



FRONT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY



REAR ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER.

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER.

1st floor | 3,968 sq. ft.
total | 3,968 sq. ft.
Overall Dimensions: 100'-0" x 71'-0"

CUSTOM DESIGN FOR:
THE FOLEY RESIDENCE
6050 PINE RIDGE TRAIL, HUDSON, OH 44236
JOB# CPR6

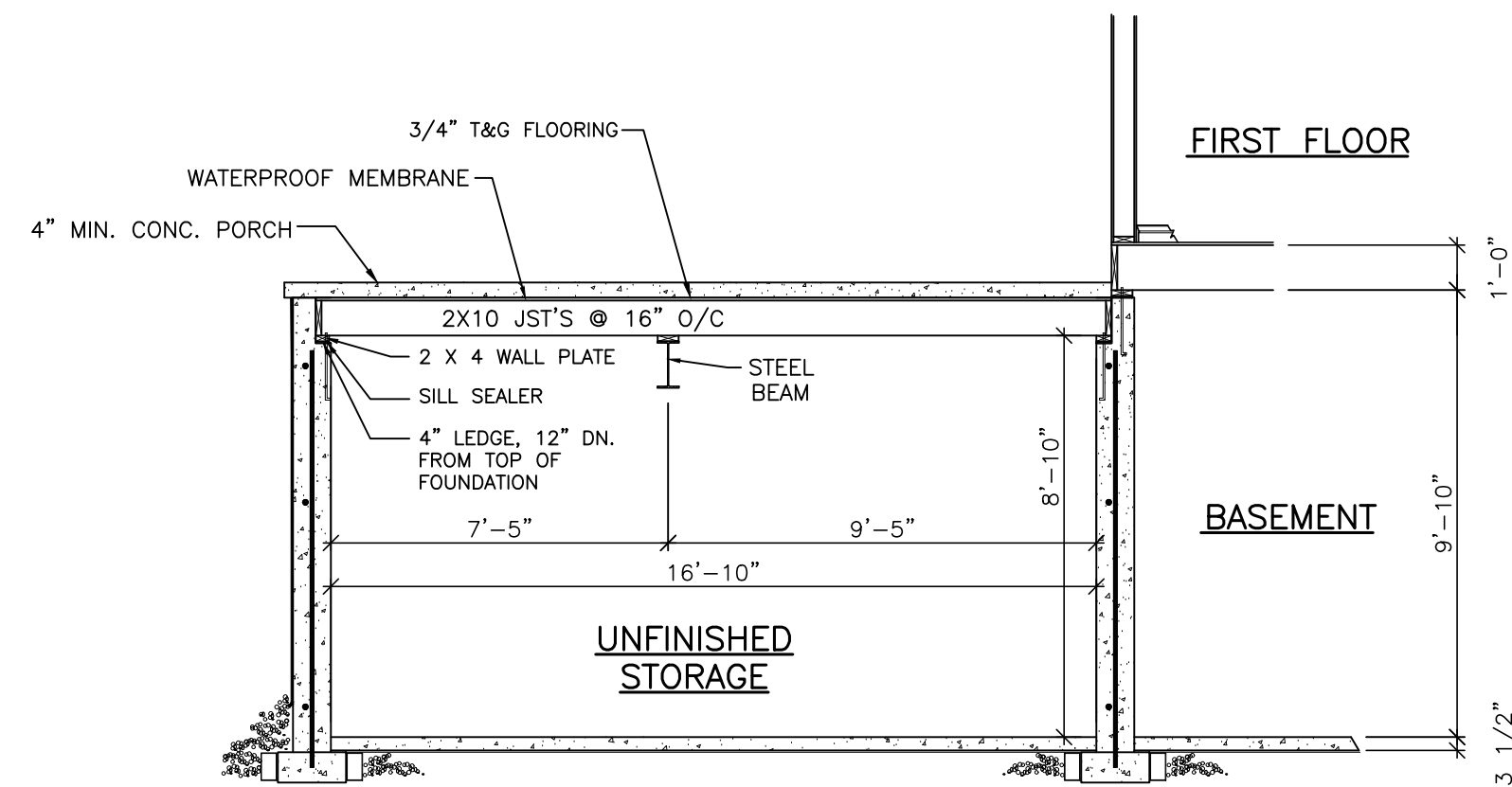
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Custom Home Design & Build
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CUSTOM PLAN
FRONT AND REAR ELEVATION
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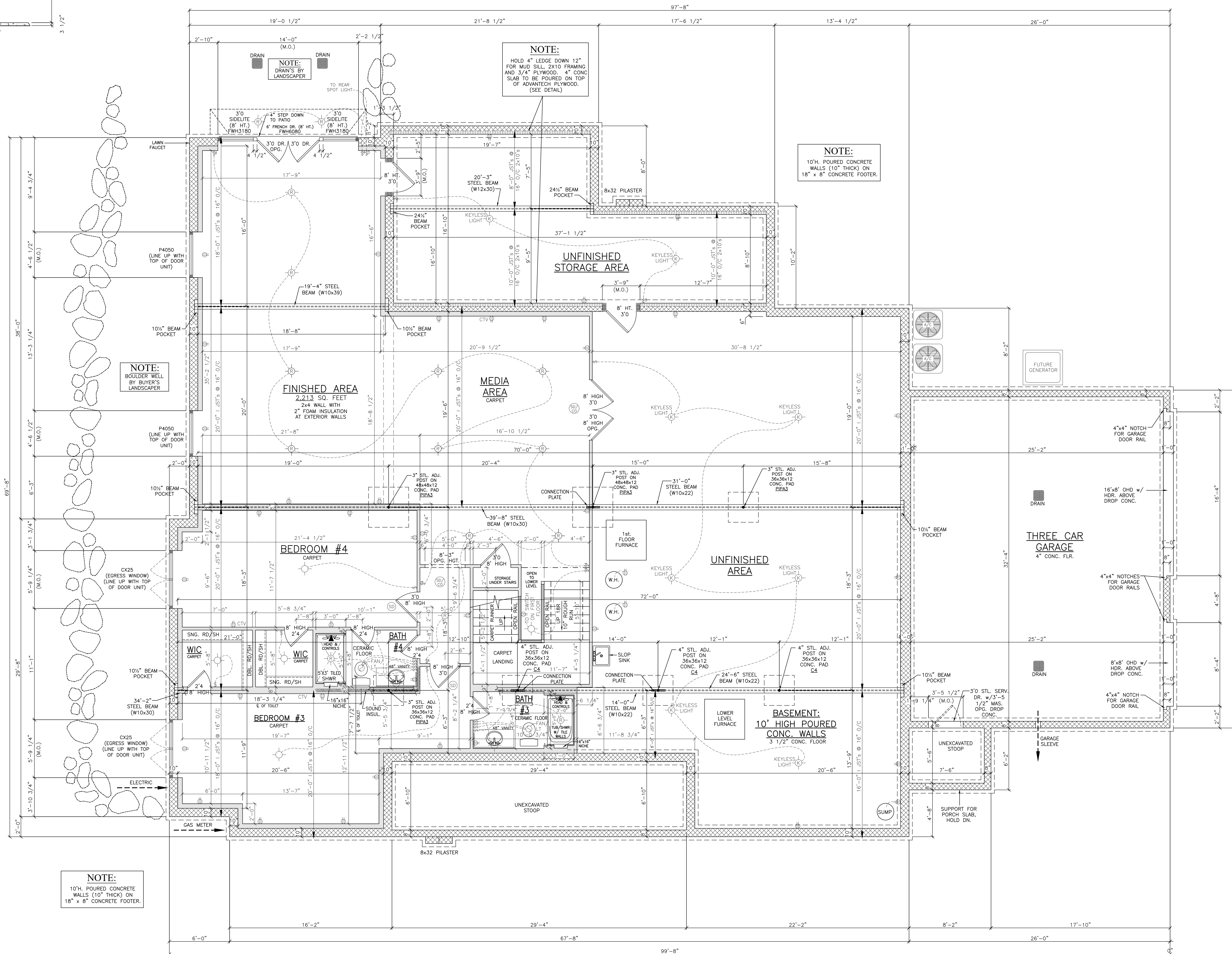
DRAWN BY: MAP
DATE: 10/11/2024

