REQUIREMENTS FOR MATERIALS AND INSTALLATION ESTABLISHED BY THE AMERICAN INSURANCE ASSOCIATION.
4. ALL MASONRY SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI WITH ULTIMATE DESIGN OF 1,500 PSI.
5. USE TYPE 'M' MORTAR FOR EXTERIOR WORK. USE TYPE 'M' MORTAR FOR STRUCTURAL APPLICATIONS.
6. GROUT SHALL BE HIGH STRENGTH, NON SHRINK.
7. LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACING. AVOID THE USE OF LESS-THAN-HALF SIZE UNITS AT CORNERS OR WHEREVER POSSIBLE.
8. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING, SHALL NOT BE USED IN MORTAR OR GROUT.
9. CONCRETE MASONRY SHALL BE PROTECTED AGAINST WETTING PRIOR TO USE.
10. MASONRY UNITS SHALL BE LAID WITH ALL HEAD AND BED JOINTS FULL. DO NOT ADJUST MASONRY UNITS WHEN MORTAR HAS BEGUN TO SET.
11. MASONRY ACCESSORIES SHALL BE CORROSION RESISTANT WITH A MINIMUM OF 5/8" MORTAR COVERAGE.
12. INSTALL HORIZONTAL JOINT REINFORCING IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, UNLESS NOTED OTHERWISE. PLACE REINFORCEMENT AT 16" O.C. VERTICAL. REINFORCEMENT IS TO BE PLACED OVER ALL OPENINGS, AND EXTEND 48" ON EACH SIDE OF OPENING. ALL REINFORCING SHALL BE LAPPED 6" MINIMUM. STOP REINFORCING AT ALL CONTROL JOINTS.
13. CONTRACTOR TO PROTECT PARTIALLY COMPLETED MASONRY AGAINST WEATHER WHEN WORK IS NOT IN PROGRESS.
14. WALLS BELOW GRADE SHALL BE THOROUGHLY SET AND BRACED PRIOR TO BACKFILLING.
15. REFERENCE STANDARD, "SPECIFICATION FOR DESIGN AND CONSTRUCTION OF CONCRETE MASONRY" BY NATIONAL CONCRETE MASONRY ASSOCIATION.



TEMP. CONCRETE WASHOUT FACILITY



JOINING SECTIONS OF SILT FENCE DETAIL
REFERENCE ONLY NOT TO SCALE

SILT FENCE SECTION
REFERENCE ONLY NOT TO SCALE

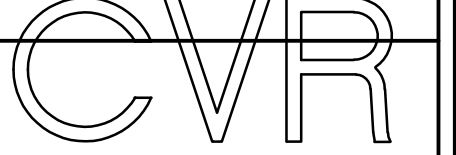
SEAL

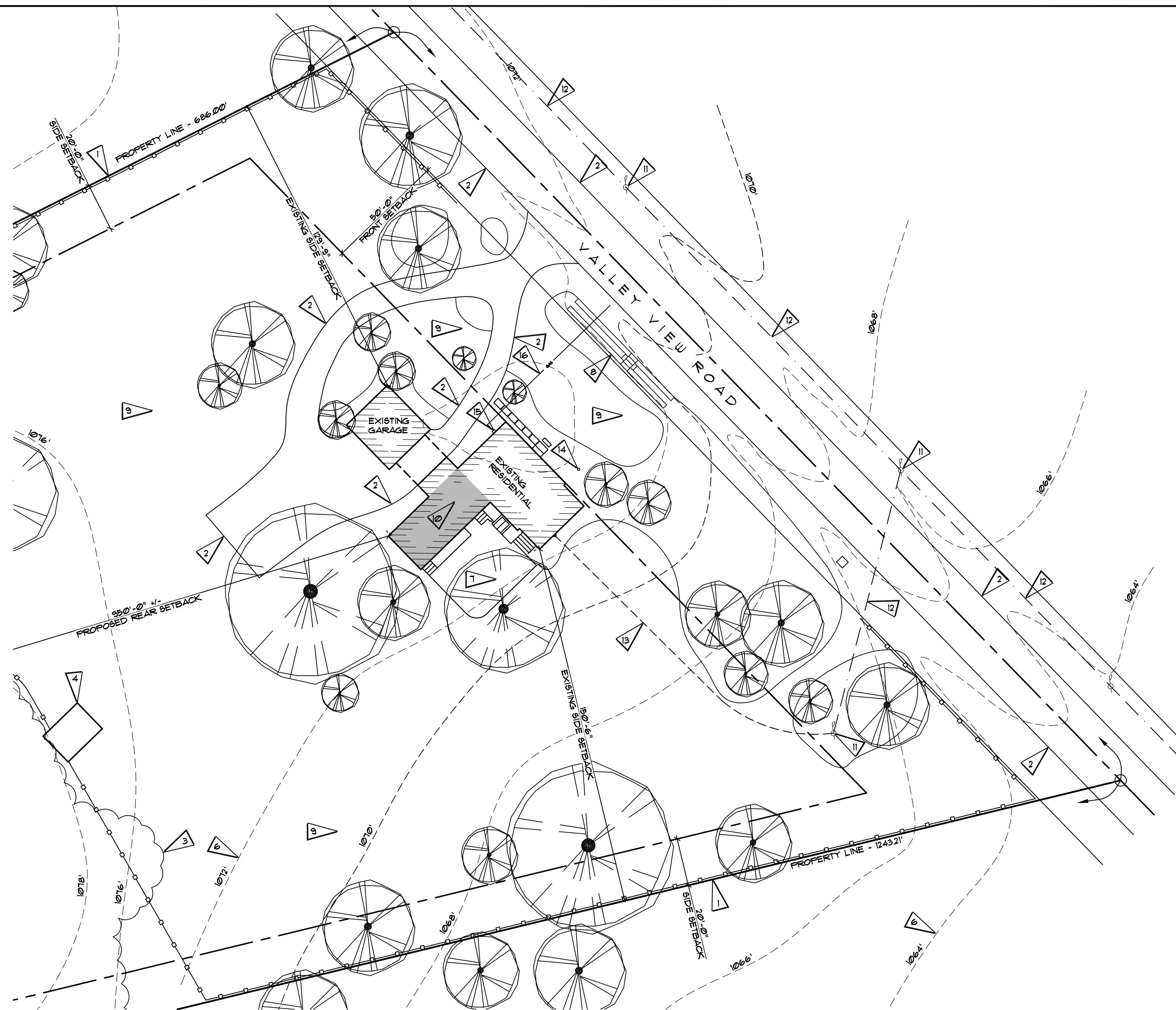
David Pelligra · Architects, Inc.	DATE
ARCHITECTURE · CONSULTING	09.29.2023
2231 Broad Blvd. · Cuyahoga Falls · Ohio 44228	
REVISIONS	

This drawing is the property of David B. Pelligra Architect. Information herein is confidential and must not be disclosed or revealed to unauthorized persons without proper authorization.

PROJECT	ADDITION & RENOVATION:
DRAWING	KING RESIDENCE
COVER SHEET	7238 VALLEY VIEW ROAD HUDSON, OH 44236

PROJECT NO.
2273
SHEET NO.



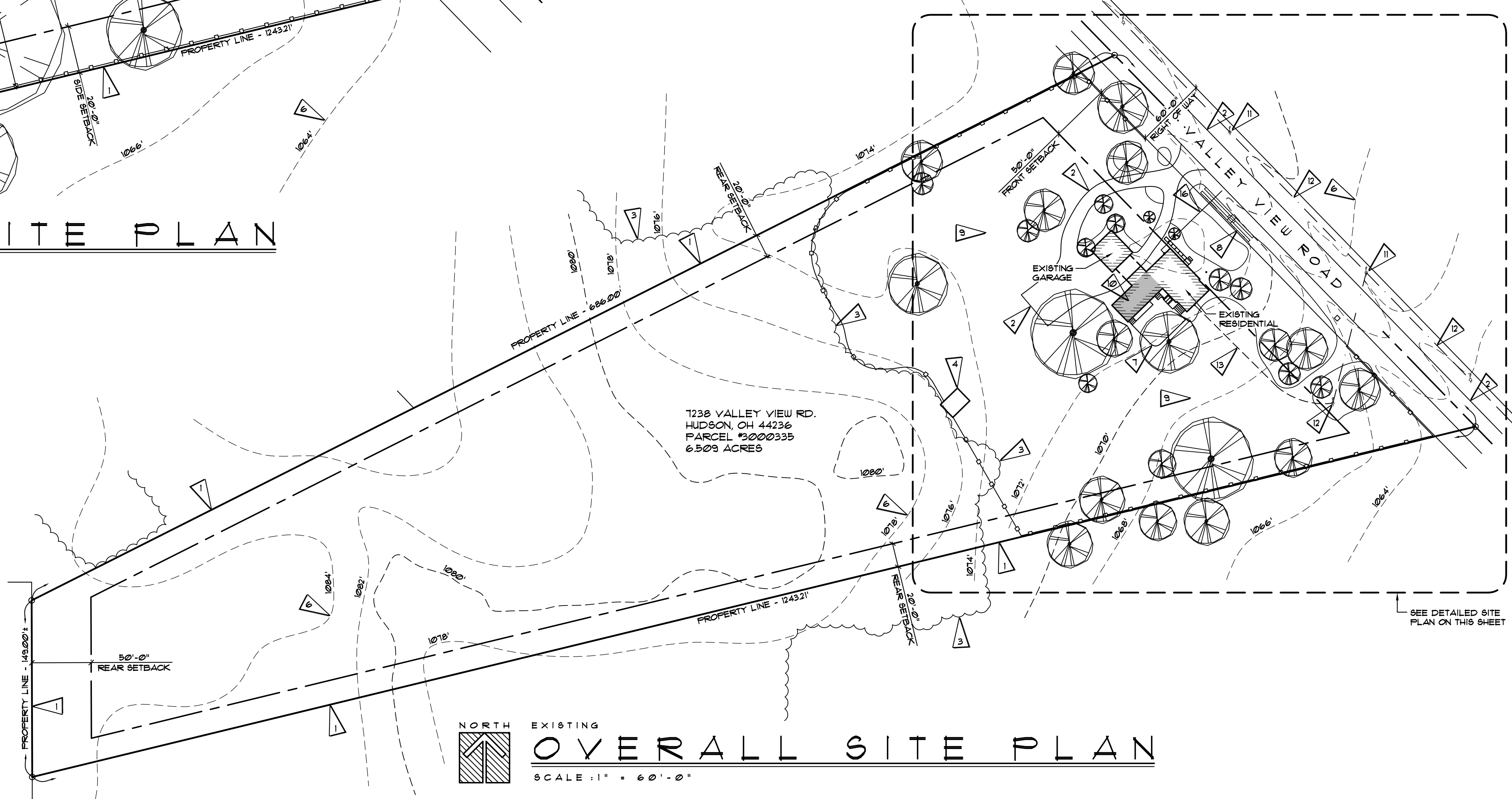


EXISTING DETAILED SITE PLAN
SCALE: 1" = 30'-0"

NOTE:
THE SITE INFORMATION INCLUDING BUILDING AND PROPERTY LINE LOCATIONS AND THE EXISTING TOPOGRAPHY WERE DEVELOPED USING THE SUMMIT COUNTY GIS WEB SITE. IF ANY NEW CONSTRUCTION OUTSIDE OF THE ORIGINAL BUILDING FOOTPRINT IT IS ADVISED TO OBTAIN A SITE SURVEY OF THE PROPERTY.

FLAG NOTES:	
1	EXISTING PROPERTY LINE
2	APPROXIMATE EDGE OF EXISTING PAVEMENT
3	APPROXIMATE LINE OF EXISTING TREES
4	EXISTING SHED STRUCTURE
5	APPROXIMATE LOCATION EXISTING WOOD SPLIT-RAIL FENCE
6	EXISTING TOPOGRAPHY FROM SUMMIT COUNTY AERIAL (TO BE VERIFIED)
7	EXISTING PATIO AREA
8	EXISTING STONE LANDSCAPE WALL AND MASONRY STEPS
9	EXISTING GRASS AREA
10	AREA OF NEW CONSTRUCTION SHOWN SHADED
11	EXISTING UTILITY POLE
12	EXISTING OVERHEAD ELECTRICAL SUPPLY
13	APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRICAL LINE. CONTRACTOR TO VERIFY IN FIELD
14	EXISTING WATER WELL
15	EXISTING GAS METER
16	APPROXIMATE LOCATION OF EXISTING UNDERGROUND GAS LINE. CONTRACTOR TO VERIFY IN FIELD

ZONING NOTES:
ZONING DISTRICT: DISTRICT 2 RURAL RESIDENTIAL CONSERVATION
SETBACKS: FRONT YARD = 50'-0" MIN. SIDE YARD: PRINCIPAL BUILDING = 20'-0" ACCESSORY STRUCTURE = 30'-0" REAR YARD: PRINCIPAL BUILDING = 50'-0" ACCESSORY GARAGE = 15'-0" MAXIMUM STRUCTURE HEIGHT = 35'-0" MAXIMUM IMPERVIOUS SURFACE COVERAGE: SINGLE FAMILY = 50%



EXISTING OVERALL SITE PLAN
SCALE: 1" = 60'-0"

SEAL

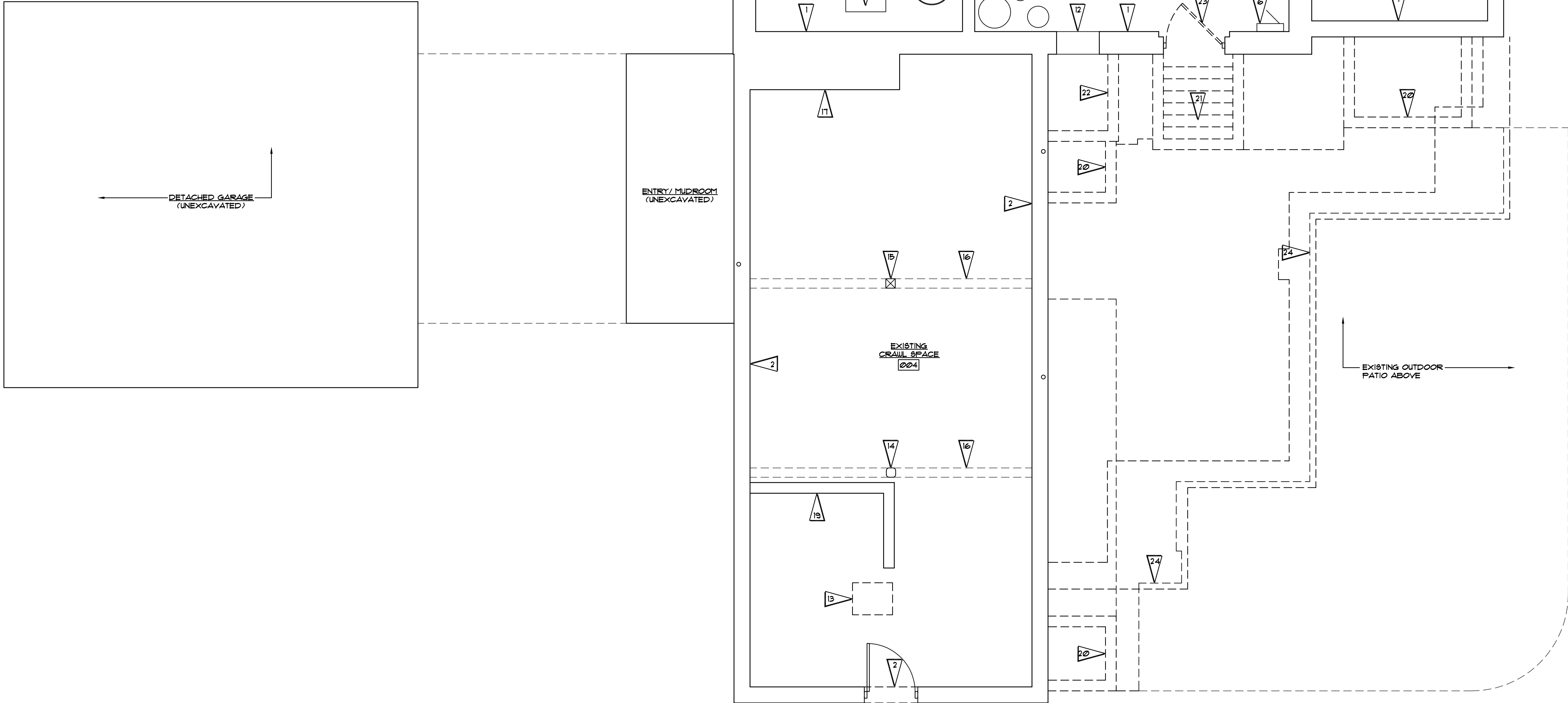
David Pelligra Architects, Inc.	ARCHITECTURE • CONSULTING	DATE
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223	REVISIONS	09.29.2023

This drawing is the property of David B. Pelligra Architect. Information is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT	ADDITION & RENOVATION:
KING RESIDENCE	7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING	PROPOSED SITE PLAN

