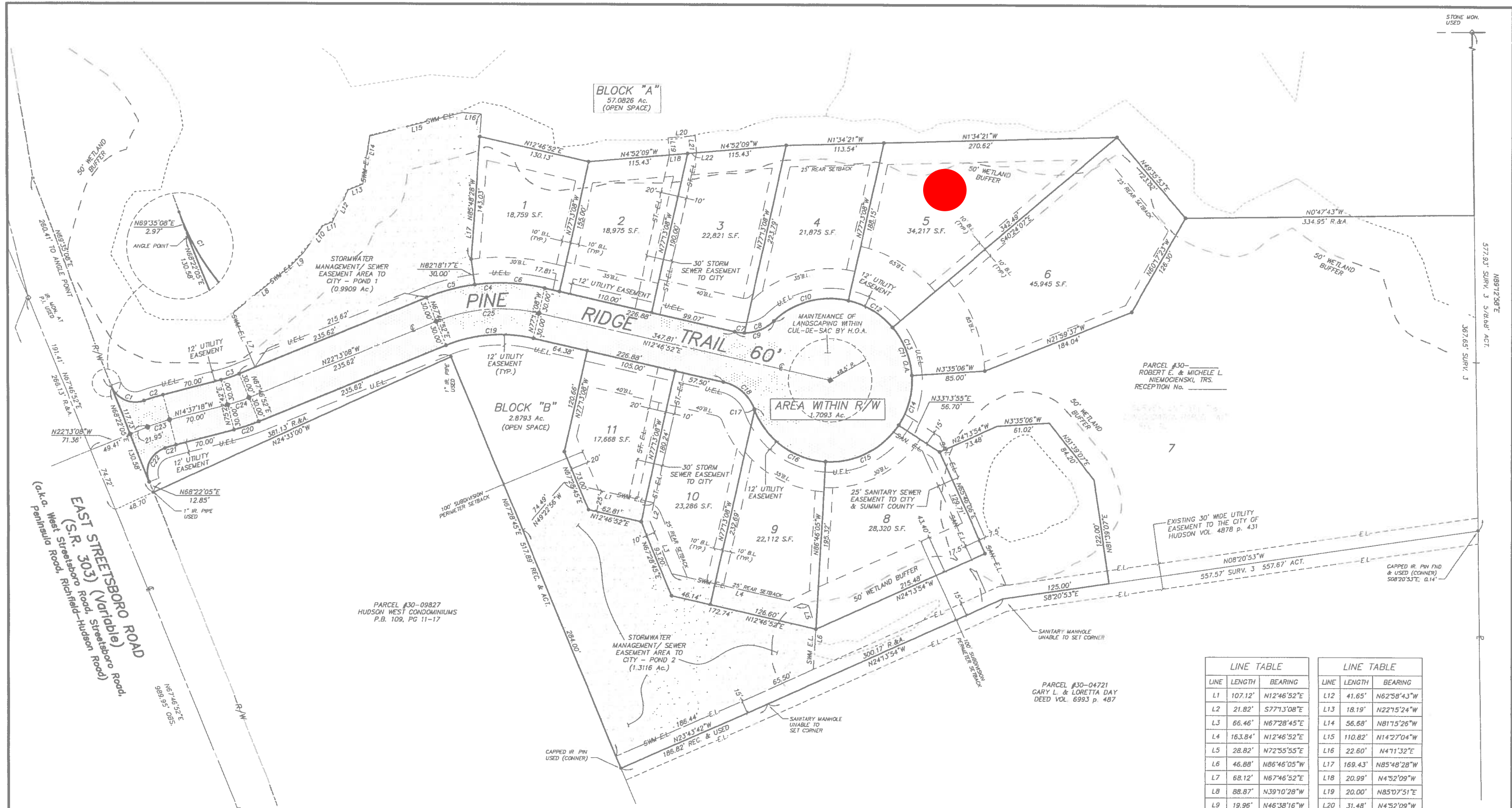


BLOCK "A"
57.0826 Ac.
(OPEN SPACE)

BLOCK "B"
2.8793 Ac.
(OPEN SPACE)

AREA WITHIN R/W
1.7093 Ac.



LINE TABLE

LINE	LENGTH	BEARING
L1	107.12'	N12°46'52"E
L2	21.82'	S77°13'08"E
L3	66.46'	N67°28'45"E
L4	163.84'	N12°46'52"E
L5	28.82'	N72°55'55"E
L6	46.88'	N86°46'05"W
L7	68.12'	N67°46'52"E
L8	88.87'	N39°10'28"W
L9	19.96'	N46°38'16"W
L10	38.21'	N54°06'04"W
L11	11.62'	N23°12'25"W

LINE TABLE

LINE	LENGTH	BEARING
L12	41.65'	N62°58'43"W
L13	18.19'	N22°15'24"W
L14	56.68'	N81°15'26"W
L15	110.82'	N14°27'04"W
L16	22.60'	N41°13'32"E
L17	169.43'	N85°48'28"W
L18	20.99'	N4°52'09"W
L19	20.00'	N85°07'51"E
L20	31.48'	N4°52'09"W
L21	20.00'	N85°07'51"E
L22	10.49'	N4°52'09"W