R1	1/7/2025	TJH
R2	2/3/2025	TJH
R3	4/11/2025	TJH
R4	4/22/2025	TJH
R5	4/24/2025	TJH
R6	5/23/2025	JPL
R7	6/10/2025	TJH
R8	7/21/2025	MAP
R9	7/29/2025	MAP
R10	8/28/2025	MAP
R11	9/29/2025	MAP
R12	10/23/2025	MAP
R13	12/15/2025	JPL
R14	1/23/2026	JPL
R15	3/2/2026	MAP
R16	3/18/2026	

LIVING AREA: 3,968 SQ. FT. SCALE: 1/4" = 12"



WALL SECTION AT UNFINISHED STORAGE IN BASEMENT
SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE: (ANDERSEN)
U-FACTOR = .32

CK25	5'-3 1/4" X 5'-0 3/8"
P4050	4'-0 1/2" X 5'-0 3/8"

DOOR SCHEDULE:

FWH3180 (8' HIGH) STATIONARY PANEL	3'-1" X 8'-0"
FWH6080 (8' HIGH) DOUBLE SWING DOOR	6'-0" X 8'-0"

NOTE:

- FULL STONE BAND
- FOUNDATION PERIMETER = 306'-0"
- ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT, EXCEPT AS NOTED.

NOTE:
10% POURED CONCRETE WALLS (10" THICK) ON 18" X 8" CONCRETE FOOTER.

ELECTRICAL NOTES:
400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS PARALLELS & UNDERGROUND
BRANCH CIRCUITS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 210.8
BRANCH CIRCUITS SHALL BE AFCI PROTECTED IN ACCORDANCE WITH NEC 210.12
ARC FAULTS SHALL BE PER NEC 210.16.
OUTLETS TO BE TAMPER-RESISTANT PER NEC 406.12
GROUND TO UFER AND COPPER WATER LINE ENTERING THE HOUSE.

NOTE:
2019 RESIDENTIAL CODE OF OHIO ENERGY METHOD USED = OMBH PATH #1 (CHAPTER 11 SECTION 1112) (INCLUDING ALL MANDATORY REQUIREMENTS)

NOTE:
HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF RCO 311.7.7 AND RCO 312
WALL BRACING FOR ALL EXTERIOR WALLS TO BE 7/16" O.S.B. CONTINUOUS WALL SHEATHING SECURED WITH 1 3/4" LONG CROWN STAPLES
COLD AIR RETURN IN EVERY ROOM AS REQUIRED
SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX LINES FOR WATER LINES THROUGHOUT THE HOUSE.

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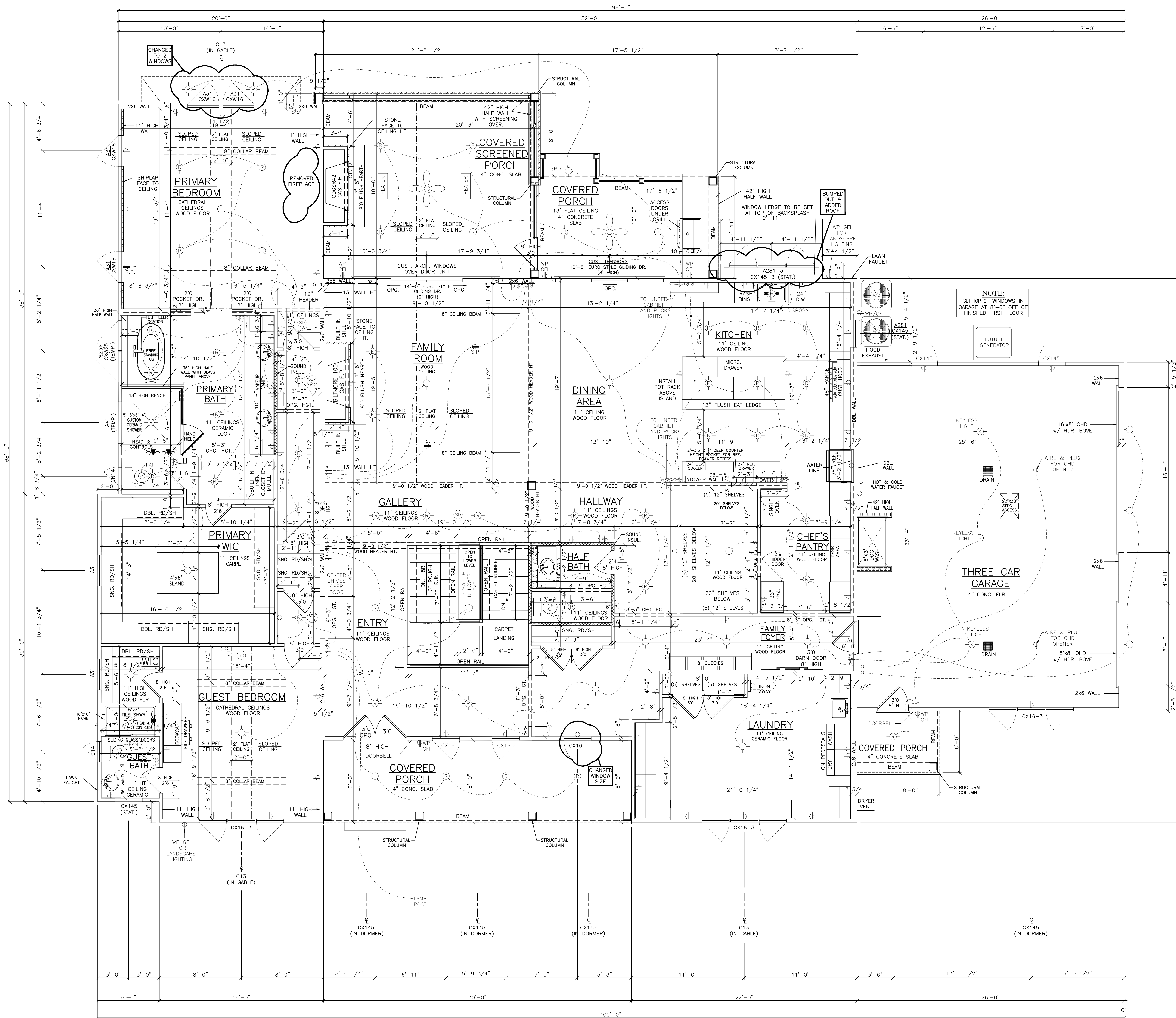
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CUSTOM PLAN
FOUNDATION PLAN
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R13	12/15/2025	JPL
R14	1/23/2026	MAP
R15	3/2/2026	MAP
R16	3/18/2026	