PROJECT NO.	2273
SHEET NO.	C-1

FLAG NOTE SCHEDULE			
1	EXISTING SANDSTONE FOUNDATION WALL	13	EXISTING ACCESS HATCH THROUGH FIRST FLOOR ABOVE
2	EXISTING MASONRY BLOCK FOUNDATION WALL (PAINTED EXTERIOR FINISH)	14	EXISTING STACKED STONE COLUMN
3	EXISTING PAD MOUNTED BOILER	15	EXISTING TIMBER WOOD COLUMN
4	EXISTING HOT WATER HEATER	16	EXISTING TIMBER WOOD BEAM
5	EXISTING WELL EQUIPMENT AND TANKS	17	EXISTING SUPPORT WALL FOR FIRE PLACE AREA
6	EXISTING ELECTRICAL PANEL	18	EXISTING CONCRETE FLOOR
7	EXISTING BRICK COLUMN	19	EXISTING CONCRETE BLOCK WALL
8	EXISTING 3" DIA. METAL COLUMN	20	EXISTING MASONRY STAIR FOUNDATIONS TO BE REMOVED
9	EXISTING 4X4 WOOD COLUMN	21	EXISTING MASONRY & CONCRETE STAIRS DOWN TO BASEMENT TO BE REMOVED SHOWN DASHED
10	EXISTING WOOD TIMBER BEAM (1.25" X 9.25")	22	REMOVE EXISTING MASONRY WALLS SHOWN DASHED
11	EXISTING WOOD BEAM (3.75" X 6.5)	23	REMOVE EXISTING DOOR AND DOOR FRAME SHOWN DASHED. PREPARE OPENING FOR NEW WORK
12	EXISTING OPENING IN FOUNDATION WALL (32" WIDE X 34" HIGH)	24	OUTLINE OF FUTURE PATIO ABOVE



NORTH
BASEMENT
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SEAL

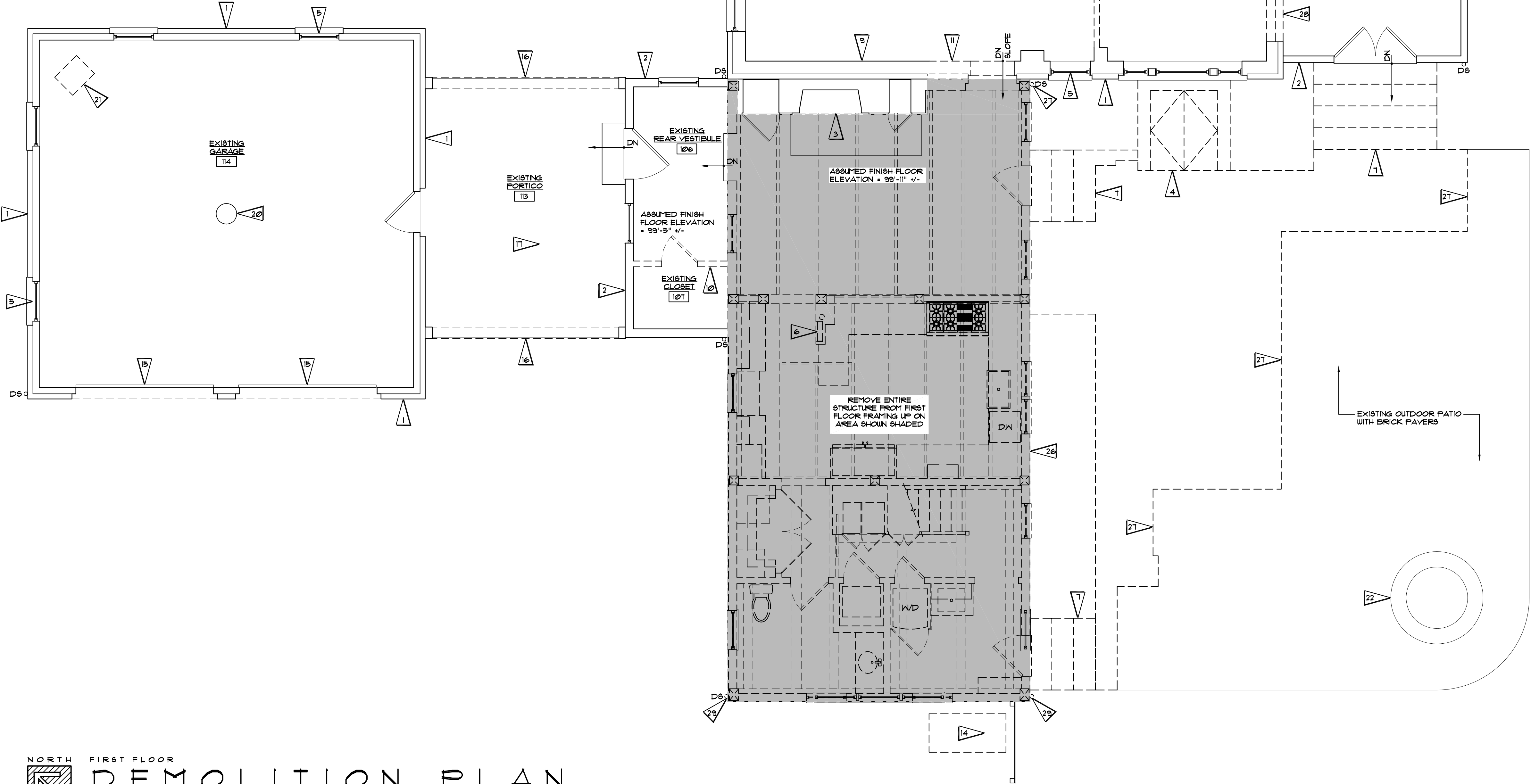
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
BASEMENT DEMO. PLAN

PROJECT NO.
2273
SHEET NO.
D-1

FLAG NOTE SCHEDULE			
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY	17	EXISTING BRICK PAVERS
2	EXISTING EXTERIOR WOOD FRAMED WALL WITH PAINTED SIDING	18	EXISTING WATER WELL
3	EXISTING MASONRY FIREPLACE TO REMAIN, EXISTING MANTEL AND STONE HEARTH TO BE REMOVED AND PREPARED FOR INSTALLATION OF NEW	19	EXISTING ELECTRICAL SERVICE/ METER
4	EXISTING 'BILCO' DOOR TO BASEMENT TO BE REMOVED	20	EXISTING FLOOR DRAIN
5	EXISTING DOUBLE HUNG WINDOW UNIT	21	EXISTING CEILING HUNG GAS HEATER
6	EXISTING ELECTRICAL PANEL TO BE REMOVED AND CONNECTION PULLED BACK TO MAIN PANEL	22	EXISTING MASONRY FIRE PIT
7	EXISTING MASONRY STEPS TO BE REMOVED	23	EXISTING STONE SLAB WALKWAY
8	EXISTING BOOKCASE/ CABINETS TO BE REMOVED SHOWN DASHED	24	EXISTING GAS METER
9	EXISTING INTERIOR WALL ASSEMBLY TO REMAIN	25	EXISTING PAD MOUNTED CONDENSING UNIT
10	EXISTING INTERIOR WALL ASSEMBLY TO BE REMOVED SHOWN DASHED	26	REMOVE EXISTING WALLS, DOOR, COUNTER, CABINETRY, PLUMBING FIXTURES IN THIS AREA SHOWN DASHED, INVESTIGATE LOWER CEILING STRUCTURE AND VERIFY THAT IT CAN BE REMOVED TO PROVIDE FLUSH CEILING THROUGHOUT THE ENTIRE ROOM. CAP EXISTING PLUMBING AS REQUIRED BY CODE.
11	PORTION OF EXISTING WALL ASSEMBLY TO BE REMOVED SHOWN DASHED. COORDINATE WITH NEW FLOOR PLAN	27	APPROXIMATE EDGE OF EXISTING BRICK PATIO TO BE REMOVED FOR NEW RAISED PATIO AREA, SEE FLOOR PLAN
12	EXISTING STAIR TREADS AND RISERS TO BE REMOVED AS REQUIRED FOR NEW WORK, SEE FLOOR PLAN	28	REMOVE EXISTING CASING AND TRIM FROM OPENING AND PREPARE FOR NEW WORK, SEE FLOOR PLAN
13	REMOVE EXISTING DOOR AND TRIM. PREPARE ROUGH OPENING FOR INSTALLATION OF NEW.	29	REMOVE EXISTING DOWNSPOUT, CONNECTION TO UNDERGROUND STORM TO REMAIN AND CAPPED FOR REUSE.
14	EXISTING PAD MOUNTED MECHANICAL UNIT TO BE REMOVED		
15	EXISTING 9'-0" X 7'-0" GARAGE DOORS		
16	EXISTING CURVED WOOD FRAMED OPENING		



FIRST FLOOR

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

SEAL

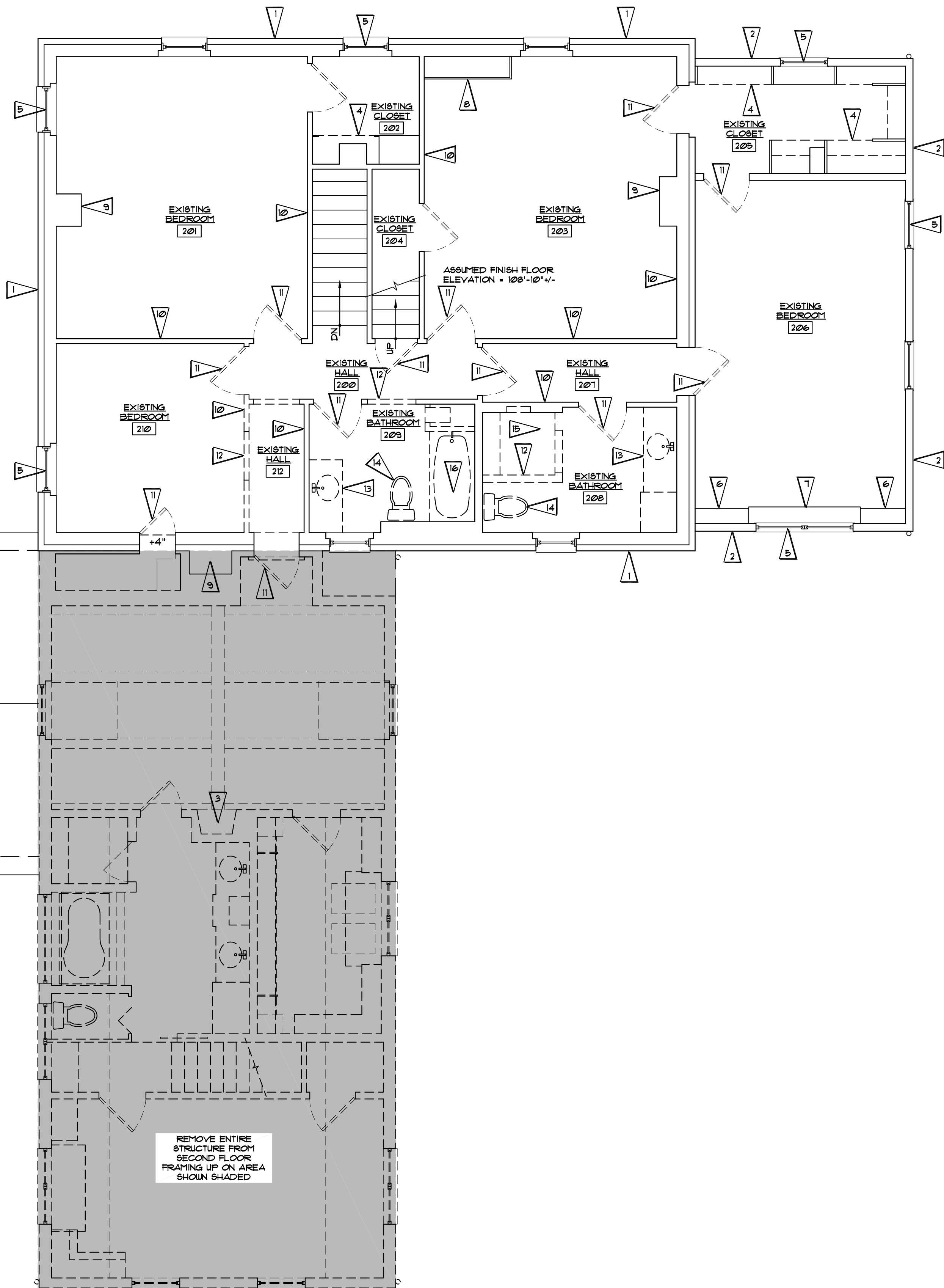
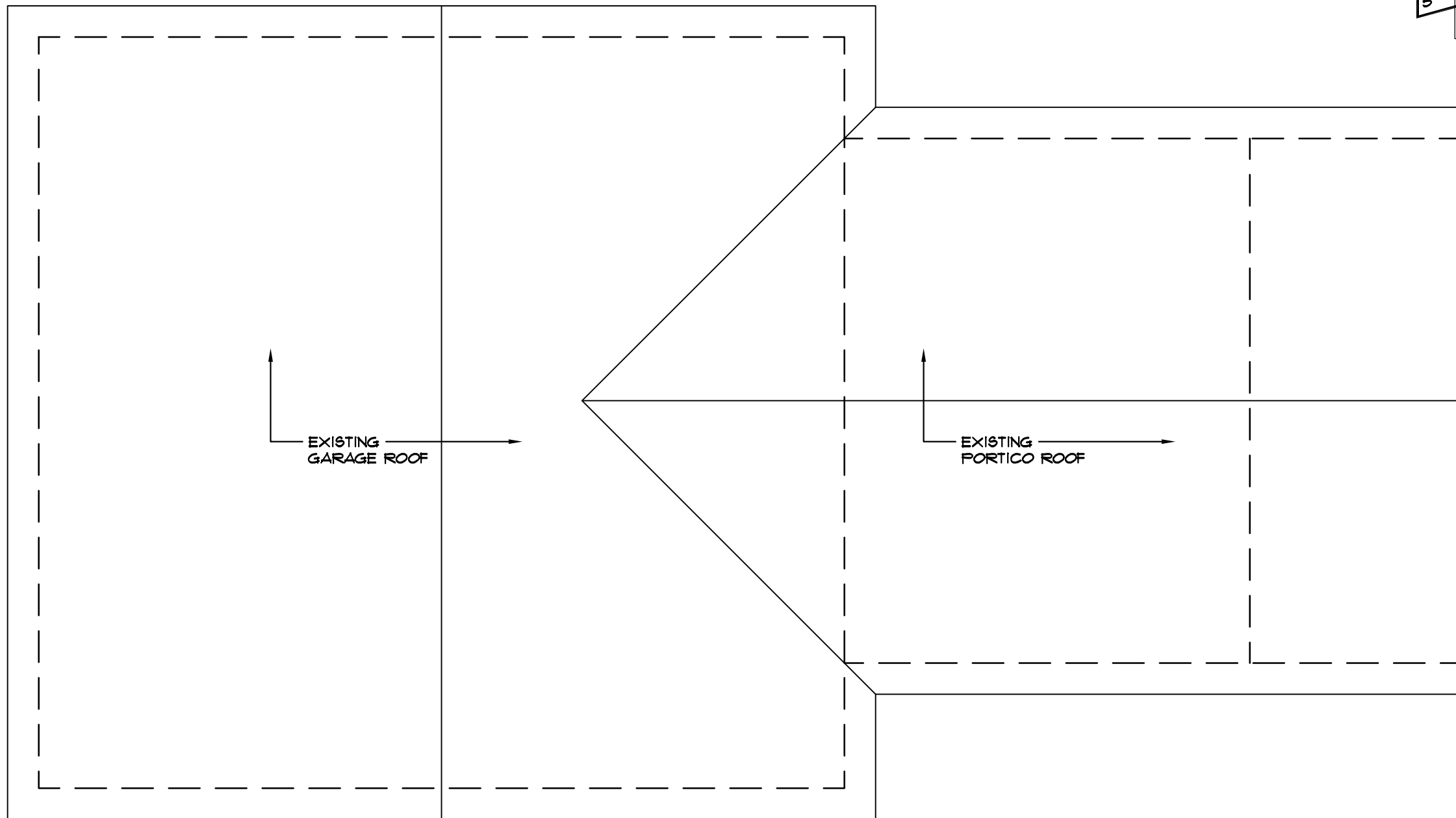
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
FIRST FLOOR DEMO. PLAN

PROJECT NO.
2273
SHEET NO.
D-2

FLAG NOTE SCHEDULE			
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY TO REMAIN	10	EXISTING INTERIOR WOOD FRAMES AND PLASTER WALLS TO REMAIN
2	EXISTING EXTERIOR WOOD FRAMED WALL WITH PAINTED SIDING TO REMAIN	11	REMOVE EXISTING DOOR AND TRIM. PREPARE ROUGH OPENING FOR INSTALLATION OF NEW.
3	EXISTING MASONRY NON-FUNCTIONING FIREPLACE TO BE REMOVED	12	REMOVE PORTION OF EXISTING WALL SHOWN DASHED. COORDINATE WITH NEW FLOOR PLAN
4	EXISTING CLOSET SYSTEM TO REMAIN	13	REMOVE EXISTING VANITY SINK, COUNTER AND CABINETRY SHOWN DASHED.
5	EXISTING DOUBLE HUNG WINDOW UNIT TO REMAIN	14	REMOVE AND REPLACE EXISTING TOILET SHOWN DASHED
6	EXISTING BUILT-IN BOOKSHELVES TO REMAIN	15	REMOVE ENTIRE EXISTING SHOWER AND PREPARE STRUCTURE FOR INSTALLATION OF NEW SHOWER SYSTEM
7	EXISTING WINDOW SEAT TO REMAIN	16	REMOVE EXISTING TUB SHOWN DASHED AND RELATED SURROUND, PREPARE AREA FOR NEW WORK.
8	EXISTING COUNTER WITH STORAGE CABINETS BELOW TO REMAIN	17	
9	EXISTING MASONRY CHIMNEY TO REMAIN	18	