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	30.00'	47.06'	29.94'	42.38'	N24°38'39"E	89°52'58"
C2	230.00'	22.78'	11.40'	22.77'	S17°27'34"E	5°40'32"
C3	170.00'	22.54'	11.29'	22.53'	N18°25'13"W	7°35'50"
C4	230.00'	140.50'	72.52'	138.32'	N4°43'08"W	35°00'00"
C5	230.00'	58.30'	29.31'	58.15'	N14°57'26"W	14°31'25"
C6	230.00'	82.20'	41.54'	81.76'	N2°32'34"E	20°28'35"
C7	50.00'	11.02'	5.53'	11.00'	N6°27'55"E	12°37'53"
C8	50.00'	38.30'	20.14'	37.37'	N21°47'31"W	43°53'00"
C9	50.00'	49.32'	26.87'	47.34'	N15°28'35"W	56°30'53"

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C10	95.00'	93.70'	51.06'	89.95'	N15°28'35"W	56°30'53"
C11	95.00'	485.86'	62.84'	104.83'	N77°13'08"W	29°30'14"
C12	95.00'	61.04'	31.62'	60.00'	N31°11'22"E	36°49'01"
C13	95.00'	61.04'	31.62'	60.00'	N68°00'23"E	36°49'01"
C14	95.00'	61.04'	31.62'	60.00'	N75°10'36"W	36°49'01"
C15	95.00'	99.48'	54.85'	95.00'	N26°46'05"W	60°00'00"
C16	95.00'	108.11'	60.76'	102.37'	N35°49'56"E	65°12'02"
C17	95.00'	1.43'	0.72'	1.43'	N68°51'51"E	0°51'48"
C18	50.00'	49.32'	26.87'	47.34'	N41°02'18"E	56°30'53"

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C19	170.00'	103.85'	53.60'	102.24'	N4°43'08"W	35°00'00"
C20	230.00'	30.50'	15.27'	30.48'	N18°25'13"W	7°35'50"
C21	170.00'	13.51'	6.76'	13.51'	N16°53'55"W	4°33'14"
C22	30.00'	48.41'	31.31'	43.33'	N65°24'14"W	92°27'23"
C23	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C24	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C25	200.00'	122.17'	63.06'	120.28'	N4°43'08"W	35°00'00"

THE COTTAGES AT PINE RIDGE SUBDIVISION

DN DONALD G. BOHNING & ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING
7979 HUB PARKWAY • VALLEY VIEW, OHIO 44125
PHONE: (216) 642-1130 FAX: (216) 642-1132