L/MNC AREA: 3,968 SQ. FT. SCALE: 1/4" = 1'-2"



DOOR SCHEDULE:

6'-0" FRONT DOOR DBL. 3'D DR. (8' HIGH)	6'-3 5/8" X 8'-3 1/2"
3'D SERV. DOOR (8' HIGH)	3'-2 1/2" X 8'-3 1/2"
CUSTOM TRANSOM/10'-0" GLIDING PATIO DOOR (8' HIGH)	10'-6 1/8" X 10'-0 7/8"
(3) 3'-0" PANELS	
14'-0" GLIDING PATIO DOOR (9' HIGH)	14'-0" X 9'-0"
(4) 3'-0" PANELS	

WINDOW SCHEDULE: (ANDERSEN)
U-FACTOR = .32

C14	2'-0 5/8" X 4'-0 1/2"
CX145	2'-8" X 4'-5 3/8"
CX16	2'-8" X 6'-0 3/8"
CX16-3	7'-11 1/4" X 6'-0 3/8"
C13	2'-0 5/8" X 3'-0 1/2"
A281/CX145	2'-8" X 6'-5 5/8"
A281-3/CX145-3	7'-11 1/4" X 6'-5 5/8"
A31/CXW16	3'-0 1/2" X 8'-0 5/8"
A31	3'-0 1/2" X 2'-0 5/8"
A231/CXW25	6'-0 1/8" X 7'-0 5/8"
A41	4'-0 1/2" X 2'-0 5/8"
CN14	1'-9" X 4'-0 1/2"
CUSTOM ARCH WINDOWS ABOVE FAMILY ROOM DOORS	(SEE DETAIL PAGE)

NOTE:

- 11' CEILINGS ON FIRST FLOOR, EXCEPT WHERE NOTED.
- FIRST FLOOR SQ. FEET = **3,968**
- PERIMETER = **104'-0"**
- GARAGE SQUARE FEET = **884**
- ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT ON FIRST FLOOR EXCEPT AS NOTED.

ELECTRICAL NOTES:

400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
PARALLEL &
UNDERGROUND

BRANCH CIRCUITS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 210.8

BRANCH CIRCUITS SHALL BE AFCI PROTECTED IN ACCORDANCE WITH NEC 210.12

ARC FAULTS SHALL BE PER NEC 210.16.

OUTLETS TO BE TAMPER-RESISTANT PER NEC 406.12

GROUND TO USER AND COPPER WATER LINE ENTERING THE HOUSE

NOTE:

2019 RESIDENTIAL CODE OF OHIO ENERGY METHOD USED - OHBA PATH #1 (CHAPTER 11 SECTION 1112) (INCLUDING ALL MANDATORY REQUIREMENTS)

NOTE:

HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF RCD 311.7.7 AND RCD 312

WALL BRACING FOR ALL EXTERIOR WALLS TO BE 7/16" O.S.B. CONTINUOUS WALL SHEATHING SECURED WITH 1 3/4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED

SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX LINES FOR WATER LINES THROUGH THE HOUSE

NO PLUMBING IN EXTERIOR WALLS UNLESS PROTECTED FROM FREEZING PER OPC 305.4

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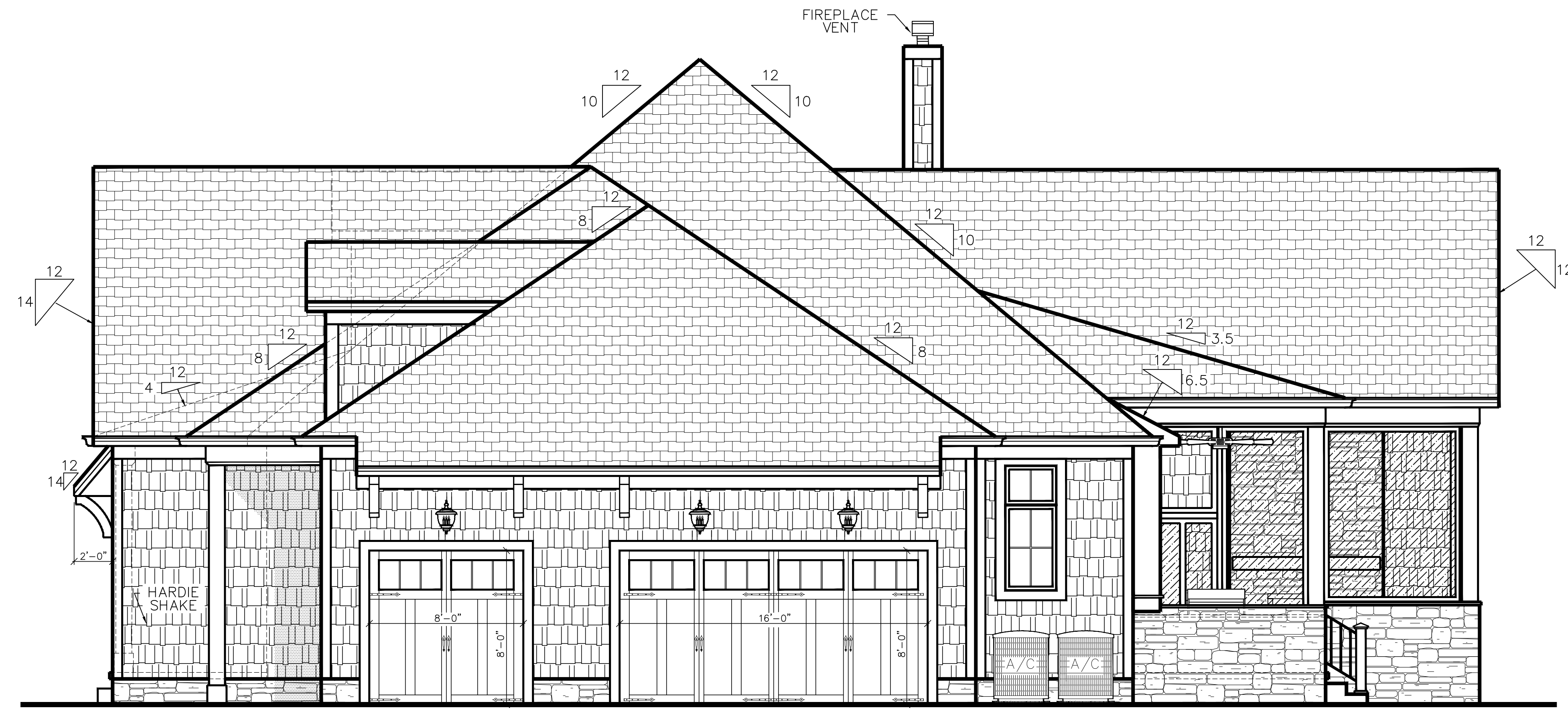
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CUSTOM PLAN
FIRST FLOOR PLAN
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LIVING AREA: 3,968 SQ. FT. SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY



NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER.