NORTH
SECOND FLOOR
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SEAL

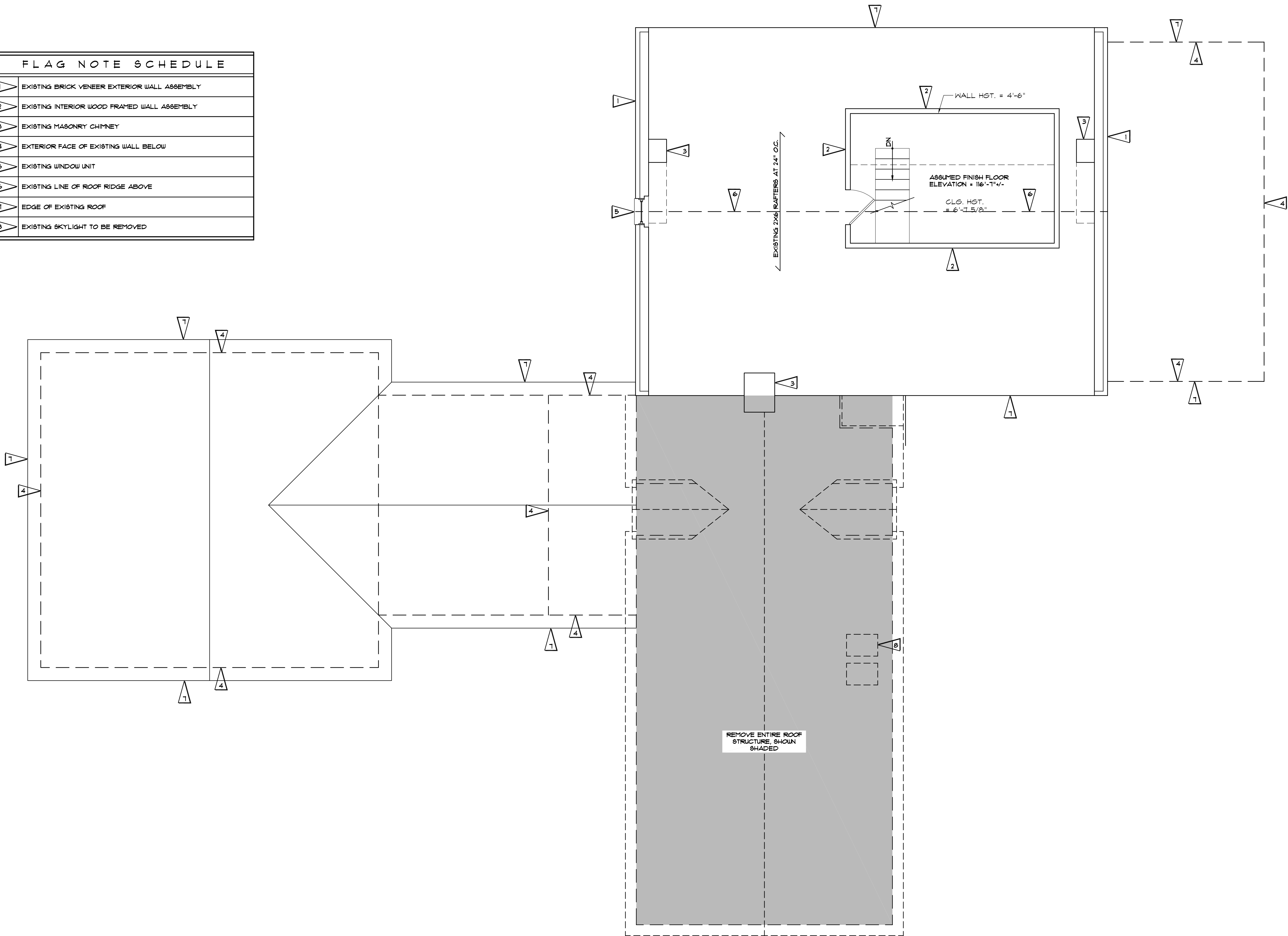
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
SECOND FLR. DEMO. PLAN

PROJECT NO.
2273
SHEET NO.
D-3

FLAG NOTE SCHEDULE	
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY
2	EXISTING INTERIOR WOOD FRAMED WALL ASSEMBLY
3	EXISTING MASONRY CHIMNEY
4	EXTERIOR FACE OF EXISTING WALL BELOW
5	EXISTING WINDOW UNIT
6	EXISTING LINE OF ROOF RIDGE ABOVE
7	EDGE OF EXISTING ROOF
8	EXISTING SKYLIGHT TO BE REMOVED



THIRD FLOOR / ROOF

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

SEAL

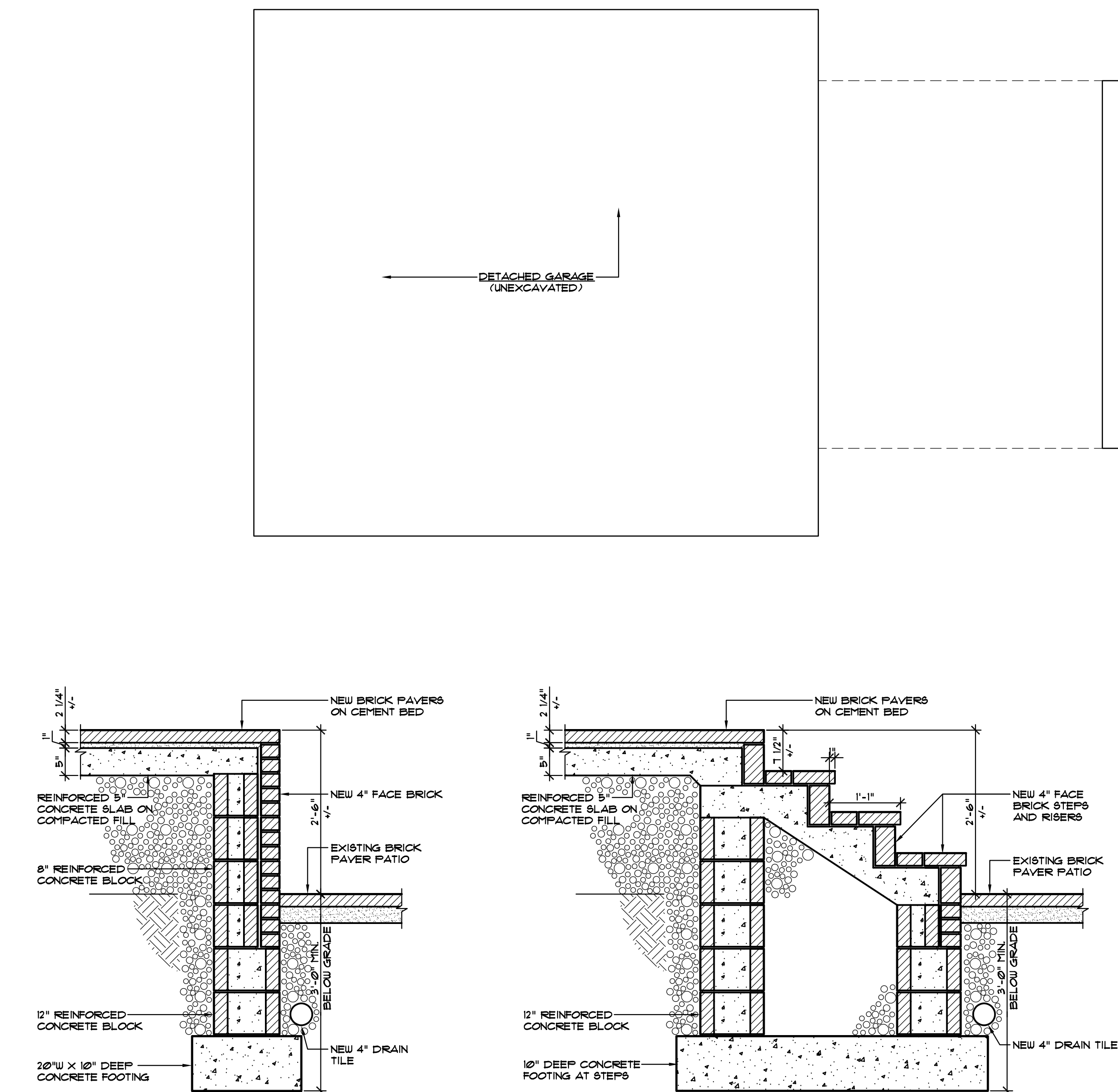
David Pelligra Architects, Inc.	
ARCHITECTURE • CONSULTING	
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223	
REVISIONS	DATE
	09.29.2023

This drawing is the property of David B. Pelligra Architects, Inc. and is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.
--

PROJECT	ADDITION & RENOVATION:	
	KING RESIDENCE	
	7238 VALLEY VIEW ROAD HUDSON, OH 44236	
DRAWING	3RD FLR./ROOF DEMO. PLN.	

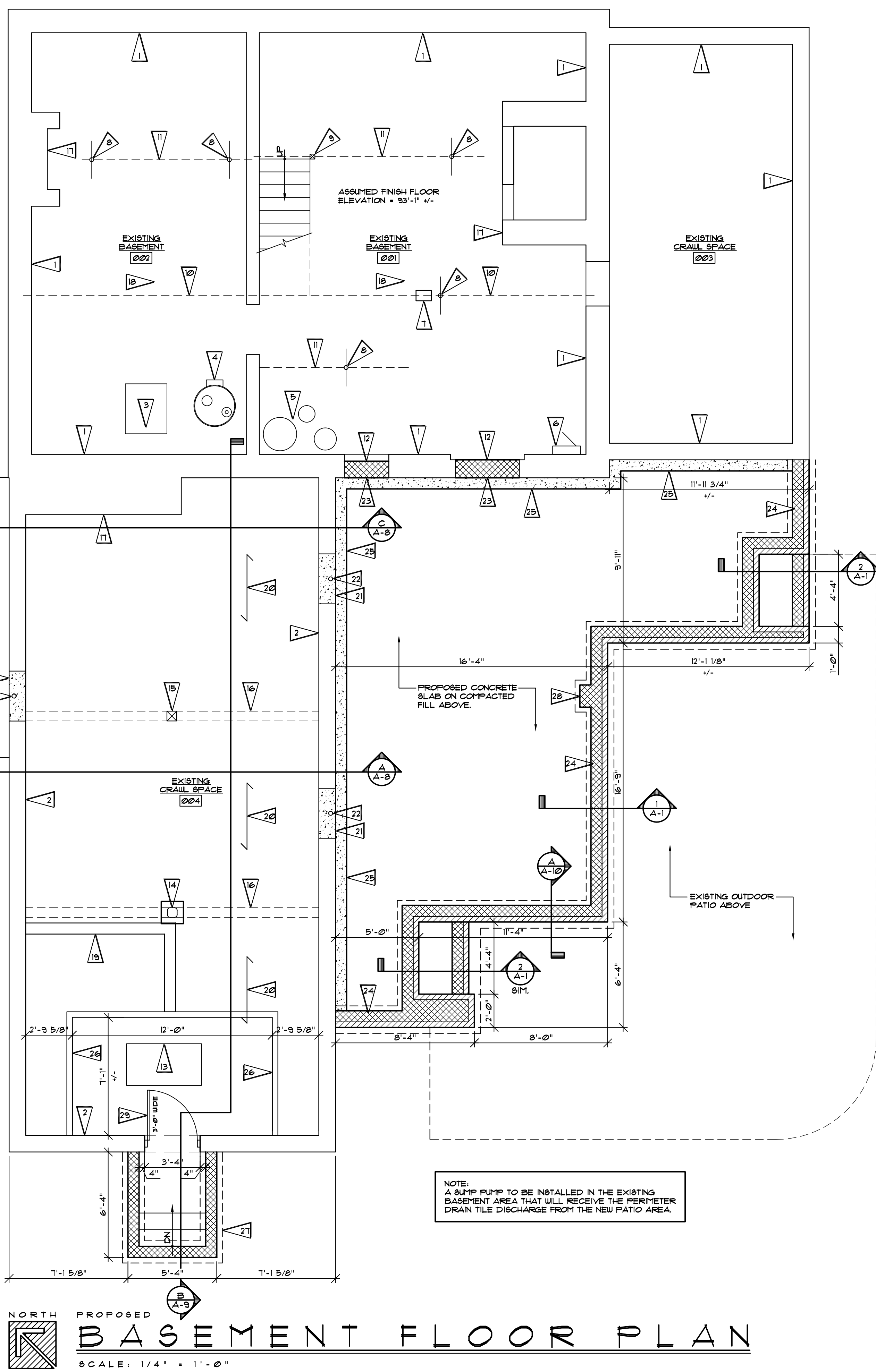
PROJECT NO.	2273
SHEET NO.	D-4

FLAG NOTE SCHEDULE			
1	EXISTING SANDSTONE FOUNDATION WALL	14	EXISTING COLUMN AND STONE PIERS
2	EXISTING MASONRY BLOCK FOUNDATION WALL (PAINTED EXTERIOR FINISH)	15	CONTRACTOR TO REVIEW THE COLUMN AND SURROUNDING FOOTING AND UPGRADE TO SUIT THE NEW LOCATION.
3	EXISTING PAD MOUNTED BOILER	16	ANTICIPATE NEW 16" SQUARE GROUTED MASONRY PIERS WITH 30" X 30" X 10" THICK FOOTINGS AS MINIMUM REPLACEMENTS LOCATED ON VIRGIN SOIL.
4	EXISTING HOT WATER HEATER	17	EXISTING TIMBER WOOD COLUMN.
5	EXISTING WELL EQUIPMENT AND TANKS	18	CONTRACTOR TO REVIEW THE COLUMN AND SURROUNDING FOOTING AND UPGRADE TO SUIT THE NEW LOCATION.
6	EXISTING ELECTRICAL PANEL	19	ANTICIPATE NEW 16" SQUARE GROUTED MASONRY PIERS WITH 30" X 30" X 10" THICK FOOTINGS AS MINIMUM REPLACEMENTS LOCATED ON VIRGIN SOIL.
7	EXISTING BRICK COLUMN	20	EXISTING TIMBER WOOD BEAM
8	EXISTING 3" DIA. METAL COLUMN	21	EXISTING SUPPORT WALL FOR FIRE PLACE AREA
9	EXISTING 4X4 WOOD COLUMN	22	EXISTING CONCRETE FLOOR
10	EXISTING WOOD TIMBER BEAM (12B" X 32B") CONTRACTOR TO VERIFY THE 2ND FLOOR LOADING AND ANY NEW BEARING POINTS WITH THE TIMBER BEAM LOCATED IN BASEMENT. ANY DAMAGED, CUT OR DISTRESSED WOOD FLOOR FRAMING TO BE REPLACED	23	EXISTING CONCRETE BLOCK WALL, VERIFY LOCATION IN FIELD
11	EXISTING WOOD BEAM (3.75" X 6.5")	24	EXISTING FLOOR SHEATHING OVER 1.75" X 10" +/- FLOOR JOISTS 16" O.C.
12	INFILL OPENING IN EXISTING FOUNDATION WALL WITH NEW CONCRETE BLOCK	25	GENERAL CONTRACTOR TO VERIFY THE EXISTING FOUNDATION WALL IS GROUTED SOLID AT NEW COLUMN LOCATIONS FOR A MINIMUM DISTANCE OF 18" FROM CENTERLINE (TOTAL 36") OF NEW BEARING POINT ABOVE.
13	NEW HORIZONTAL FURNACE	26	
		27	LOCATION OF NEW COLUMNS ABOVE, SEE FIRST FLOOR PLAN
		28	ADD FARGING, DAMPPROOFING & PROTECTIVE INSULATION ON THIS ENTIRE WALL
		29	NEW 8" REINFORCED CONCRETE BLOCK WITH 4" FACE BRICK PARTIAL HEIGHT WALL, SEE SECTION ON THIS SHEET
		30	NEW 8" WIDE CONCRETE FOUNDATION WALL FOR PATIO SLAB SUPPORT. SEE SECTIONS ON SHEET A-8. CONTRACTOR TO VERIFY AND NOTIFY ARCHITECT OF ANY DEFICIENCY IN EXISTING CONDITIONS.
		31	REMOVE PORTION OF THE EXISTING MUD SLAB AND REMOVE EXISTING MATERIALS TO LOWER THE CRAWL SPACE FLOOR LEVEL TO ACCOMMODATE BOTH THE FURNACE AND THE SURROUNDING DUCTWORK. PROVIDE 4" THICK, 12" HIGH CONCRETE WALL, SEE SECTION ON SHEET A-9
		32	NEW 8" MASONRY WALL ON 16"W X 8" CONTINUOUS CONCRETE FOOTING, BOTTOM OF FOOTING TO BE A MIN. OF 36" BELOW THE SURROUNDING GRADE, TYPICAL.
		33	COORDINATE FOUNDATION LOADS AND REQUIREMENTS WITH UMBRELLA SUPPLIER
		34	NEW INSULATED METAL DOOR AND FRAME, COORDINATE SIZE WITH MASONRY OPENING.



