



JOHNSON RESIDENCE



PROJECT INFORMATION

CITY HUDSON
COUNTY SUMMIT COUNTY
PARCEL NO 3203315
ZONING ZONE 3 - OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD DISTRICT
LOT .5167 ACRE

PROJECT ADDITION OFF THE REAR OF AN EXISTING RESIDENCE. ADDITION IS A SINGLE STORY FORM, FIBER CEMENT VERTICAL SIDING WITH AN ASPHALT SHINGLE ROOF.

APPLICABLE CODE BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE
ZONING: CITY OF HUDSON

PROJECT AREA

EXISTING RESIDENCE 3,700 SF
ADDITION 349 SF
TOTAL 4,522 SF

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS
HUDSON, OHIO
P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

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haraarchitects.com

PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

STRUCTURAL
.

JOHNSON RESIDENCE

22 Blackberry Drive, Hudson, Ohio 44236

PROJECT #: 2516

ISSUE	ID	DATE
Not in Transmittal Set		

PROGRESS

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9/1/2025

COVER SHEET

ABBREVIATIONS

ABV	ABOVE	HC	HOLLOW CORE
A/C	AIR CONDITIONING	HDWR.	HARDWARE
AFF	ABOVE FINISHED FLOOR	HM	HOLLOW METAL
ALT	ALTERNATE	HVAC	HEATING, VENTILATION, AND AIR
AJ	AUTHORITY HAVING JURISDICTION	COND.	HEIGHT
ALUM	ALUMINUM	HT	INSULATION
APPROX.	APPROXIMATELY	INSUL	JOIST
ARCH	ARCHITECTURAL	JST	LAM
ASPH	ASPHALT	LF	LAMINATED
			LINEAR FOOT
BD	BOARD	MAS	MASONRY
BLDG	BUILDING	MATL	MATERIAL
BOTT	BOTTOM OF	MAX.	MAXIMUM
BRG	BEARING	MECH	MECHANICAL
BOTT	BOTTOM	MFG	MANUFACTURER
BTW	BETWEEN	MIN.	MINIMUM
		MISC	MISCELLANEOUS
CF	CUBIC FEET	MTD	MOUNTED
CIP	CAST IN PLACE	MTL	METAL
CJ	CONTROL JOINT	NOM	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	O/	OVER
CMU	CONCRETE MASONRY UNIT	ON	ON CENTER
CONC	CONCRETE	OPN	OPENING
CO	CLEAN OUT	PREFAB	PREFABRICATED
CONT	CONTINUOUS	PLYWD	PLYWOOD
		P. LAM	PLASTIC LAMINATE
DBL	DOUBLE	PAR	PAIR
DEPT	DEPARTMENT	PSI	POUNDS PER SQUARE INCH
DIA	DIAMETER	REF	REFERENCE
DIM	DIMENSION	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DR	DOOR	REQ	REQUIRED
DS	DOWNSPOUT	SC	SOLID CORE
DTL	DETAIL	SECT	SECTION
DWG	DRAWING	SIM.	SIMILAR
		STRUC	STRUCTURAL
EA	EACH	TYP	TYPICAL
ELEC	ELECTRICAL	UNO	UNLESS NOTED OTHERWISE
EQ	EQUAL	W/	WITH
EXH	EXHAUST	WWF	WELDED WIRE FABRIC
EXIST	EXISTING		
EXP	EXPOSED		
EXT	EXTERIOR		
FD	FLOOR DRAIN		
FDN	FOUNDATION		
FIN	FINISHED		
FLR	FLOOR		
FT	FOOT		
FTG	FOOTING		
FUR	FURRING		
GALV	GALVANIZED		
GA	GALVE		
GC	GENERAL CONTRACTOR		
GYP. BD.	GYPSUM BOARD		
GYP	GYPSUM		