LEFT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
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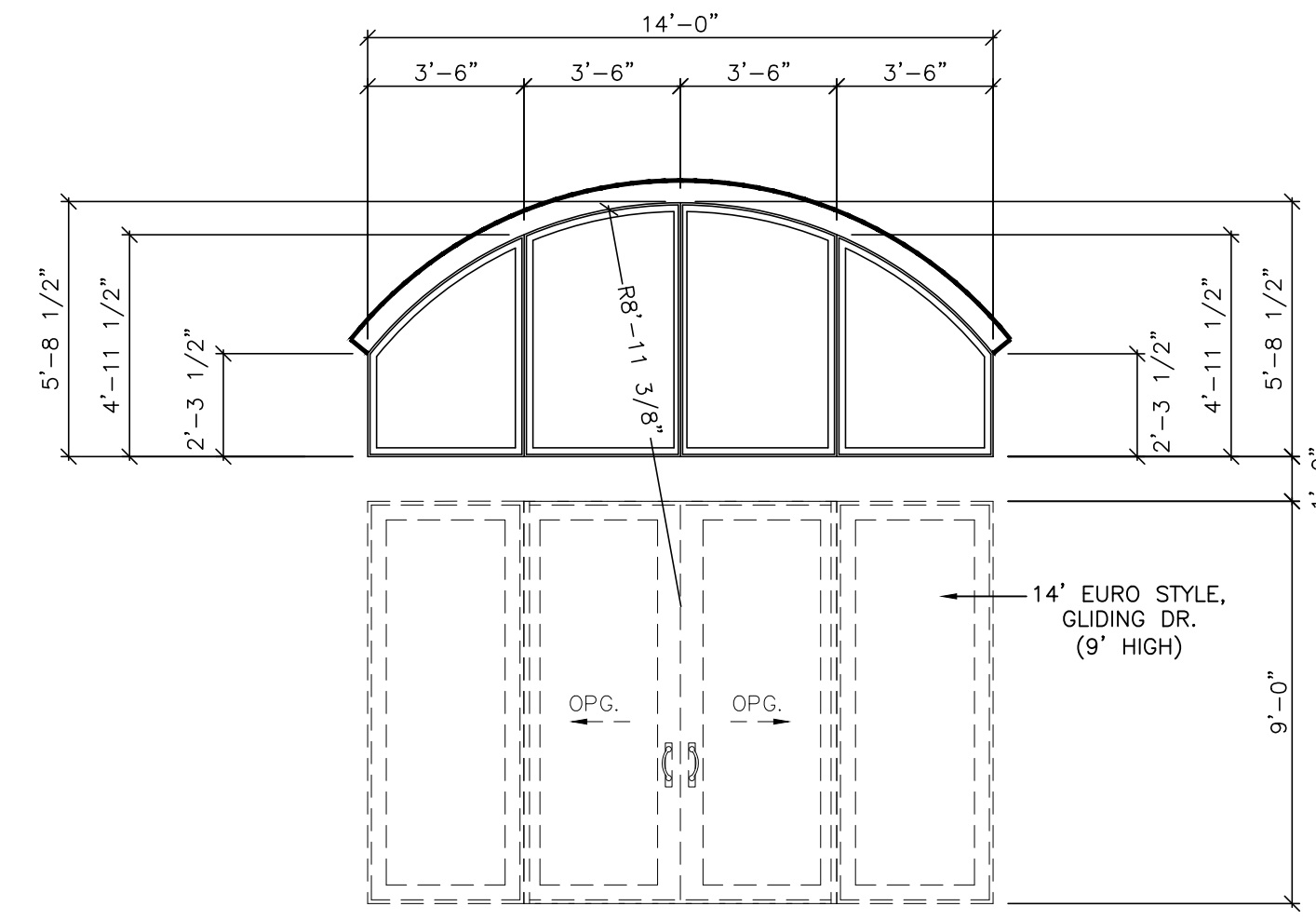
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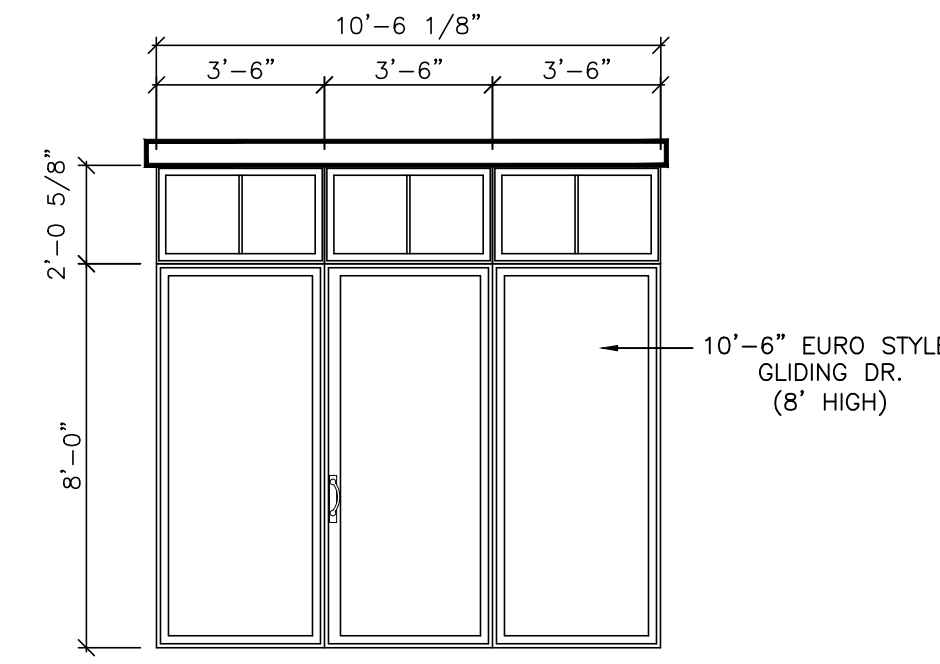
CUSTOM PLAN
SIDE ELEVATIONS