NEW RAISED PATIO
SECTION
SCALE: 3/4" = 1'-0"

NEW MASONRY STEPS
SECTION
SCALE: 3/4" = 1'-0"



NORTH
PROPOSED
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

SEAL

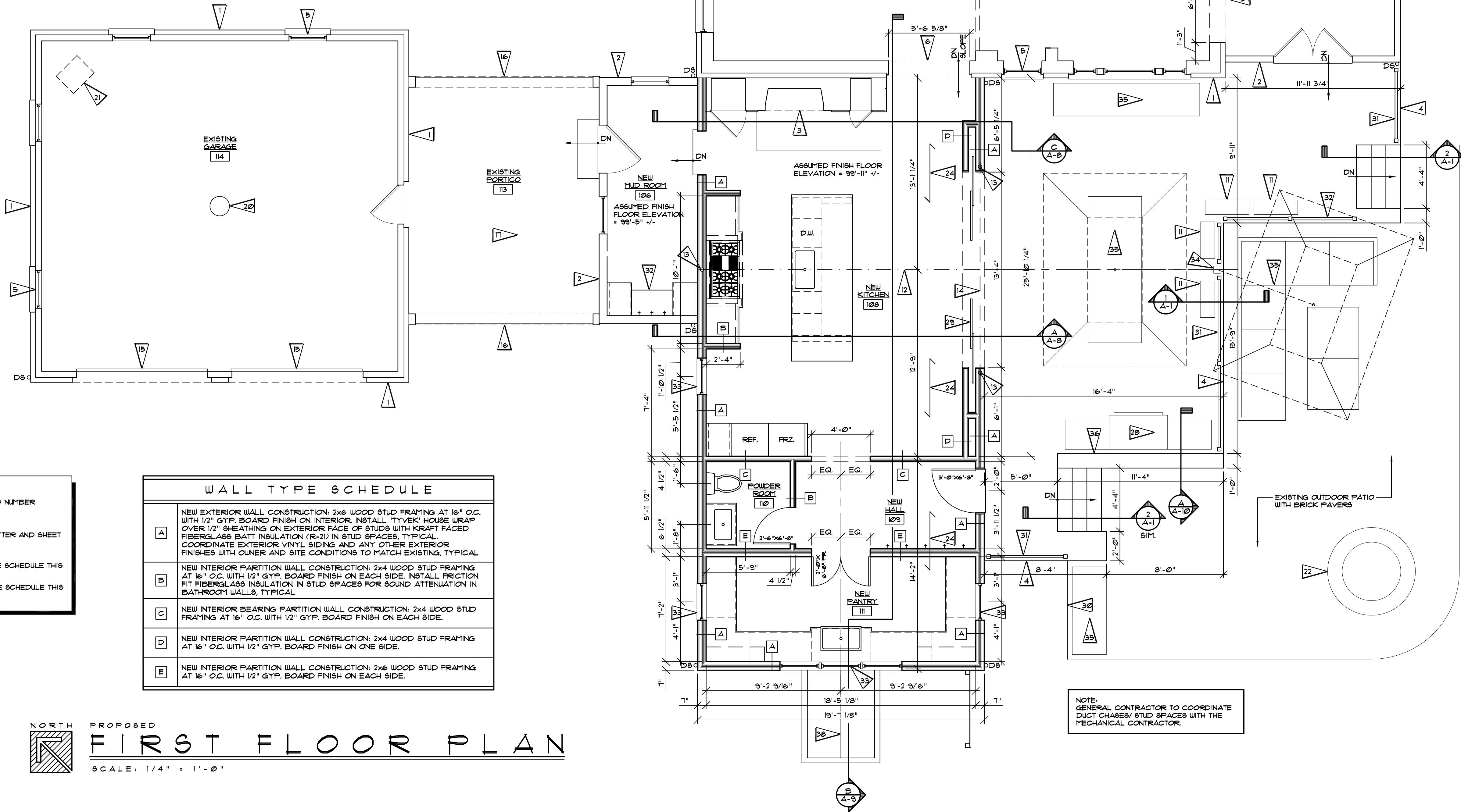
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
BASEMENT FLOOR PLAN

PROJECT NO.
2273
SHEET NO.
A-1

FLAG NOTE SCHEDULE					
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY TO REMAIN	13	NEW 3.5" O.D. X 11 GA MONOPOSTS STRUCTURAL SUPPORT COLUMN, PROVIDE SOLID BEARING DOWN TO FOUNDATION WALL	21	NEW WOOD BUILT-IN SHELVING WITH PARTIAL HEIGHT WALL BELOW. COORDINATE WITH INTERIOR DESIGNER DOCUMENTS
2	EXISTING EXTERIOR WOOD FRAMED WALL WITH PAINTED SIDING TO REMAIN	14	NEW W8X26 OR W8X22 OR W8X35 STEEL BEAM, SEE SECTION A ON SHEET A-8 AND ELEVATION C ON SHEET A-10	22	PROPOSED GRILL LOCATION. VERIFY GAS LINE REQUIREMENTS WITH OWNER
3	EXISTING MASONRY FIREPLACE TO REMAIN	15	EXISTING 8'-0" X 1'-0" GARAGE DOORS TO REMAIN	23	EXTERIOR POCKETING SLIDING DOOR SYSTEM (2 PANEL)
4	EDGE OF NEW RAISED PATIO AREA (LEVEL WITH FIRST FLOOR)	16	EXISTING CURVED WOOD FRAMED OPENING TO REMAIN	24	NEW EDGE OF EXISTING PATIO (AT GROUND LEVEL)
5	EXISTING DOUBLE HUNG WINDOW UNIT TO REMAIN	17	EXISTING BRICK PAVERS TO REMAIN	25	NEW RAILING SYSTEM AS SELECTED BY OWNER
6	NEW ENLARGED OPENING IN EXISTING WALL ASSEMBLY. THE EXISTING BEAM WILL NEED TO BE REINFORCED AS DETAILED PER THE ENGINEER. SEE SHEET A-10. SHORING SHALL BE INSTALLED AT BOTH THE BASEMENT AND FIRST FLOOR LEVELS TO CARRY THE TEMPORARY LOADS	18	EXISTING WATER WELL TO REMAIN	26	NEW BUILT-IN CABINETS AND 2" BENCH SEAT, SEE INTERIOR DESIGNER DOCUMENTS
7	EXISTING MASONRY STEPS TO REMAIN	19	EXISTING ELECTRICAL SERVICE/ METER TO REMAIN	27	NEW WINDOW UNIT, SEE EXTERIOR ELEVATIONS AND WINDOW SCHEDULE FOR SIZES
8	INFILL EXISTING DOOR OPENING AS REQUIRED TO ALIGN FINISH WALL SURFACES ON BOTH SIDES	20	EXISTING FLOOR DRAIN TO REMAIN TO REMAIN	28	NEW POST MOUNTED CANTILEVER UMBRELLA (ROTATES OVER SEATING). SEE INTERIOR DESIGNER DOCUMENTS. COORDINATE FOUNDATION LOADS AND REQUIREMENTS WITH UMBRELLA SUPPLIER
9	PROVIDE NEW (WIDER) WOOD TREADS AND RISERS FROM REMOVED WALL. MATCH EXISTING.	21	EXISTING CEILING HUNG GAS HEATER TO REMAIN	29	NEW OUTDOOR FURNITURE SHOWN FOR REFERENCE, SEE INTERIOR DESIGNER DOCUMENTS
10	NEW RAILING/ HANDRAIL SYSTEM	22	EXISTING MASONRY FIRE PIT TO REMAIN	30	NEW MASONRY KNEE WALL WITH STONE CAP, SEE EXTERIOR ELEVATIONS.
11	NEW PLANTERS	23	EXISTING STONE SLAB WALKWAY TO REMAIN	31	INSTALL NEW WOOD HEADER AND JACK STUDS TO SUPPORT THE NEW FRAMED OPENING. IF THIS INCLUDES A MASONRY VENEER, ASS METAL SUPPORT ANGLE OVERHEAD.
12	NEW W8X28 STEEL BEAM, SEE SECTION B ON SHEET A-9.	24	NEW SECOND FLOOR FRAMING - 9.5" TJI FLOOR JOISTS AT 16" O.C.	32	NEW CLASSIC SERIES BILCO STORM DOORS WITH POWDER COATED GREEN FINISH.
		25	EXISTING GAS METER		
		26	EXISTING PAD MOUNTED CONDENSING UNIT		



SEAL

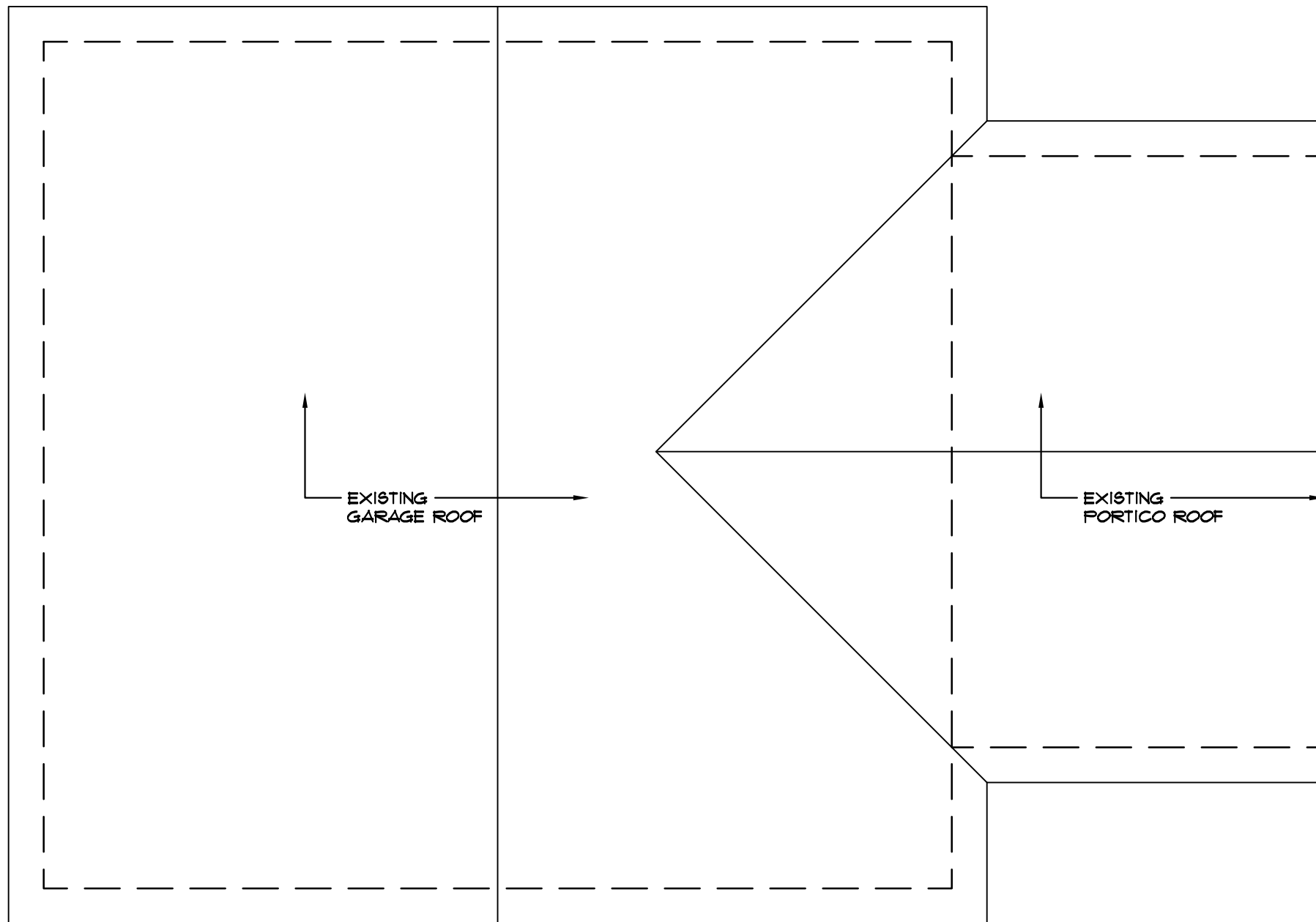
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
FIRST FLOOR PLAN

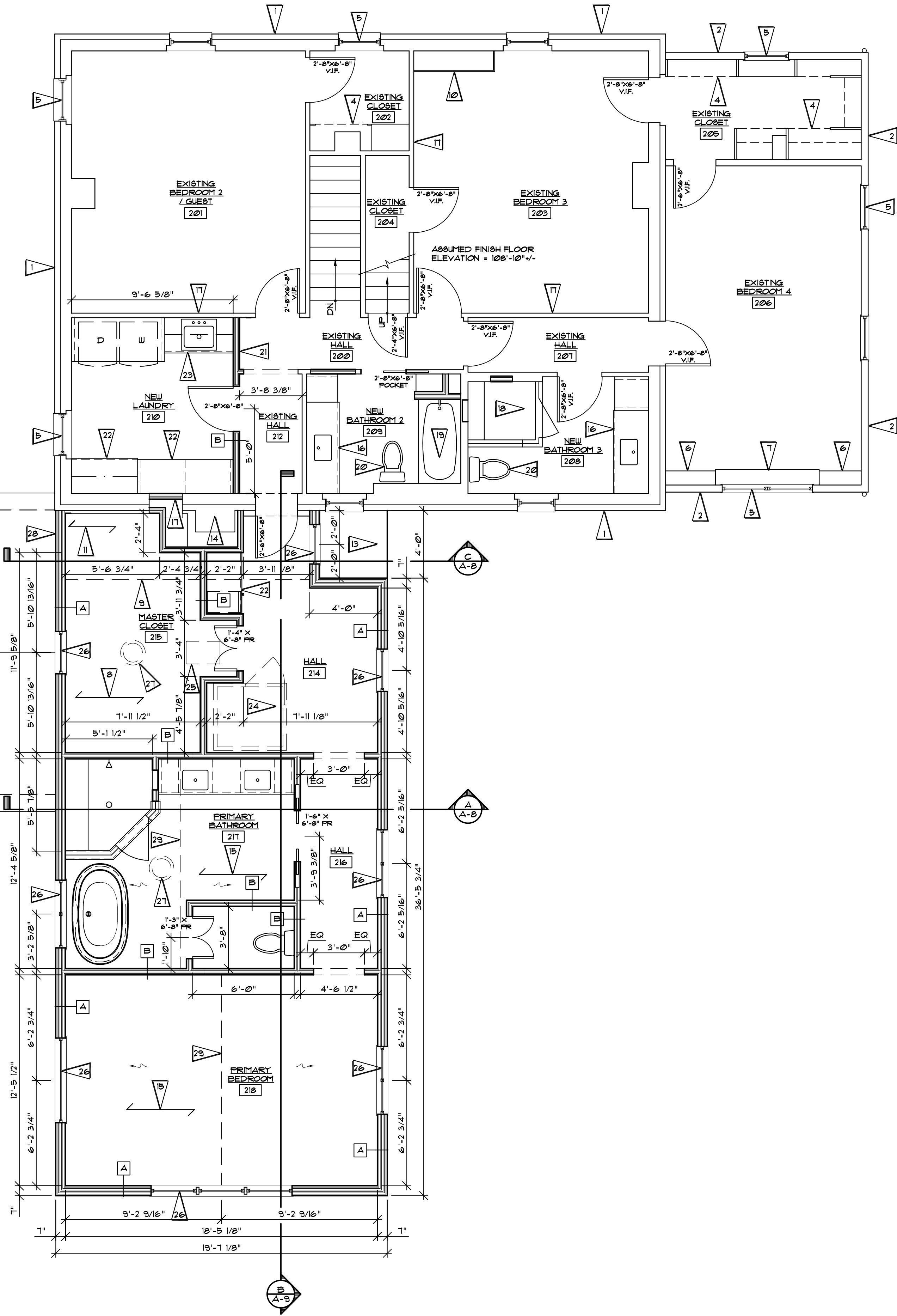
PROJECT NO.
2273
SHEET NO.
A-2

FLAG NOTE SCHEDULE			
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY	16	NEW VANITY SINK, COUNTER AND CABINETRY, SEE INTERIOR DESIGNER DOCUMENTS
2	EXISTING EXTERIOR WOOD FRAMED WALL WITH PAINTED SIDING	17	EXISTING WOOD FRAMED 4 PLASTER WALLS
3	EXISTING MASONRY NON-FUNCTIONING FIREPLACE	18	NEW TILE SHOWER WITH GLASS PANELS, SEE INTERIOR DESIGNER DOCUMENTS
4	EXISTING CLOSET SYSTEM	19	NEW TUB AND TILE SURROUND, VERIFY EXISTING PLUMBING FOR REUSE, SEE INTERIOR DESIGNER DOCUMENTS
5	EXISTING DOUBLE HUNG WINDOW UNIT	20	NEW TOILET AT EXISTING LOCATION, VERIFY EXISTING PLUMBING FOR REUSE
6	EXISTING BUILT-IN BOOKSHELVES	21	NEW DRYWALL AND WOOD STUB WALL ASSEMBLY
7	EXISTING WINDOW SEAT	22	NEW CABINETRY AND COUNTER, SEE INTERIOR DESIGNER DOCUMENTS
8	NEW PRE-ENGINEERED WOOD TRUSSES AT 16" O.C.	23	NEW LAUNDRY SINK, COUNTER AND CABINETRY, SEE INTERIOR DESIGNER DOCUMENTS
9	EDGE OF NEW PAINTED GYP. BD. SOFFIT	24	NEW SAUNA AS SELECTED BY OWNER, COORDINATE NEW WALL LOCATIONS AS REQUIRED, SEE INTERIOR DESIGNER DOCUMENTS
10	EXISTING COUNTER WITH STORAGE CABINETS BELOW	25	NEW 22" X 30" ATTIC ACCESS OPENING ABOVE
11	NEW LOW SLOPE ROOF FRAMING - 2X8 RAFTERS AT 16" O.C. WITH 2X SLOPE WOOD BLOCKING (1/4" PER FOOT)	26	NEW WINDOW UNIT, SEE EXTERIOR ELEVATIONS ON SHEETS A-5, A-6 & A-7 AND WINDOW SCHEDULE ON SHEET A-7 FOR SIZES
12	INFILL EXISTING DOOR OPENING AS REQUIRED TO ALIGN FINISH WALL SURFACES ON BOTH SIDES	27	NEW VELUX SUN TUNNEL (FLEXIBLE) TYPICAL OF 2
13	NEW ROOF BELOW FRAMED WITH 2X6 WOOD RAFTERS AT 16" O.C. SEE SECTION 'C' ON SHEET A-8	28	INSTALL ALUMINUM STEP FLASHING ALONG THE EXISTING ROOF JUNCTION WITH THE NEW EXTERIOR WALL.
14	EXISTING MASONRY CHIMNEY	29	DESIGNATE RIDGE LINE OF CEILING OF NEW DRYWALL CEILING THIS AREA.
15	NEW PRE-ENGINEERED WOOD SCISSOR TRUSSES AT 24" O.C., SEE SECTIONS ON SHEETS A-8 AND A-9.		