DRAWING SYMBOLS

	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	DOOR TAG
	WINDOW TAG

PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

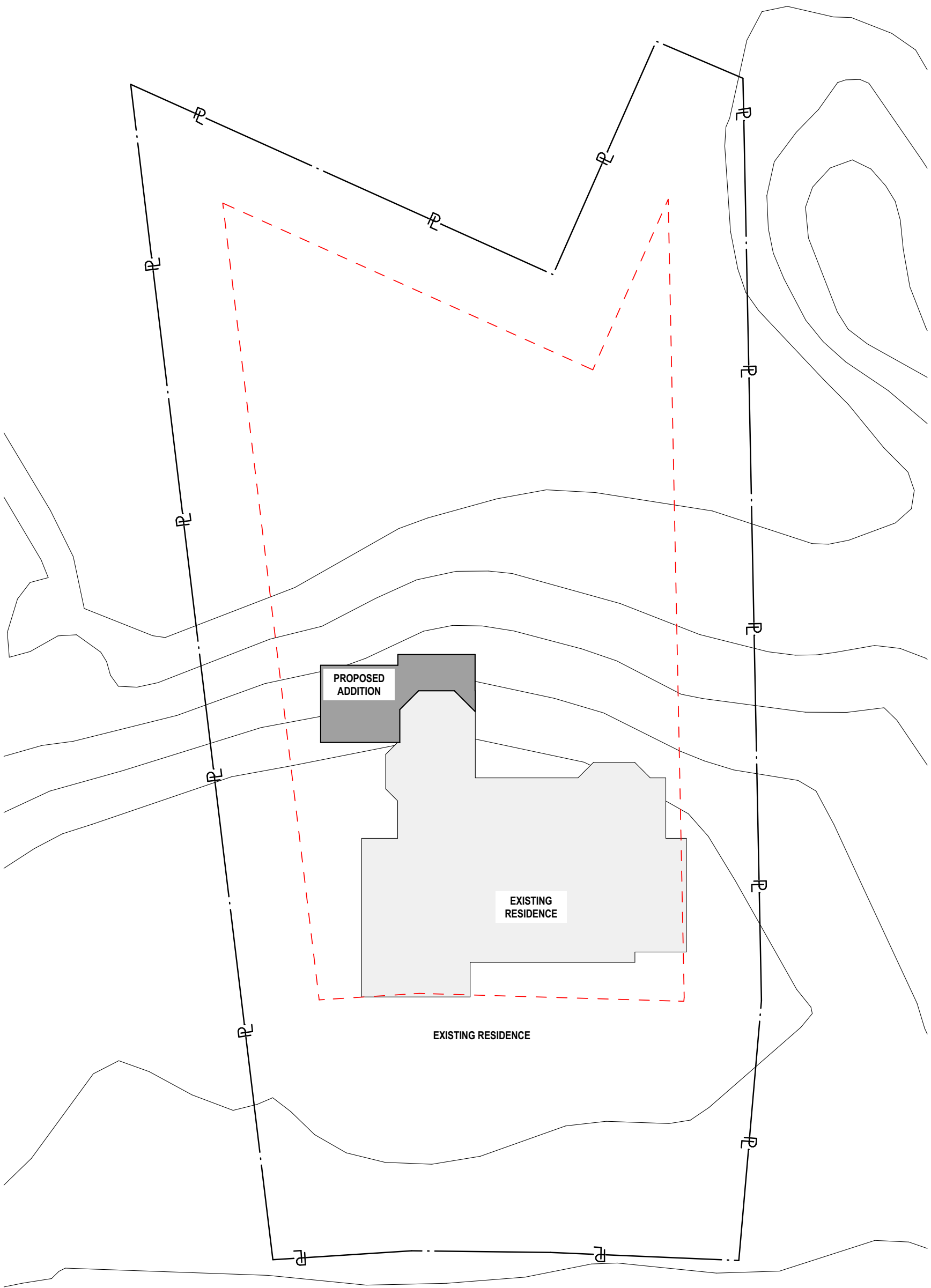
THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

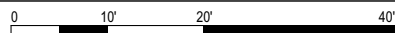
NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



1

SITE PLAN

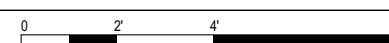
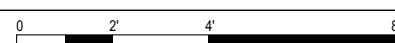
SCALE: 1" = 20'





PROJECT #: 2516

ISSUE	ID	DATE





ARCHITECT
HARA ARCHITECTS
STRUCTURAL

JOHNSON RESIDENCE
222 Blackberry Drive, Hudson, Ohio 44236

PROJECT #: 2516

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PROGRESS

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9/1/2025

ROOF PLAN & SECTION DETAILS

A102

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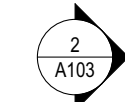
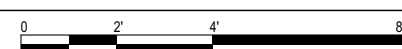
BUILDING SECTION B

SCALE: 1/4" = 1'-0"



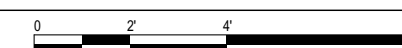
BUILDING SECTION B

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD

ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2"
FRAMING U.N.O.

OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO
INSTALLTION TO INSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

INDICATES DOWNSPOUT AND GUTTER LOCATION

05 (

GUTTER []

MATERIAL SCHEDULE

ASPHALT SHINGLE ROOF (R-1)

30 YEAR ARCHITECTURAL SHINGLE

Q/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT
Q/ 1/2" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE
INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE
FACE OF ALL FASCIAS.

BASIS OF DESIGN: GAF TIMBERLINE HDZ SHINGLES



**** WINDOW COUNT PROVIDED FOR GENERAL REFERENCE AND VERIFICATION ONLY. CONTRACTOR TO VERIFY TOTAL NUMBER OF WINDOWS WITH DOCUMENTS.**

WINDOW SCHEDULE		
ID	QTY	W x H
W01	1	2'-6"x5'-0"
W02	9	3'-0"x5'-6"
W03	3	3'-6"x6'-0"
W04	1	3'-8"x4'-6"

JOHNSON RESIDENCE

22 BLACKBERRY
HUDSON, OHIO

SCHEMATIC DESIGN | PERSPECTIVE RENDERINGS

SEPTEMBER 1, 2025

PREPARED BY



HARA ARCHITECTS