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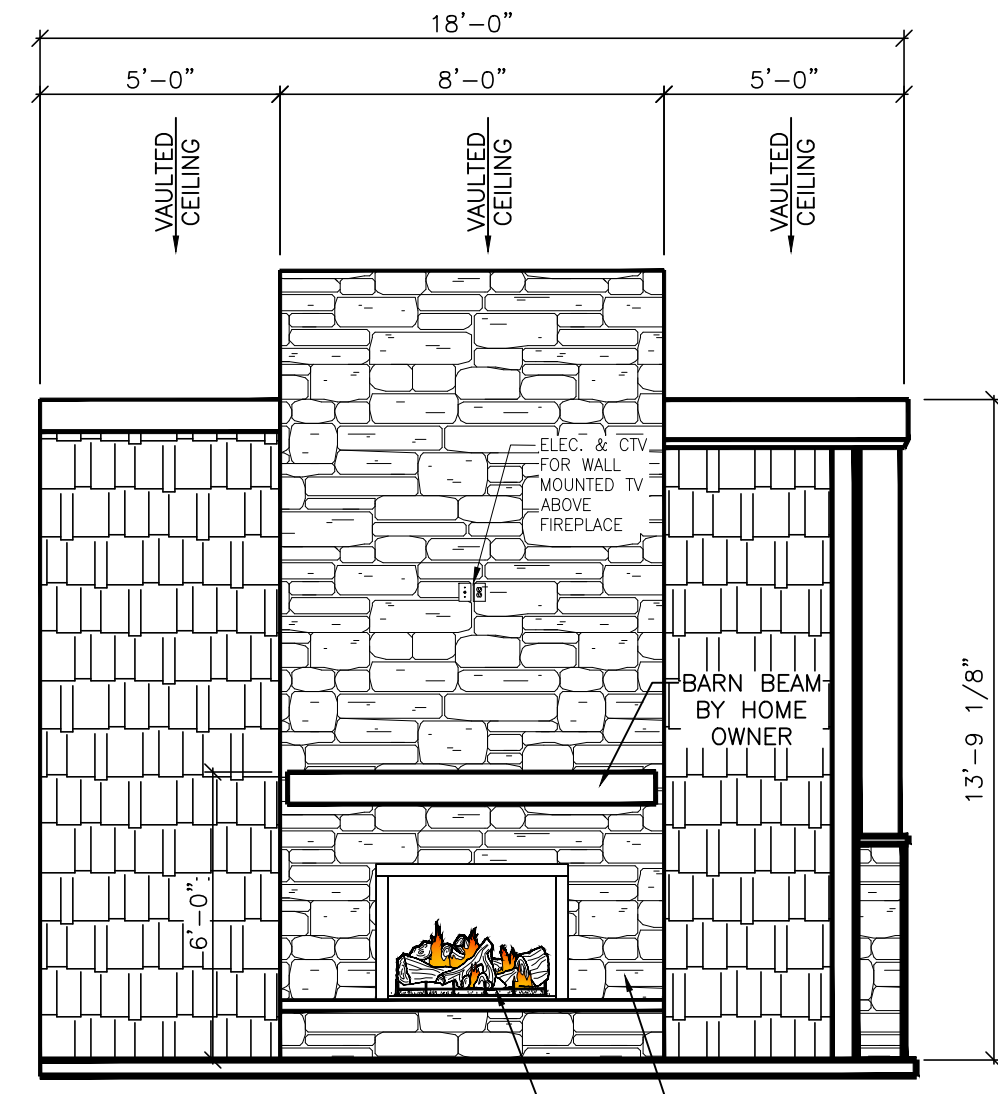
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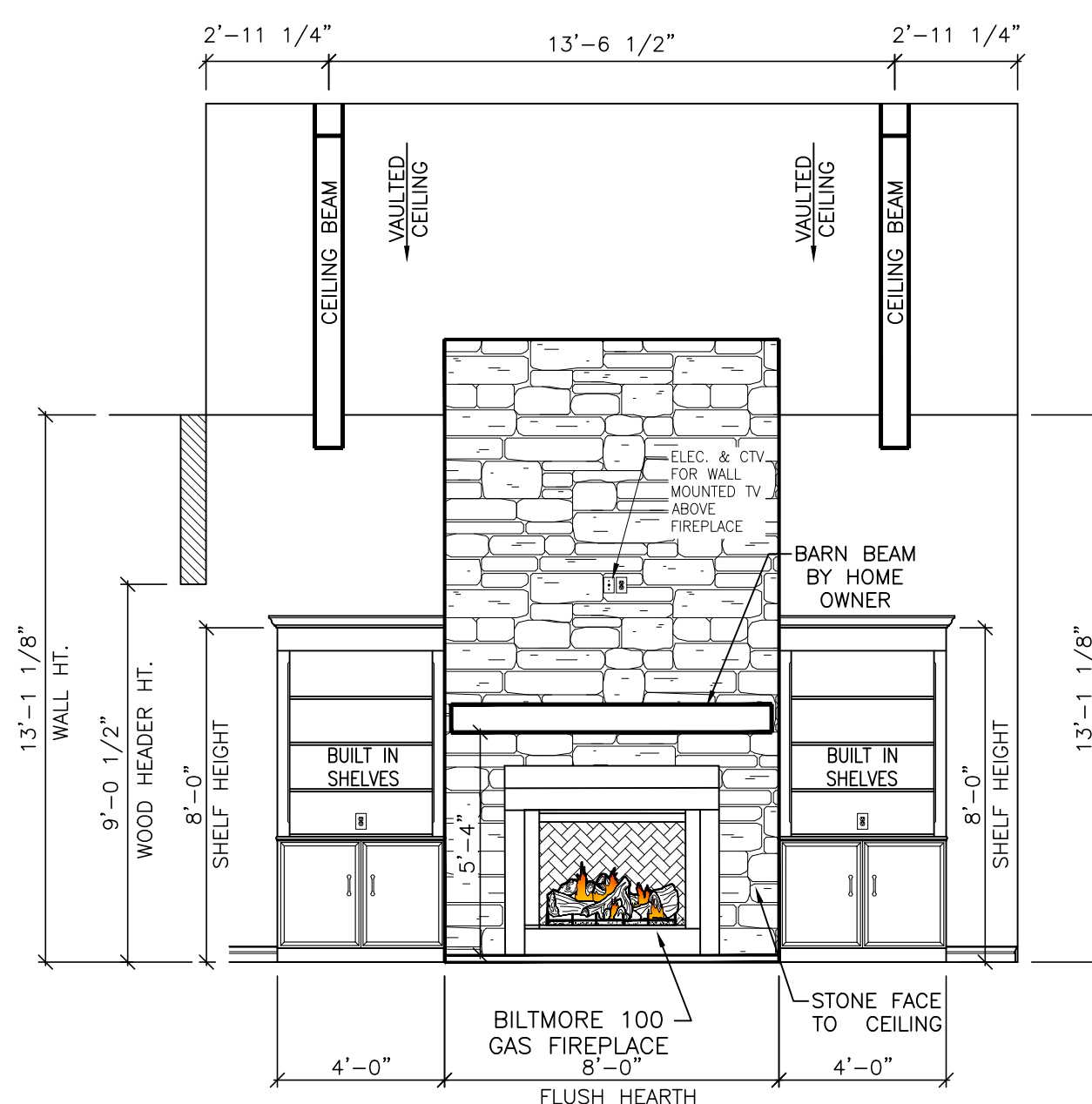
**DETAIL OF ARCHED WINDOWS
AT FAMILY ROOM**
SCALE: 1/4" = 1'-0"