SYMBOLS LEGEND	
	- ROOM NAME AND NUMBER
	- ELEVATION - LETTER AND SHEET
	- FLAG NOTE - SEE SCHEDULE THIS SHEET
	- WALL TYPE - SEE SCHEDULE ON SHEET A-2

NORTH
PROPOSED
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



SEAL

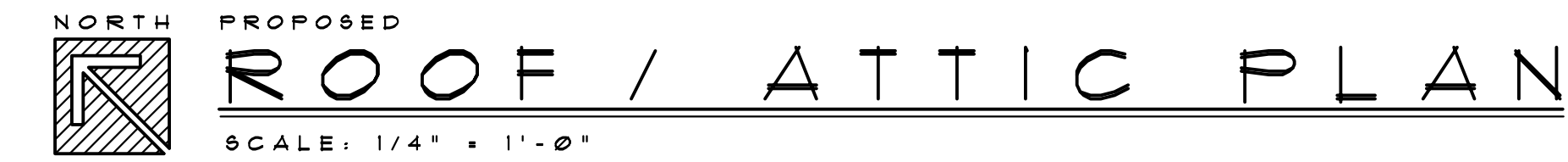
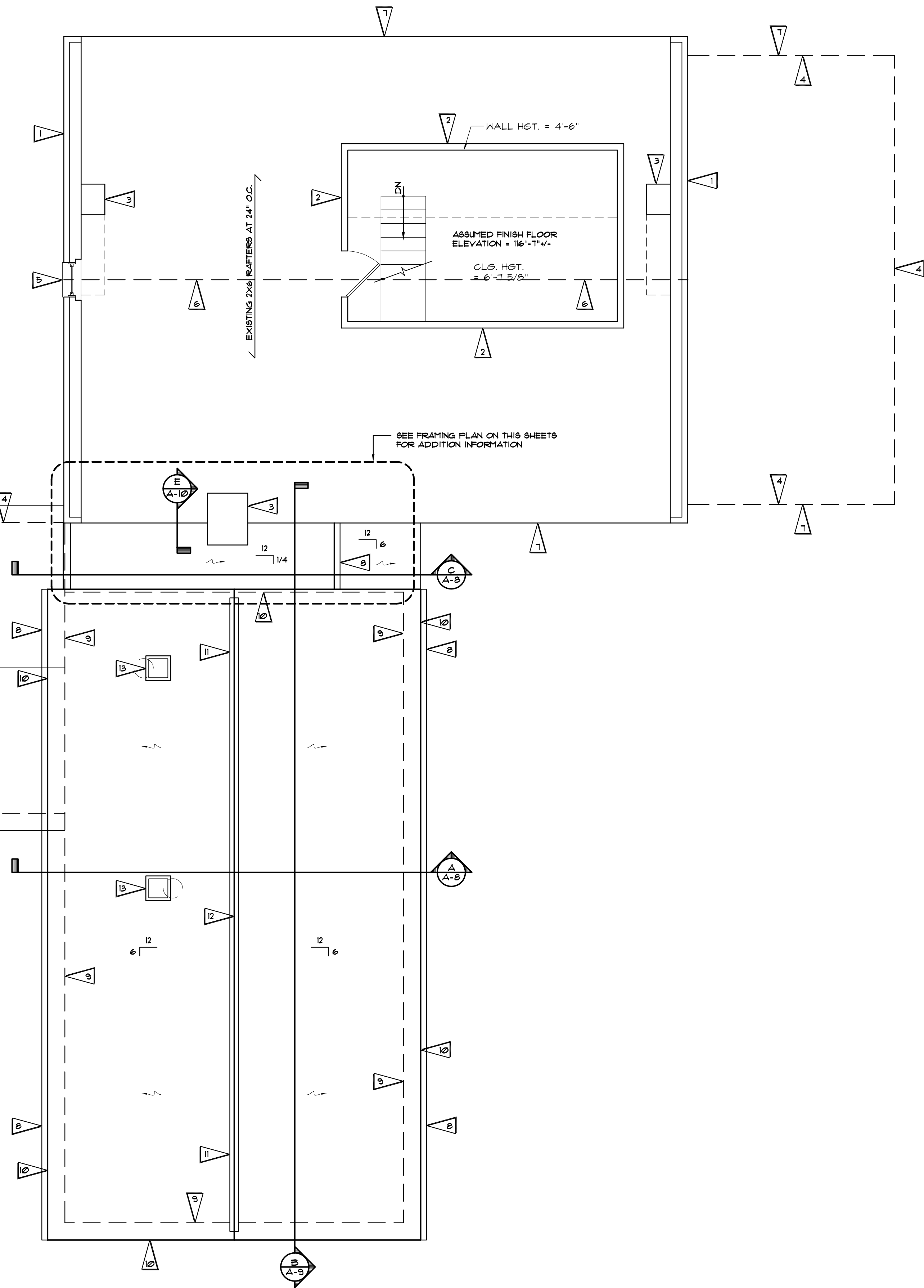
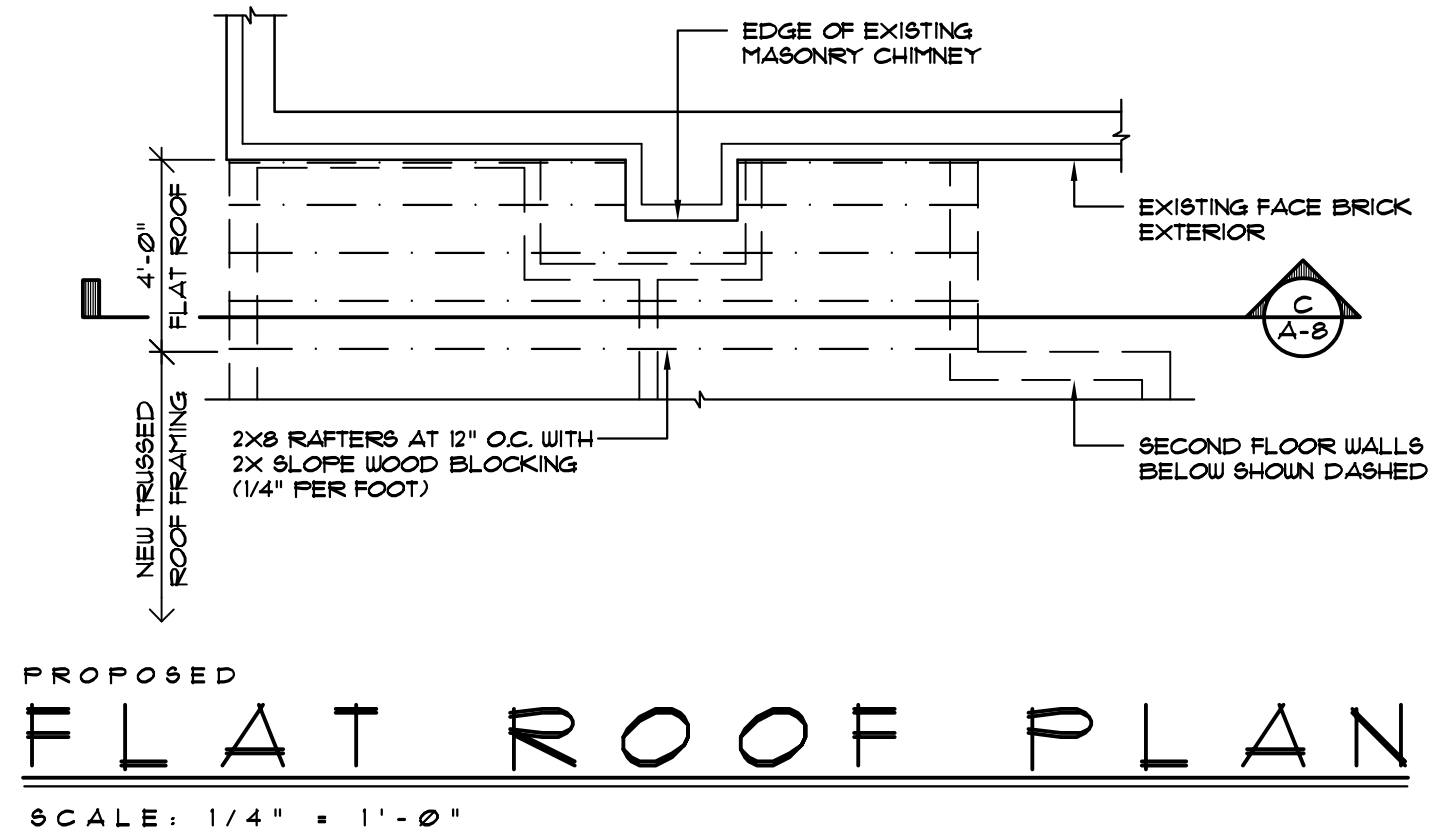
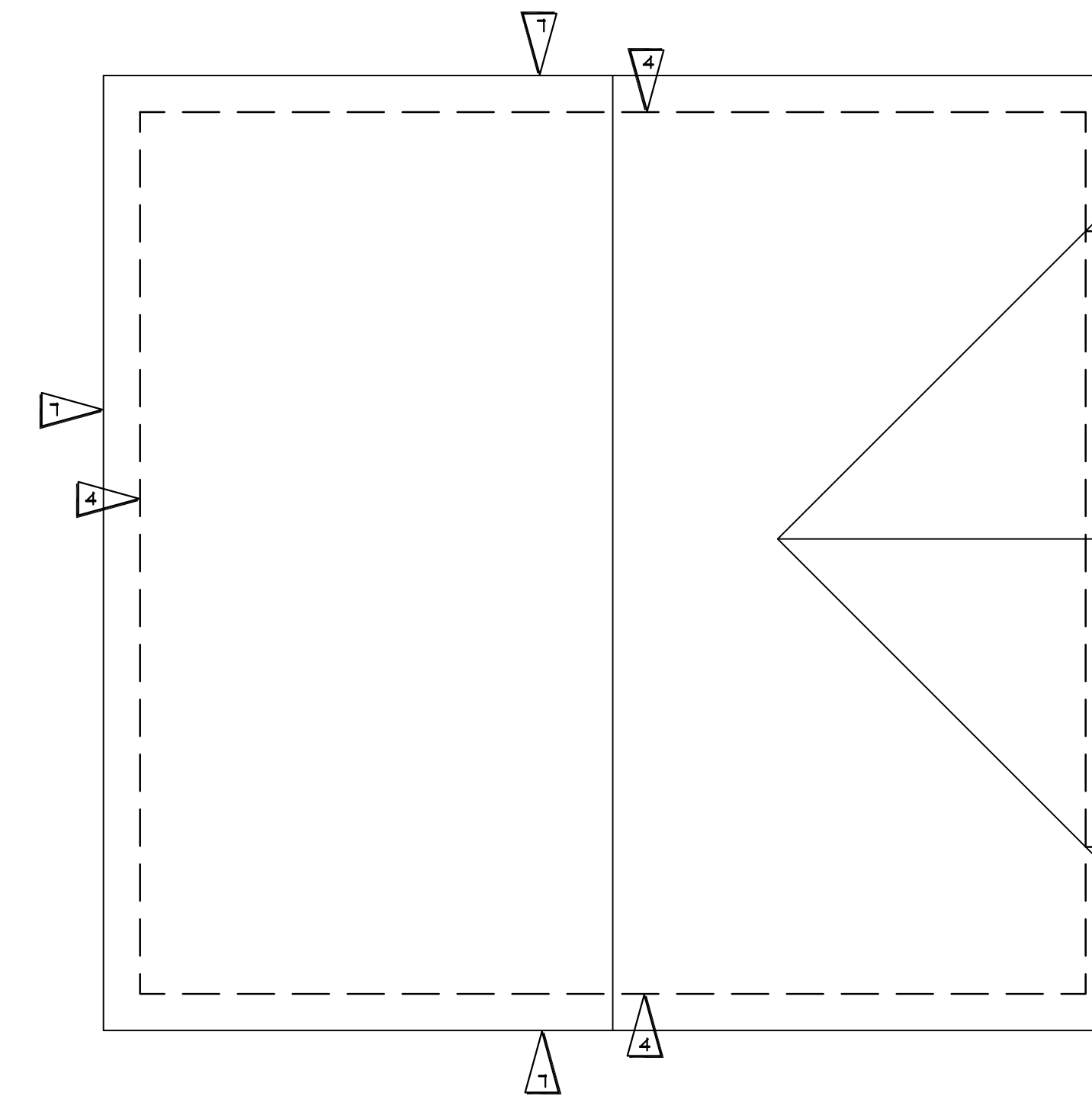
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without prior written permission and proper authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
SECOND FLOOR PLN.

PROJECT NO.
2273
SHEET NO.
A-3

FLAG NOTE SCHEDULE	
1	EXISTING BRICK VENEER EXTERIOR WALL ASSEMBLY
2	EXISTING INTERIOR WOOD FRAMED WALL ASSEMBLY
3	EXISTING MASONRY CHIMNEY
4	EXTERIOR FACE OF EXISTING WALL BELOW
5	EXISTING WINDOW UNIT
6	EXISTING LINE OF ROOF RIDGE ABOVE
7	EDGE OF EXISTING ROOF
8	NEW COPPER (HALF ROUND) GUTTER TO MATCH EXISTING, TYP.
9	EXTERIOR FACE OF NEW WALL BELOW
10	EDGE OF NEW ROOF
11	NEW CONTINUOUS SHINGLE RIDGE VENT
12	NEW ROOF RIDGE
13	NEW VELUX SUN TUNNEL SKYLIGHT (FLEXIBLE DUCT) TYPICAL OF 2



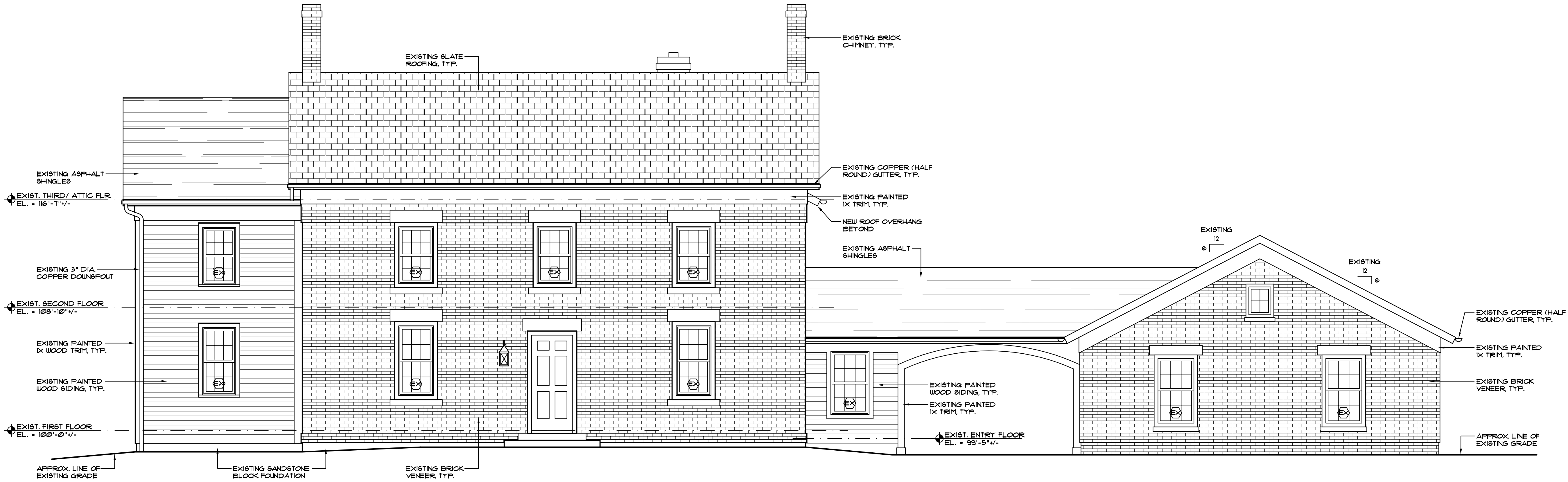
SEAL

David Pelligra Architects, Inc.	ARCHITECTURE • CONSULTING	
	2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223	DATE 09.29.2023
REVISIONS		