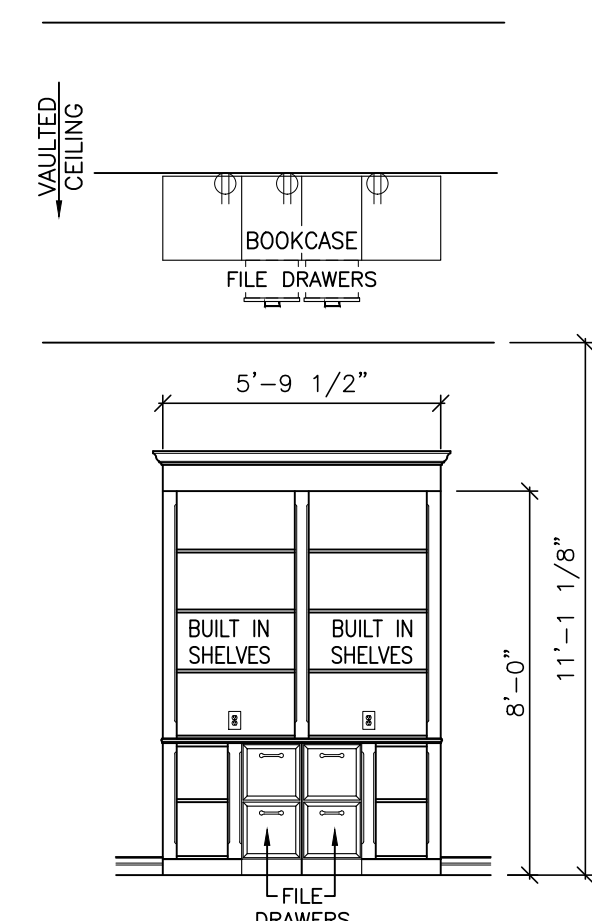
**DETAIL OF DINING AREA
DOOR AND TRANSOMS**
SCALE: 1/4" = 1'-0"



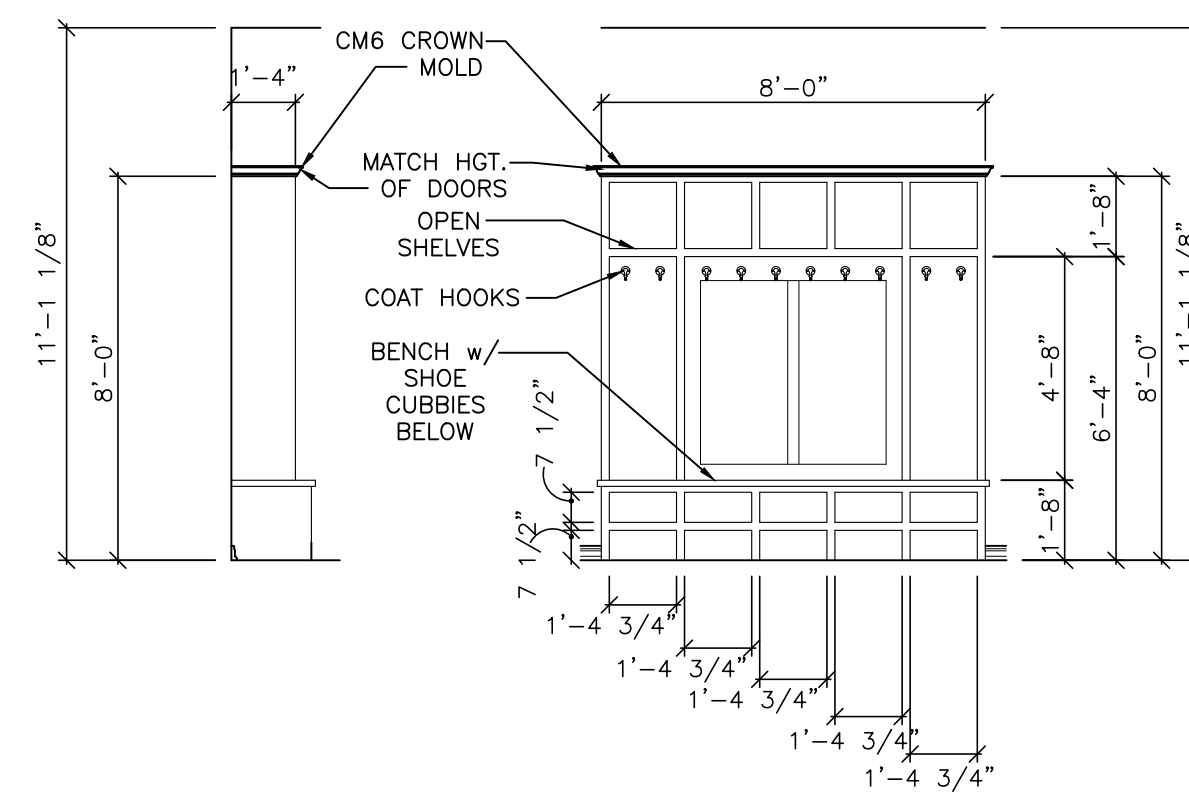
**DETAIL OF COVERED PORCH
FIREPLACE FACE**
SCALE: 1/4" = 1'-0"



**DETAIL OF FAMILY ROOM
FIREPLACE FACE**
SCALE: 1/4" = 1'-0"



**DETAIL OF GUEST BEDROOM
BUILT IN SHELVES**
SCALE: 1/4" = 1'-0"



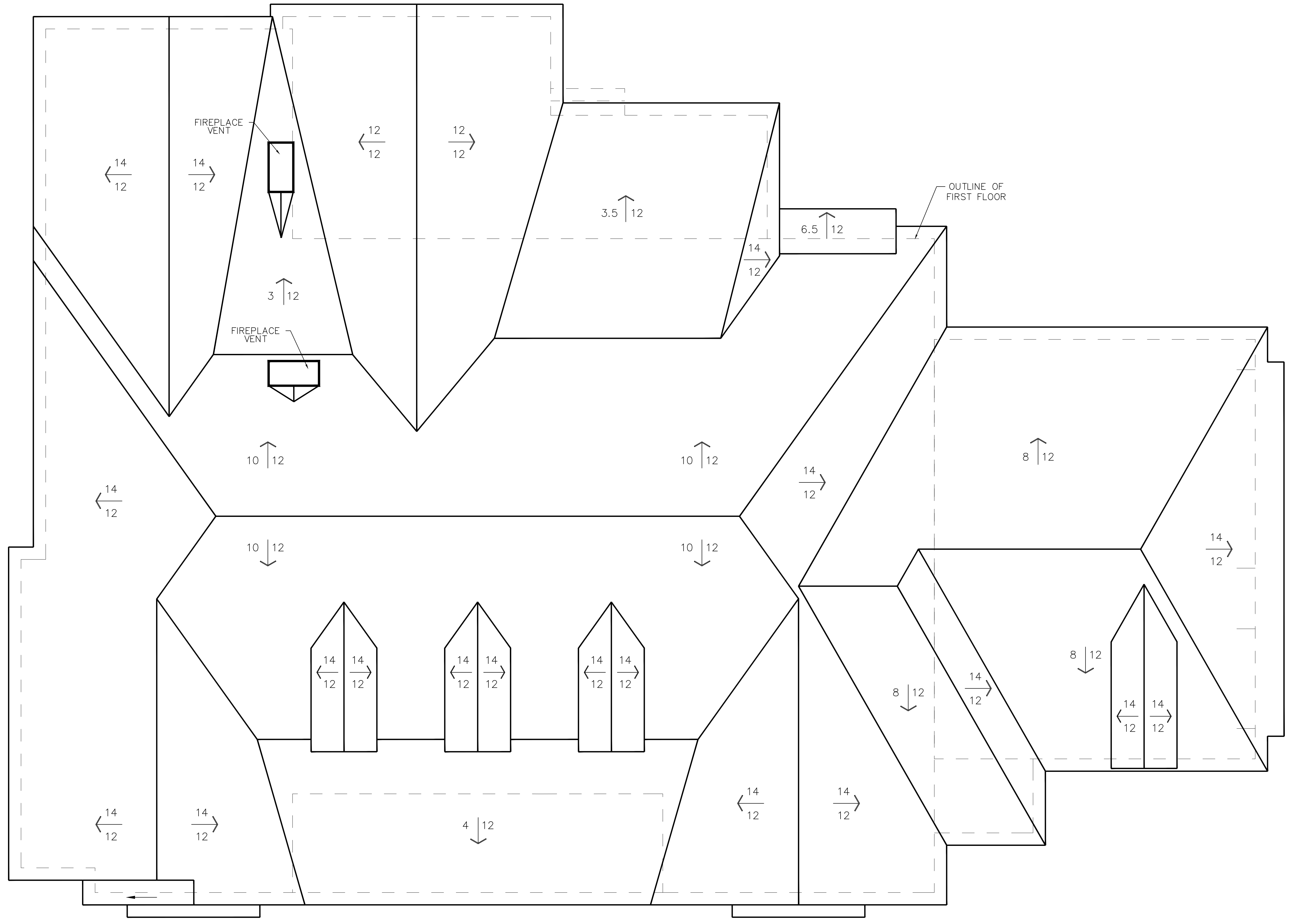
CUBBIE & BENCH DETAIL
SCALE: 1/4" = 1'-0"

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CUSTOM PLAN
DETAIL PAGE
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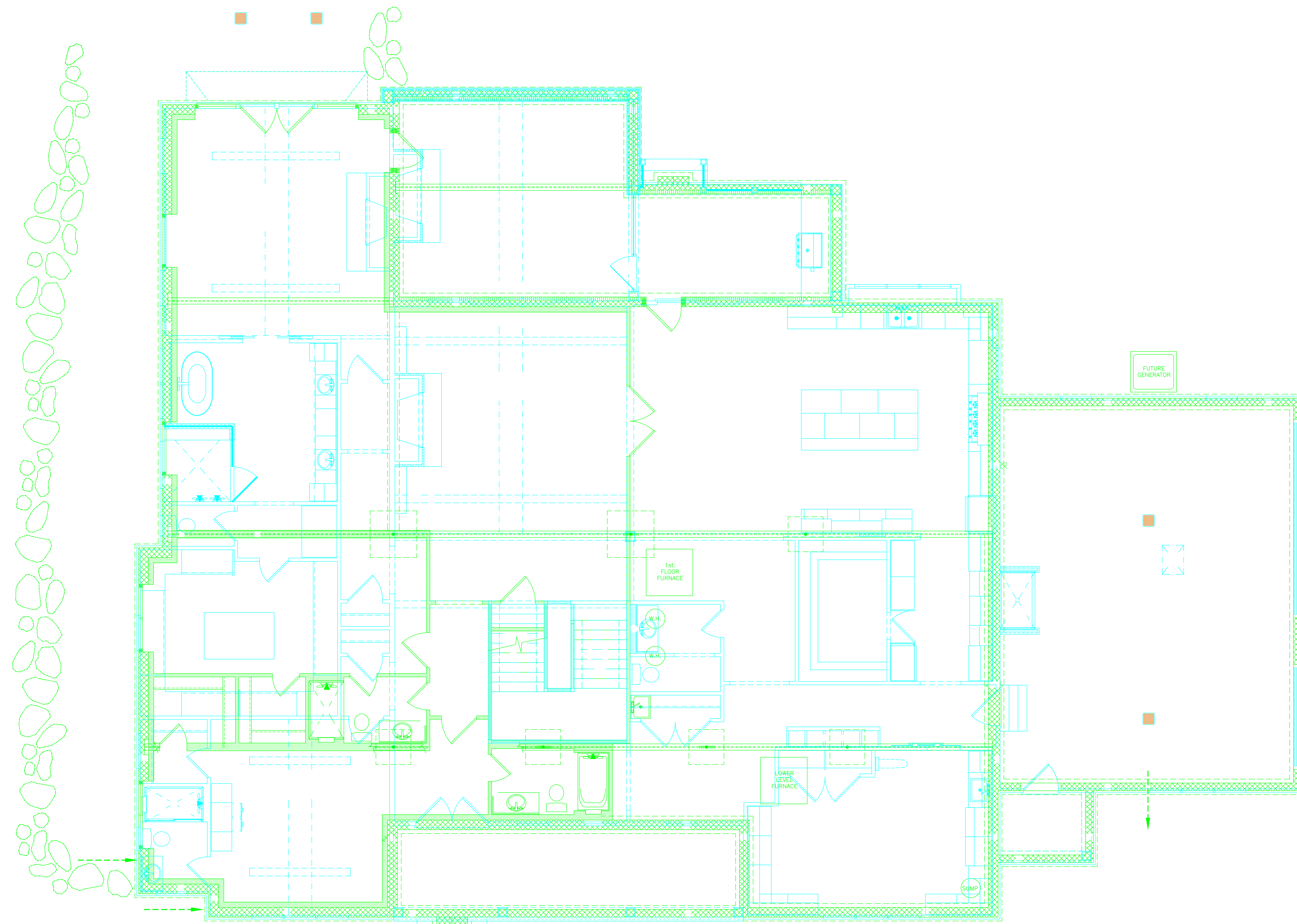