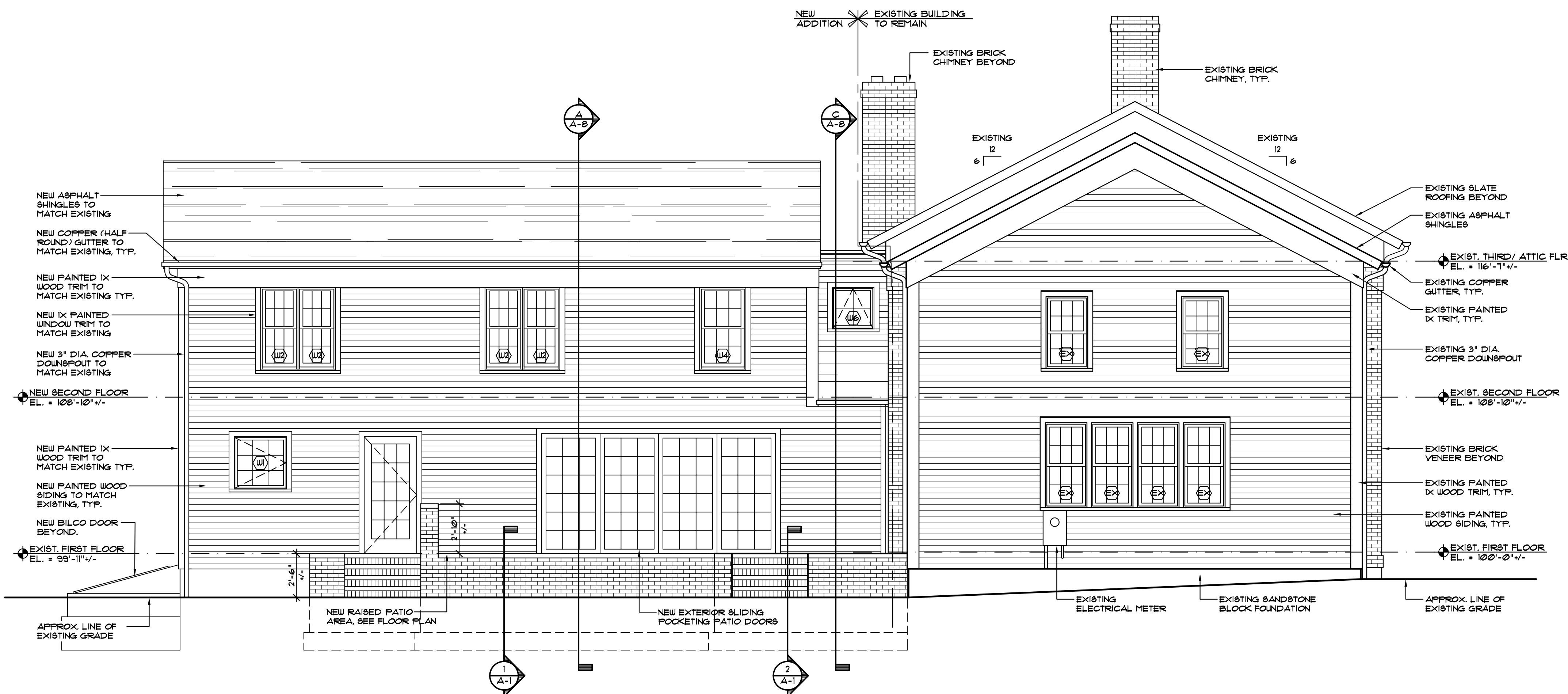
This drawing is the property of David B. Pelligra Architect, Inc. and is confidential and must not be reproduced or revealed to persons without proper authorization.

PROJECT	ADDITION & RENOVATION:	
	KING RESIDENCE	7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING	ROOF / ATTIC PLAN	

PROJECT NO.	2273
SHEET NO.	A-4



PROPOSED NORTHEAST
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTHEAST
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

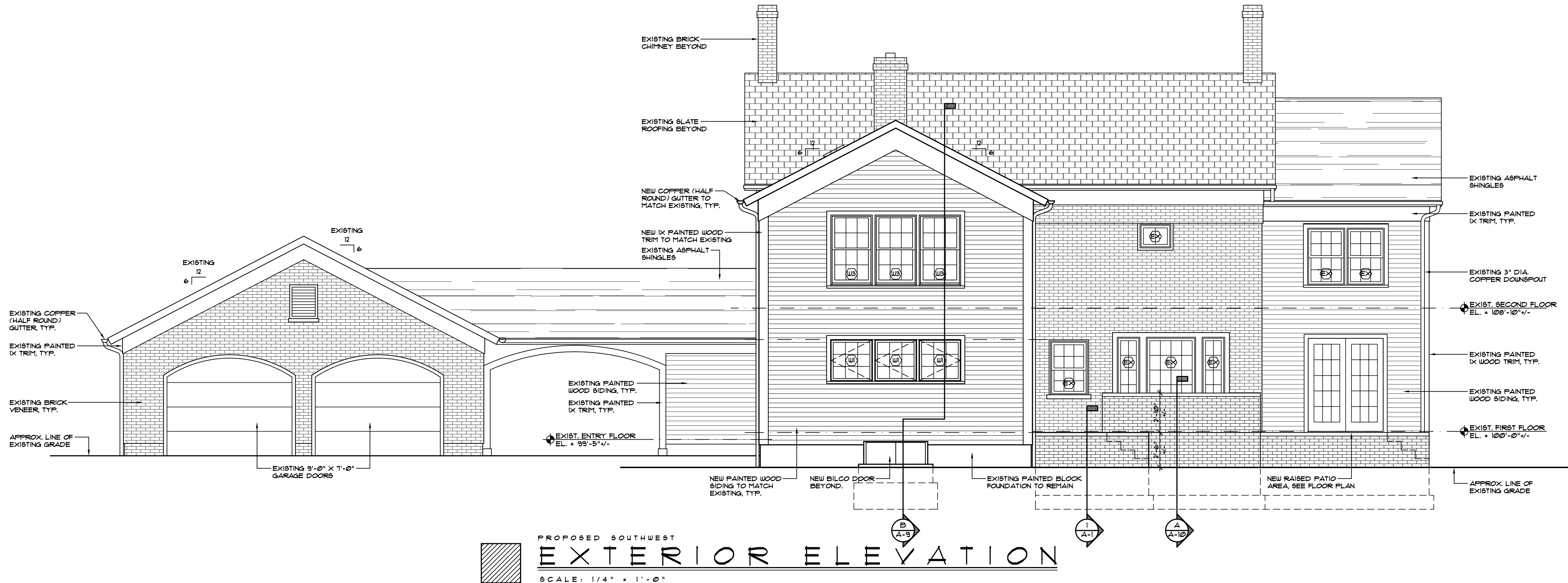
SEAL

David Pelligra Architects, Inc.	ARCHITECTURE • CONSULTING	DATE
	2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223	09.29.2023
	REVISIONS	

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT	ADDITION & RENOVATION:	DRAWING
	KING RESIDENCE	
	7238 VALLEY VIEW ROAD HUDSON, OH 44236	
EXTERIOR ELEVATIONS		

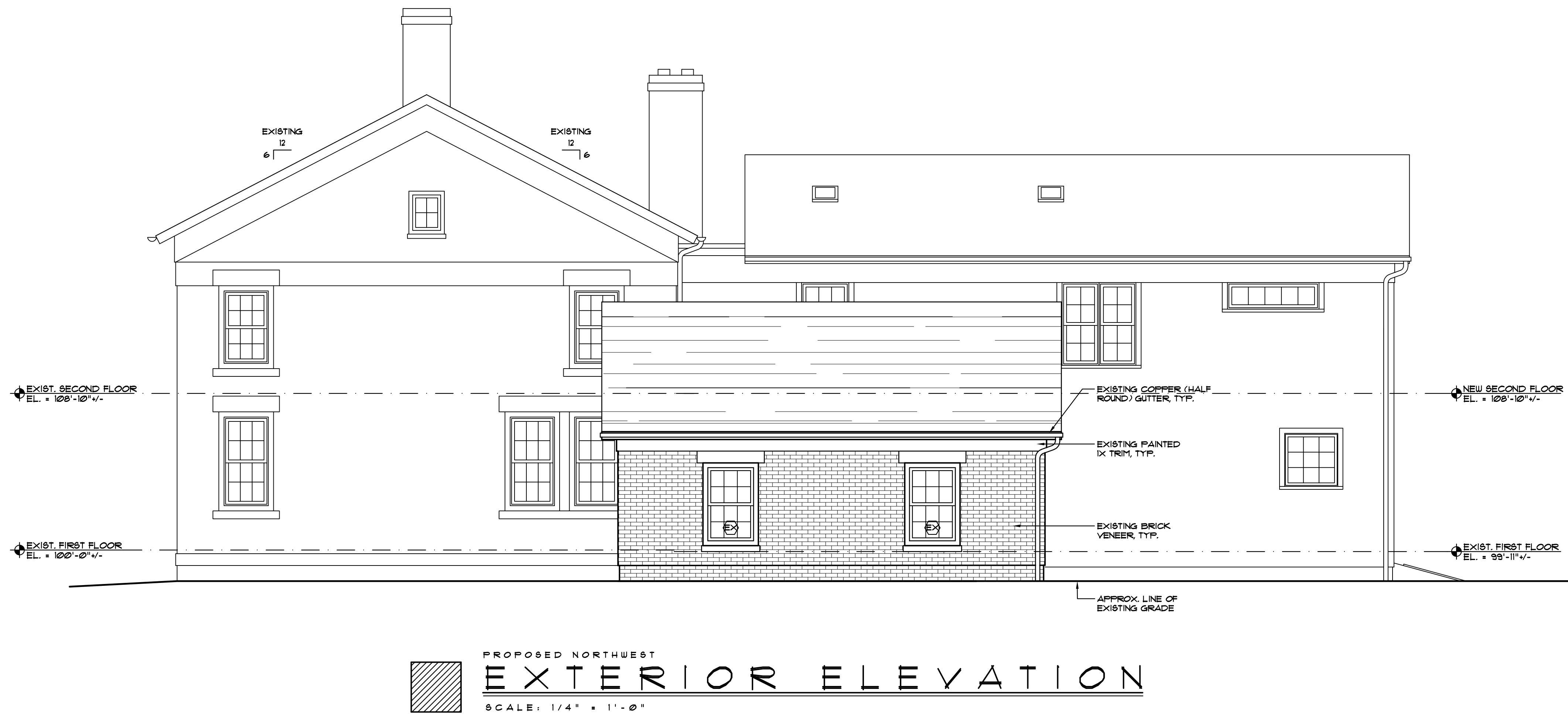
PROJECT NO.
2273
SHEET NO.
A-5



SEAL

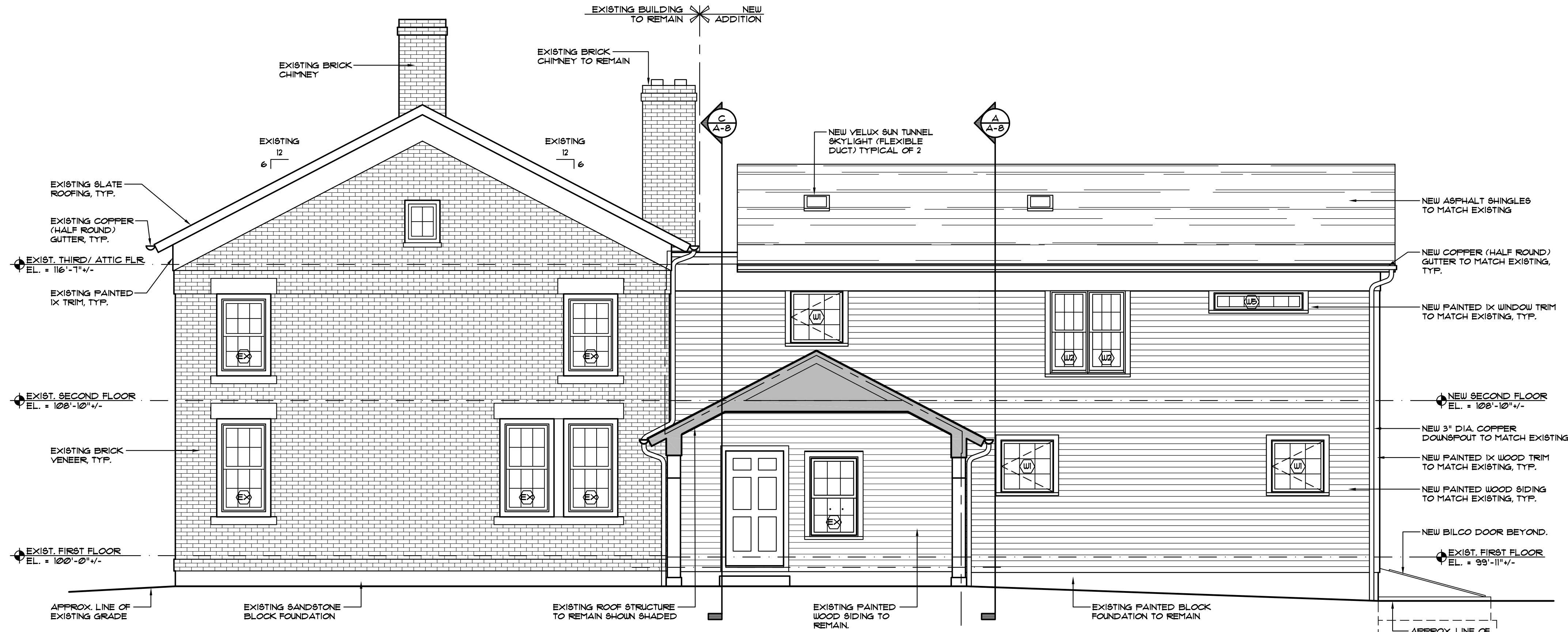
David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architects, Inc. and is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.



PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
EXTERIOR ELEVATIONS

PROJECT NO.
2273
SHEET NO.
A-6



PROPOSED NORTHWEST
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	MODEL NUMBER	UNIT DIMENSIONS	EGRESS UNIT	WINDOW TYPE	REMARKS
(W)	CXW13	2'-11 15/16" X 2'-11 15/16"		CASEMENT	
(W)	TU2046	2'-1 5/8" X 4'-8 7/8"		DOUBLE HUNG	
(W)	TU210410	2'-11 5/8" X 5'-0 7/8"	O	DOUBLE HUNG	
(W)	TU2646	2'-7 5/8" X 4'-8 7/8"		DOUBLE HUNG	
(W)	CTR5110	5'-0 1/2" X 1'-0"		TRANSOM	
(W)	AW251	2'-4 3/8" X 2'-4 3/8"		AWNING	
(W)	CUSTOM	8'-0" X 6'-8"		PICTURE	
(EX)	EXISTING TO REMAIN				
NOTES: 1. BASIS OF WINDOW TYPES = ANDERSON 400 SERIES WINDOWS.					

SEAL

David Pelligra Architects, Inc.

ARCHITECTURE • CONSULTING

2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223

REVISIONS

DATE

09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT

ADDITION & RENOVATION:

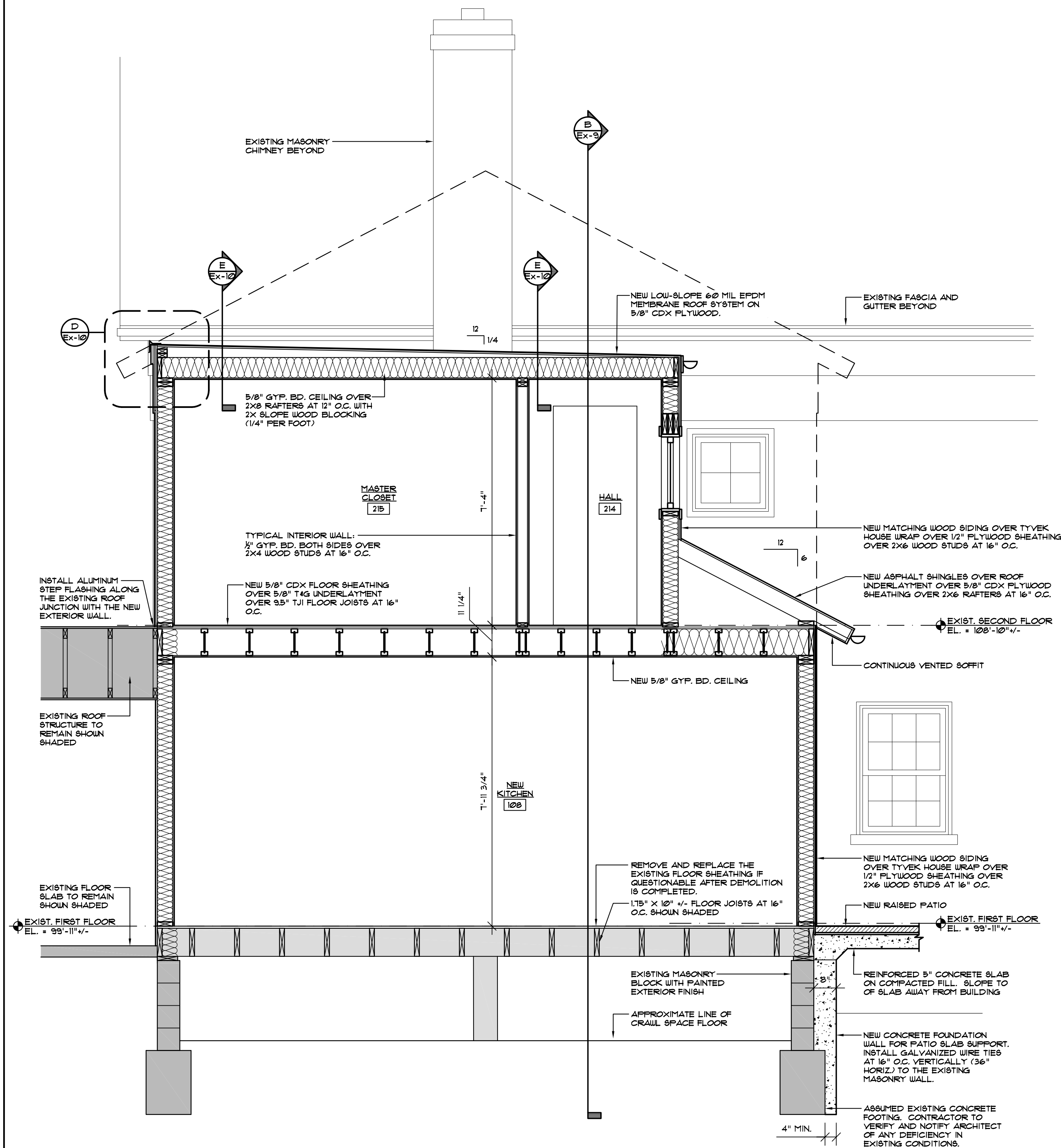
KING RESIDENCE

7238 VALLEY VIEW ROAD HUDSON, OH 44236

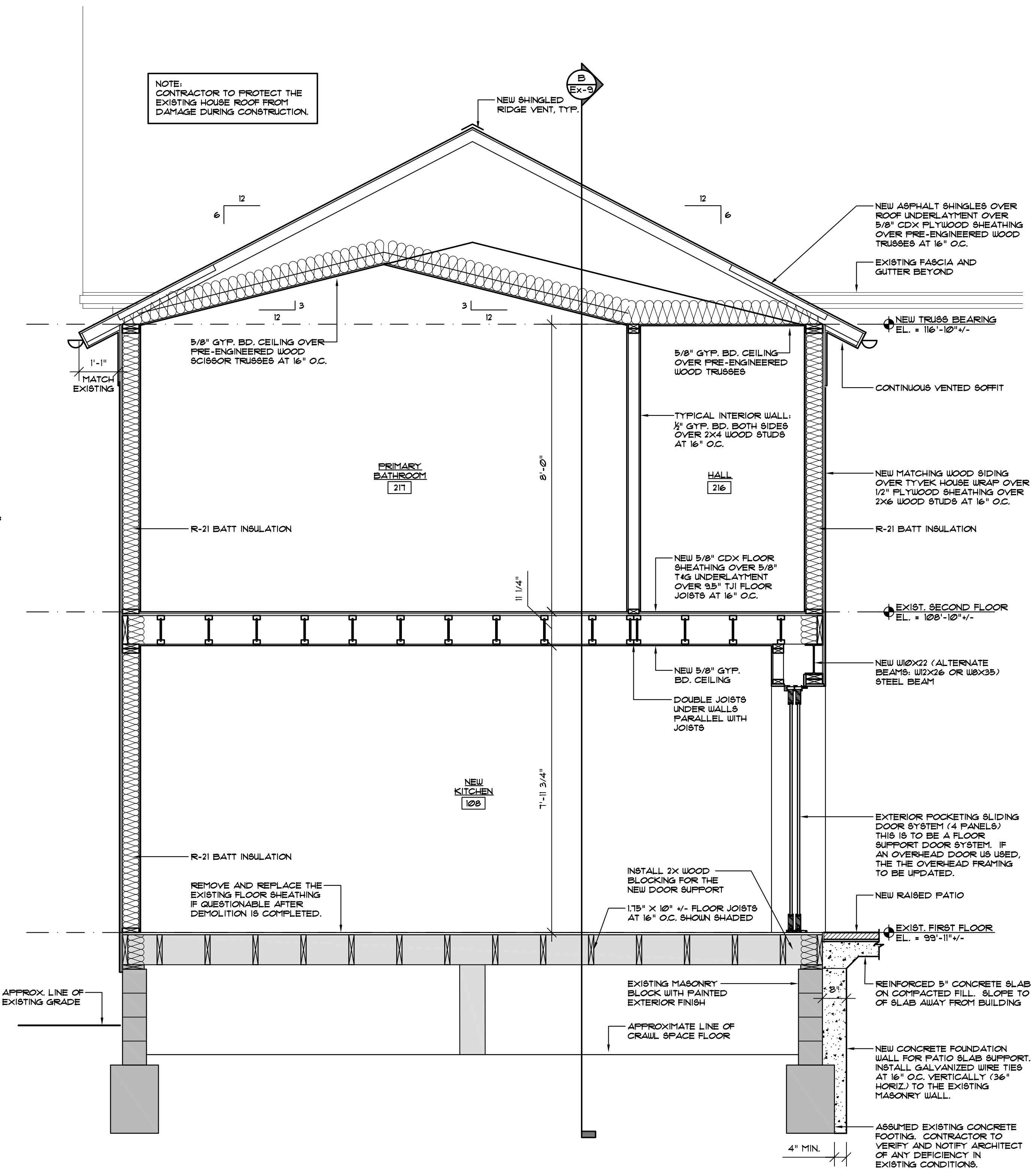
DRAWING

EXTERIOR ELEVATIONS

PROJECT NO.
2273
SHEET NO.
A-7



PROPOSED
C-A-8 BUILDING SECTION
SCALE: 1/2" = 1'-0"



PROPOSED
A-A-8 BUILDING SECTION
SCALE: 1/2" = 1'-0"

SEAL

David Pelligra Architects, Inc.

ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223

REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architects, Inc. and is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

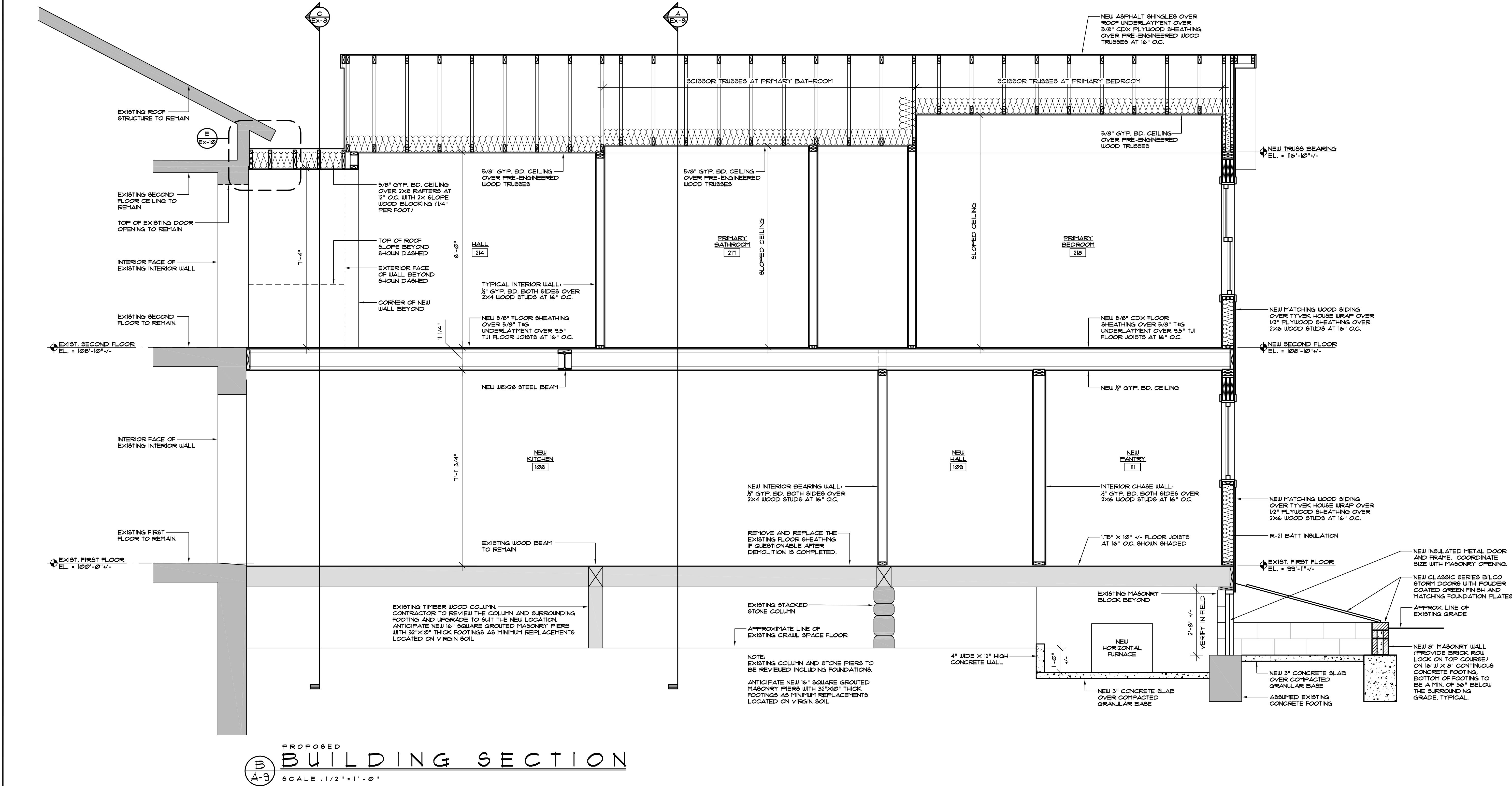
PROJECT
ADDITION & RENOVATION:

KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236

DRAWING
PROPOSED SECTIONS

PROJECT NO.
2273
SHEET NO.