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CUSTOM PLAN
 ROOF PLAN
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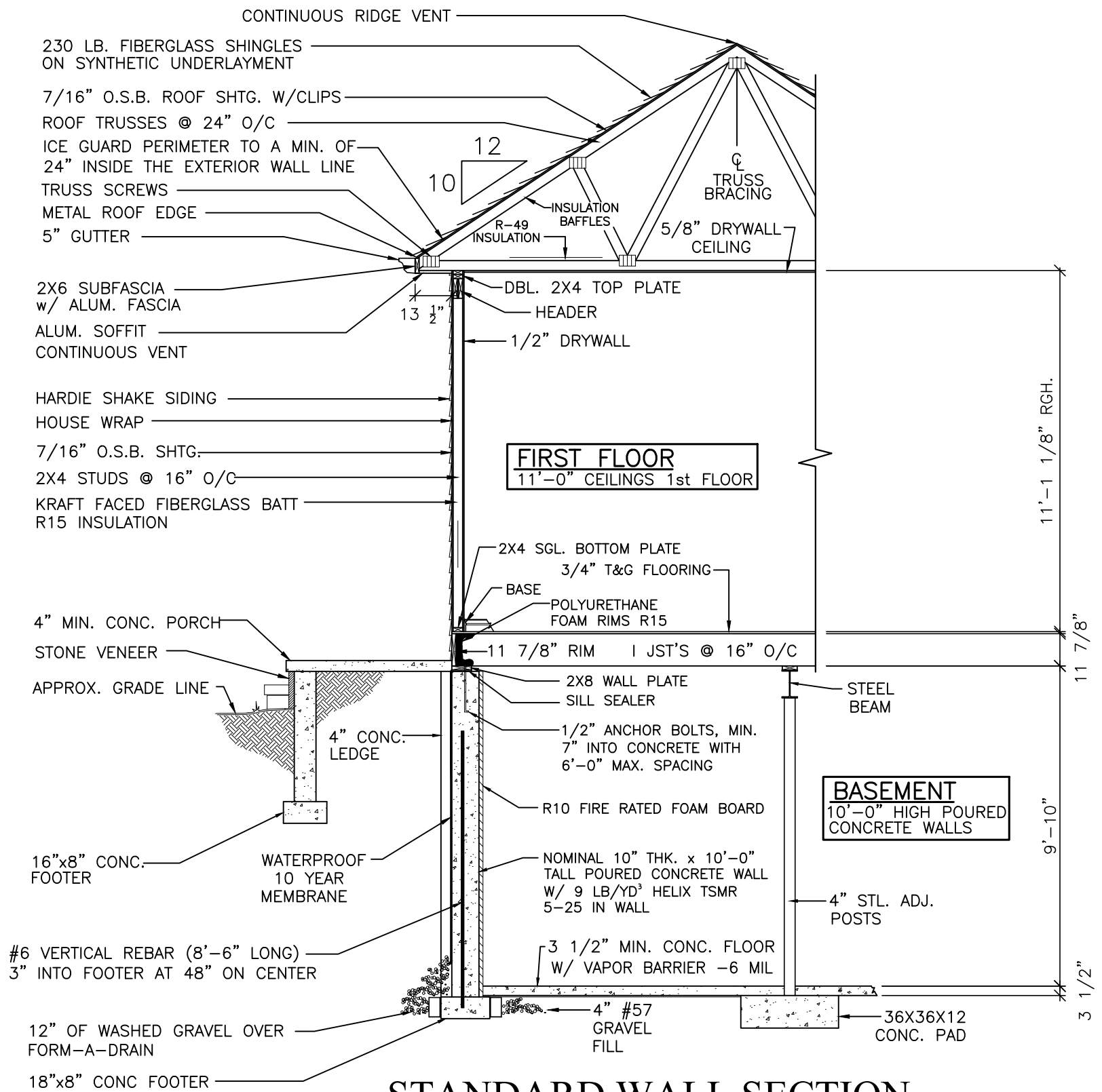
CPR6 FOLEY

 FOUNDATION

 FIRST FLOOR

SCALE: 1/4" = 1'-0"

CPR6 FOLEY



STANDARD WALL SECTION

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

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2-200 AMP MAIN BREAKER PANELS
PARALLEL &
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GROUND TO UFER AND COPPER WATER LINE
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NOTE:

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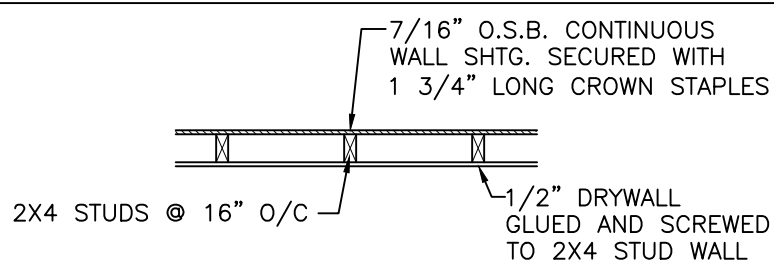
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SECURED WITH 1 3/4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED

SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX
LINES FOR WATER LINES THROUGH THE HOUSE



WALL BRACING DETAIL FOR ALL EXTERIOR WALLS

SCALE: 1/2" = 1'-0"

CPR6 FOLEY

REVISION SCHEDULE

R1 ADDED 2ND FLOOR. CHANGES PER RED LINE

R2 INCREASED STAIR SIZE. CHANGED LOWER LEVEL BEDROOM

R3 REMOVED 2ND FLOOR

R4 ADDED DORMER AND WINDOWS TO GARAGE

R5

R6 FRONT ELEVATION AND REAR PORCH UPDATES

R7 SEE REDLINES

R8 CONSTRUCTION DRAWINGS AND CHANGES

R9 CHANGED BUILDING MATERIAL

R10 SEE REDLINES

R11 SEE REDLINES

R12 SEE REDLINES

R13 INCREASE SIZE OF VANITIES IN HALF BATH, BATH #3, AND BATH #4, INCREASE CUBBIE SIZE TO 8' WIDE, RELOCATE UTILITY SINK IN UNFINISHED BASEMENT

R14 DELETED PICTURE WINDOW IN PRIMARY BEDROOM, ADDED WALL TO TOP OF STAIRS, SWITCHED D.W. AND TRASH BIN, CHANGED COOKTOP TO RANGE AND DOUBLE OVEN TO SINGLE OVEN, DELETED 42" HIGH HALF WALL BEHIND PRIMARY BATH CABINETS AND ADDED CLOSET IN LAUNDRY ROOM.

R15 ADDED A BUMP OUT AT KITCHEN WINDOWS

R16 CHANGED FRONT WINDOW, REMOVED PRIMARY BEDROOM FIREPLACE