A-8



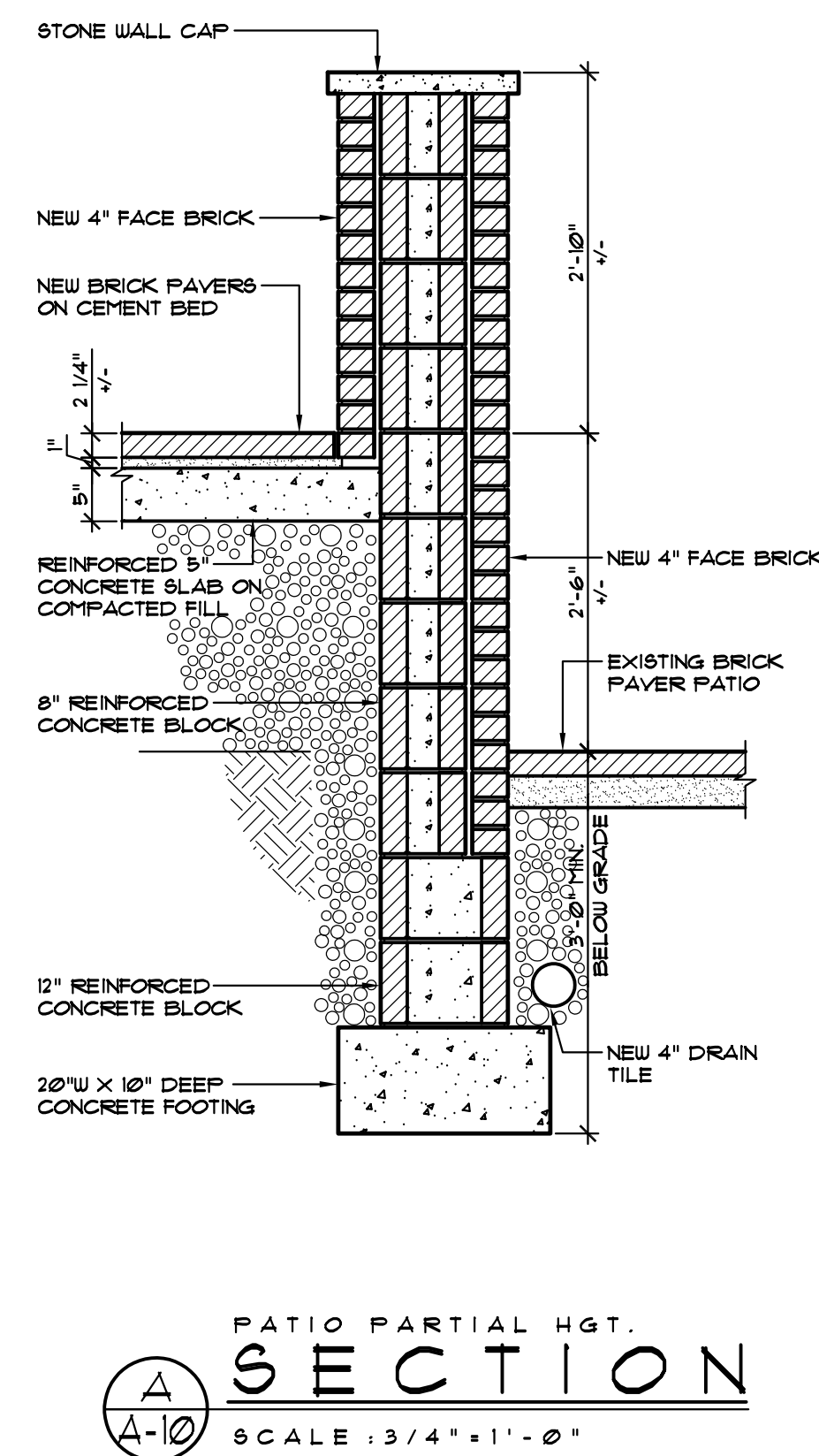
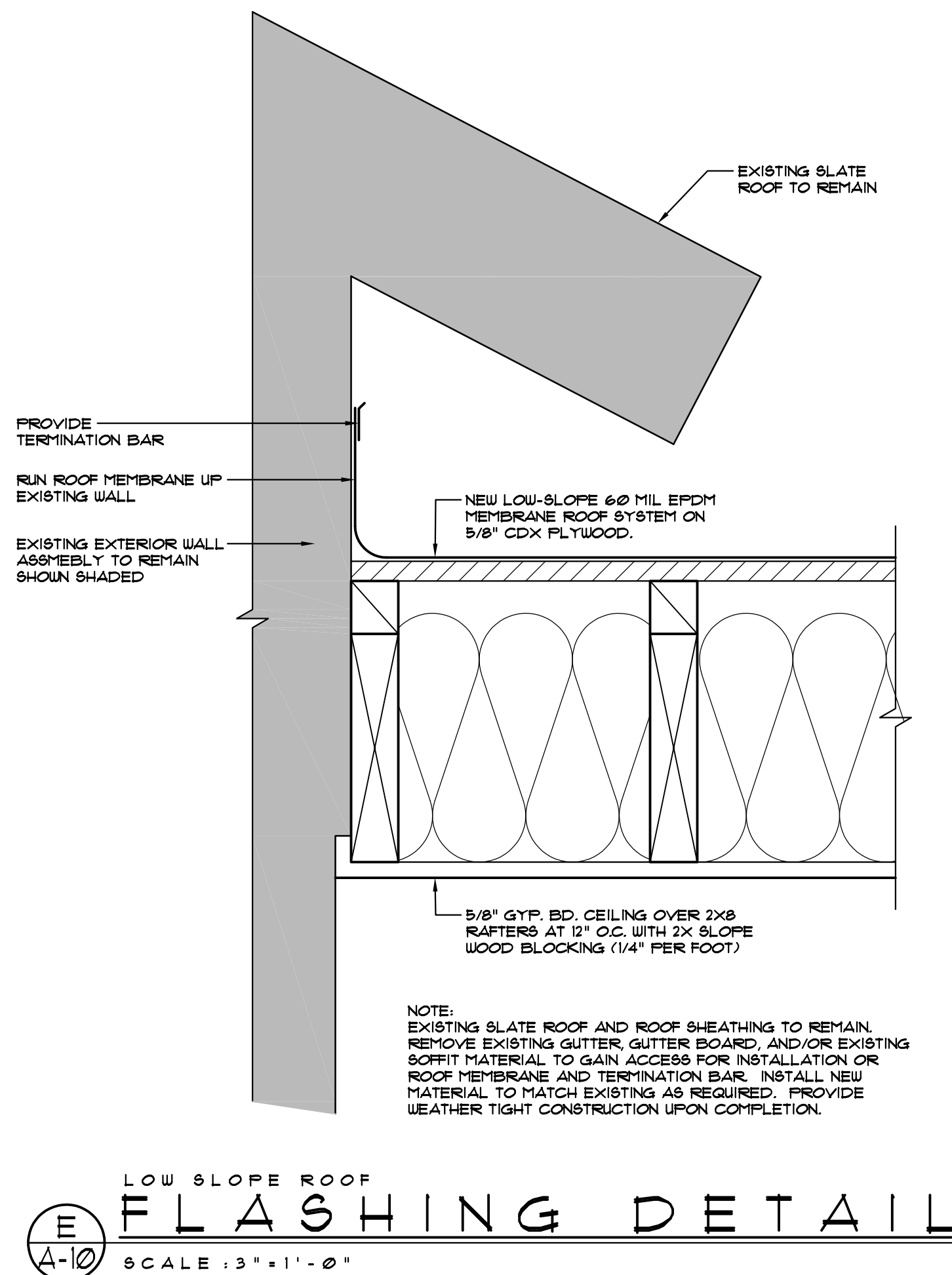
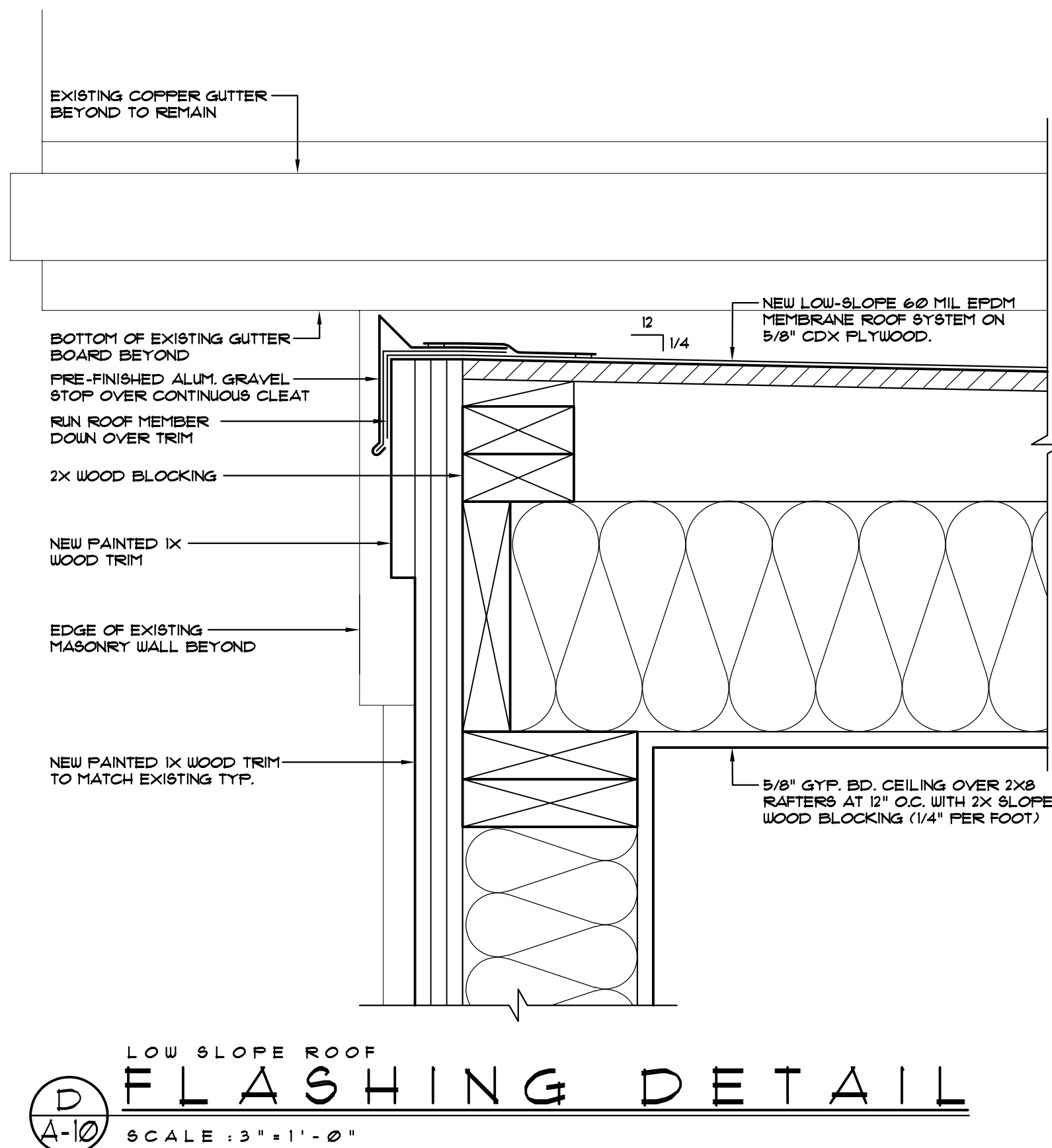
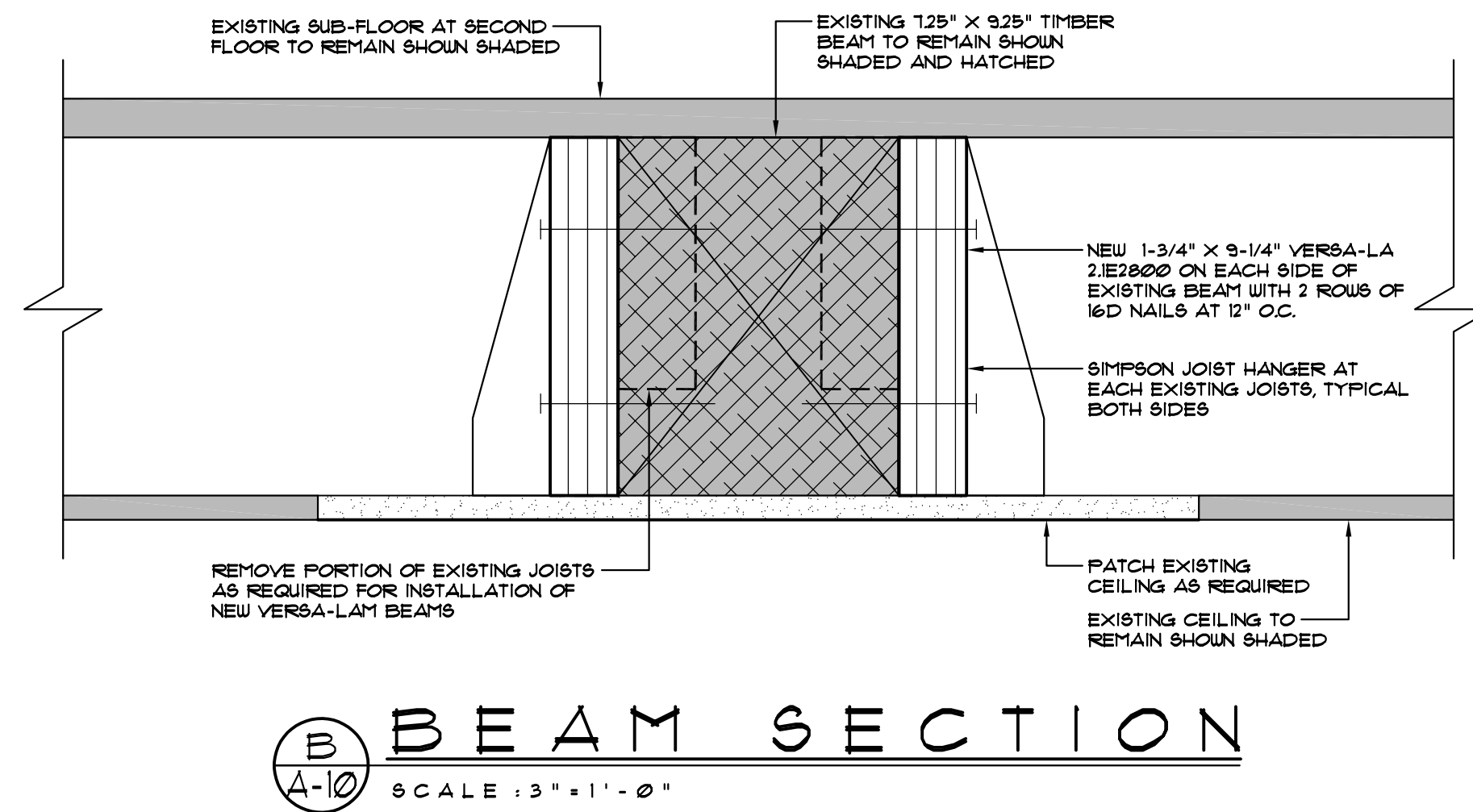
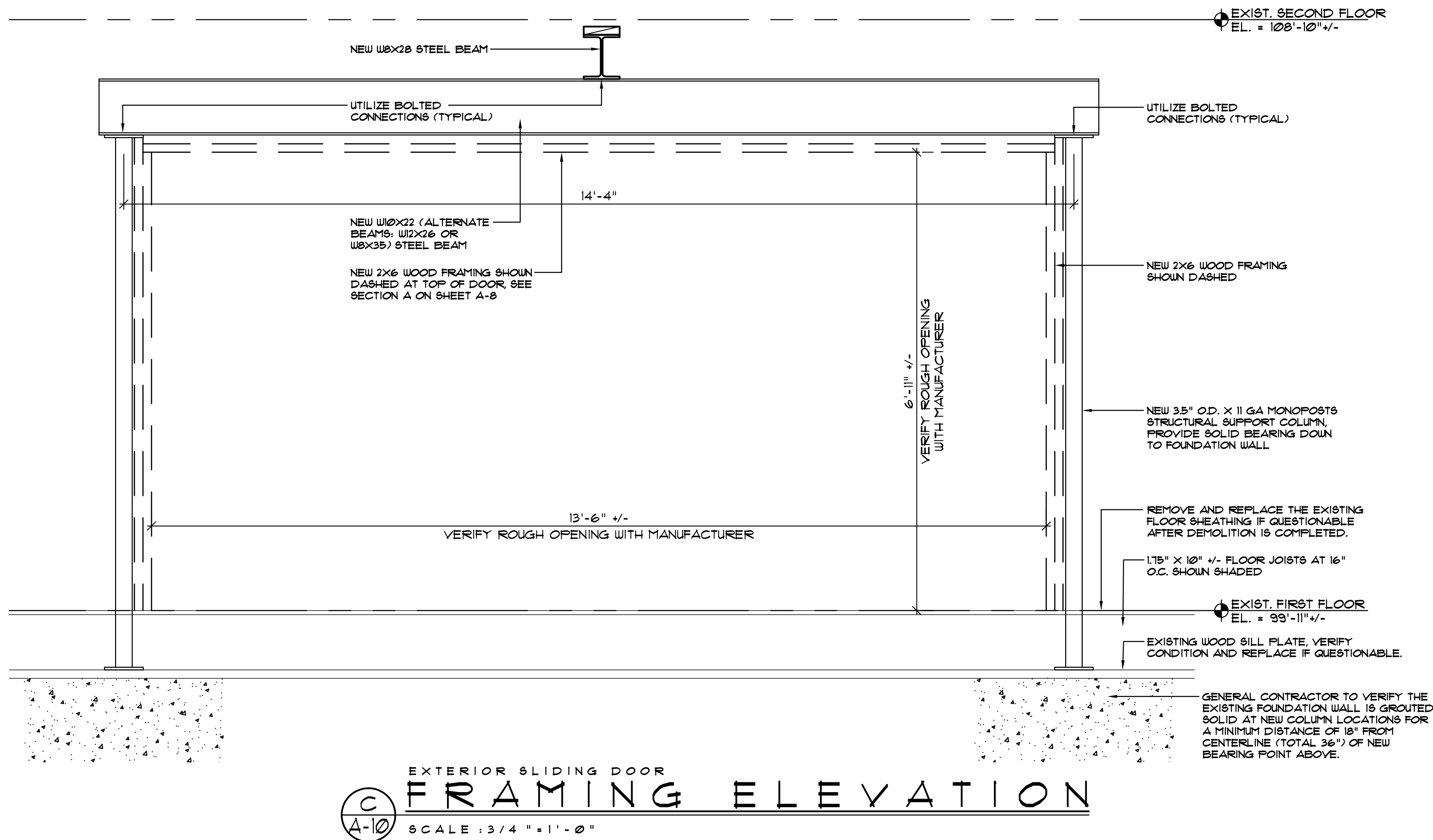
SEAL

David Pelligra Architects, Inc.
ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223
REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT
ADDITION & RENOVATION:
KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236
DRAWING
PROPOSED SECTIONS

PROJECT NO.
2273
SHEET NO.
A-9



SEAL

David Pelligra Architects, Inc.

ARCHITECTURE • CONSULTING
2231 Broad Blvd. • Cuyahoga Falls • Ohio 44223

REVISIONS
DATE
09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

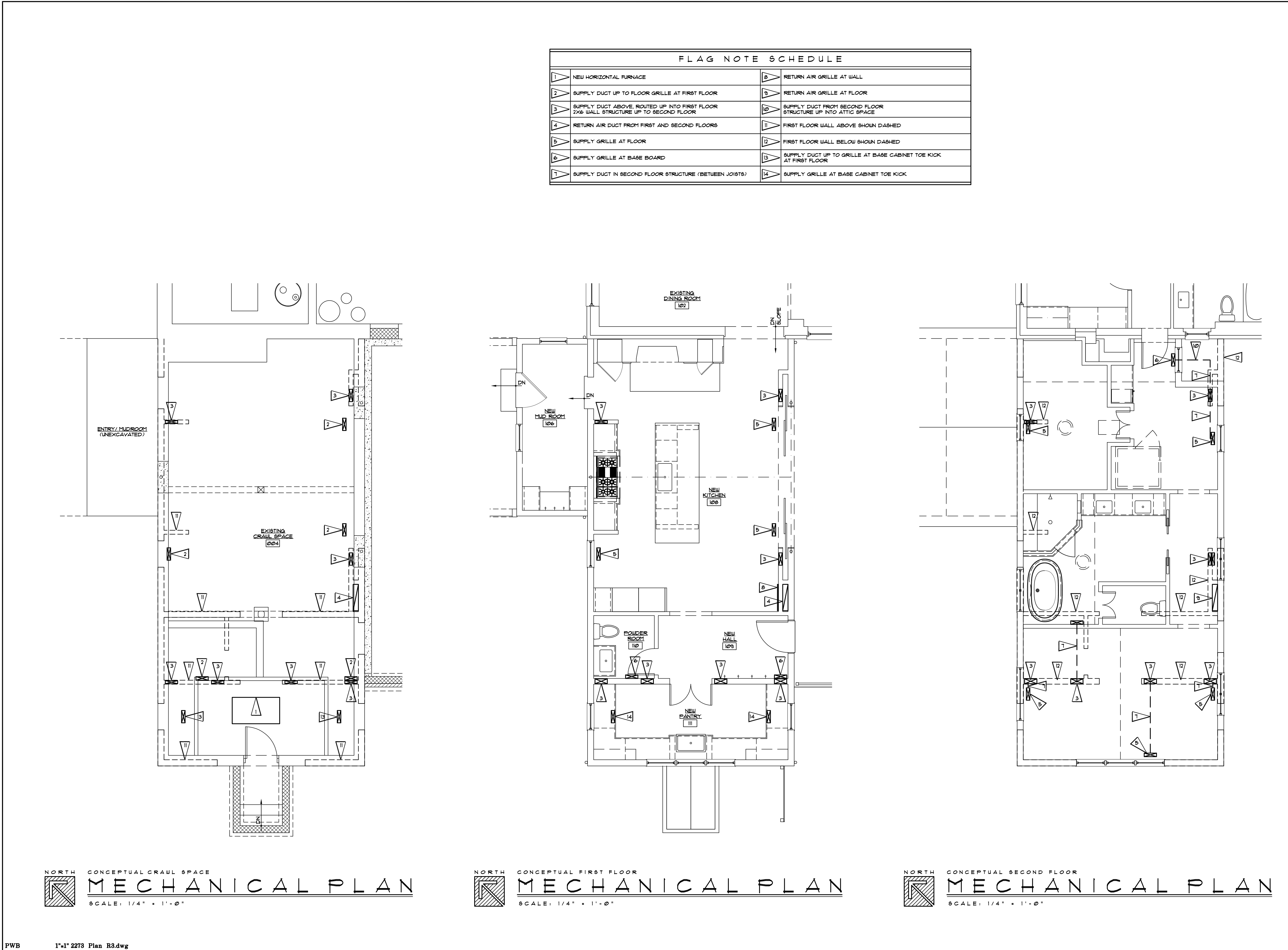
PROJECT
ADDITION & RENOVATION:

KING RESIDENCE
7238 VALLEY VIEW ROAD HUDSON, OH 44236

DRAWING
SECTIONS & DETAILS

PROJECT NO.
2273
SHEET NO.

A-10



FLAG NOTE SCHEDULE			
1	NEW HORIZONTAL FURNACE	8	RETURN AIR GRILLE AT WALL
2	SUPPLY DUCT UP TO FLOOR GRILLE AT FIRST FLOOR	9	RETURN AIR GRILLE AT FLOOR
3	SUPPLY DUCT ABOVE, ROUTED UP INTO FIRST FLOOR 2X6 WALL STRUCTURE UP TO SECOND FLOOR	10	SUPPLY DUCT FROM SECOND FLOOR STRUCTURE UP INTO ATTIC SPACE
4	RETURN AIR DUCT FROM FIRST AND SECOND FLOORS	11	FIRST FLOOR WALL ABOVE SHOWN DASHED
5	SUPPLY GRILLE AT FLOOR	12	FIRST FLOOR WALL BELOW SHOWN DASHED
6	SUPPLY GRILLE AT BASE BOARD	13	SUPPLY DUCT UP TO GRILLE AT BASE CABINET TOE KICK AT FIRST FLOOR
7	SUPPLY DUCT IN SECOND FLOOR STRUCTURE (BETWEEN JOISTS)	14	SUPPLY GRILLE AT BASE CABINET TOE KICK

SEAL

David Pelligra · Architects, Inc. ARCHITECTURE · CONSULTING 2231 Broad Blvd. · Cuyahoga Falls · Ohio 44223	REVISIONS	DATE
		09.29.2023

This drawing is the property of David B. Pelligra Architect. Information contained herein is confidential and must not be reproduced or revealed to unauthorized persons without proper written authorization.

PROJECT ADDITION & RENOVATION: KING RESIDENCE 7238 VALLEY VIEW ROAD HUDSON, OH 44236	DRAWING MECHANICAL PLANS	

PROJECT NO. 2273
SHEET NO. M-1



