DATE: **JUNE, 2024**
M.D. **D.G.**
FILE NO. **4272E-01-03**
ORDER NO. **4272E**

1" = 50'
3

- DELINEATED WETLANDS TO REMAIN

SITE IMPROVEMENT PLAN

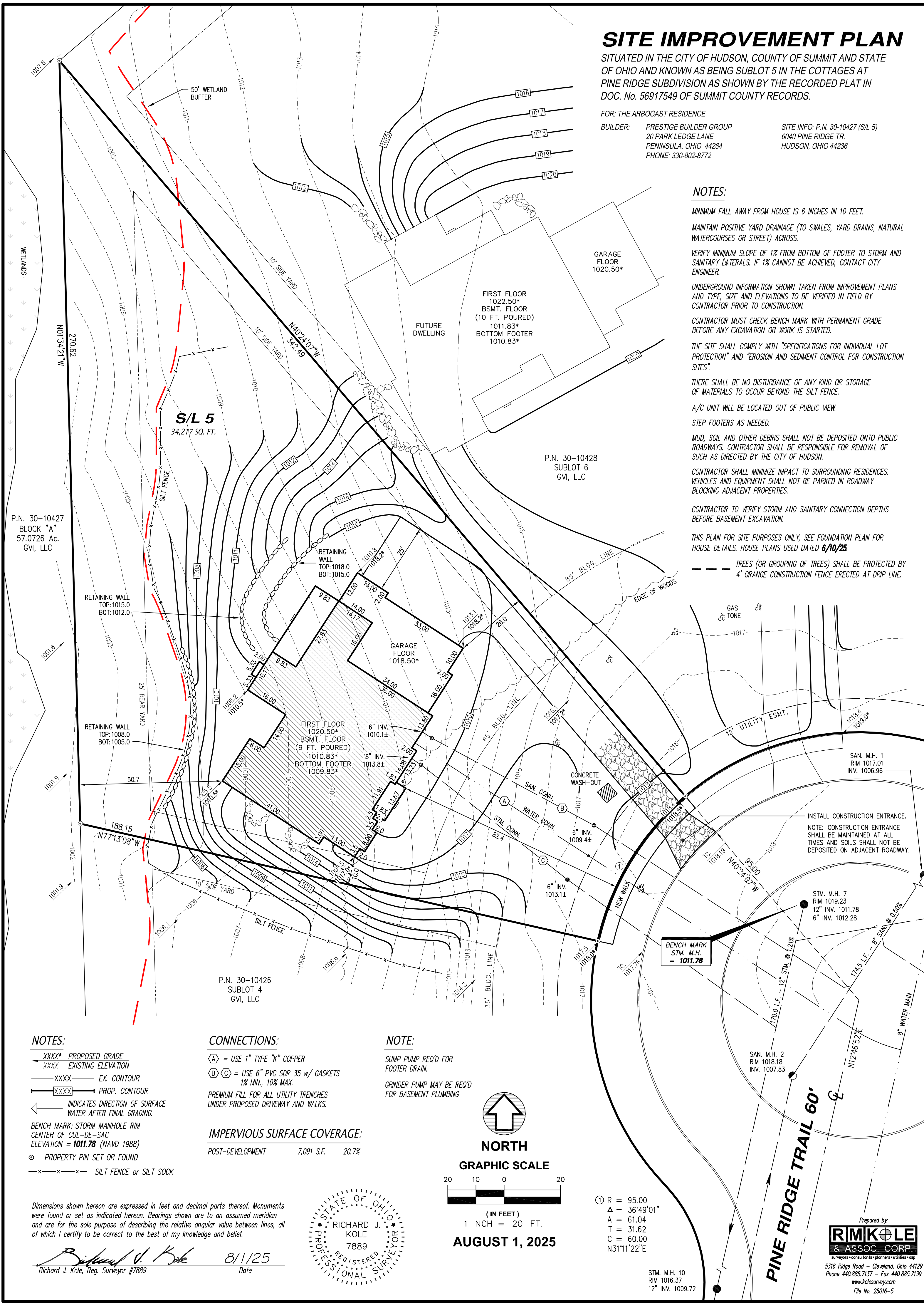
SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO AND KNOWN AS BEING SUBLT 5 IN THE COTTAGES AT PINE RIDGE SUBDIVISION AS SHOWN BY THE RECORDED PLAT IN DOC. No. 56917549 OF SUMMIT COUNTY RECORDS.

FOR: THE ARBOGAST RESIDENCE
 BUILDER: PRESTIGE BUILDER GROUP
 20 PARK LEDGE LANE
 PENINSULA, OHIO 44264
 PHONE: 330-802-8772

SITE INFO: P.N. 30-10427 (S/L 5)
 6040 PINE RIDGE TR.
 HUDSON, OHIO 44236

NOTES:

- MINIMUM FALL AWAY FROM HOUSE IS 6 INCHES IN 10 FEET.
- MAINTAIN POSITIVE YARD DRAINAGE (TO SWALES, YARD DRAINS, NATURAL WATERCOURSES OR STREET) ACROSS.
- VERIFY MINIMUM SLOPE OF 1% FROM BOTTOM OF FOOTER TO STORM AND SANITARY LATERALS. IF 1% CANNOT BE ACHIEVED, CONTACT CITY ENGINEER.
- UNDERGROUND INFORMATION SHOWN TAKEN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.
- THE SITE SHALL COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION" AND "EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES".
- THERE SHALL BE NO DISTURBANCE OF ANY KIND OR STORAGE OF MATERIALS TO OCCUR BEYOND THE SILT FENCE.
- A/C UNIT WILL BE LOCATED OUT OF PUBLIC VIEW.
- STEP FOOTERS AS NEEDED.
- MUD, SOIL AND OTHER DEBRIS SHALL NOT BE DEPOSITED ONTO PUBLIC ROADWAYS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON.
- CONTRACTOR SHALL MINIMIZE IMPACT TO SURROUNDING RESIDENCES. VEHICLES AND EQUIPMENT SHALL NOT BE PARKED IN ROADWAY BLOCKING ADJACENT PROPERTIES.
- CONTRACTOR TO VERIFY STORM AND SANITARY CONNECTION DEPTHS BEFORE BASEMENT EXCAVATION.
- THIS PLAN FOR SITE PURPOSES ONLY, SEE FOUNDATION PLAN FOR HOUSE DETAILS. HOUSE PLANS USED DATED 6/10/25.
- TREES (OR GROUPING OF TREES) SHALL BE PROTECTED BY 4' ORANGE CONSTRUCTION FENCE ERECTED AT DRIP LINE.



NOTES:

- XXXX* PROPOSED GRADE
- XXXX EXISTING ELEVATION
- XXXX EX. CONTOUR
- XXXX PROP. CONTOUR
- INDICATES DIRECTION OF SURFACE WATER AFTER FINAL GRADING.
- BENCH MARK: STORM MANHOLE RIM CENTER OF CUL-DE-SAC ELEVATION = 1011.78 (NAVD 1988)
- PROPERTY PIN SET OR FOUND
- SILT FENCE or SILT SOCK

CONNECTIONS:

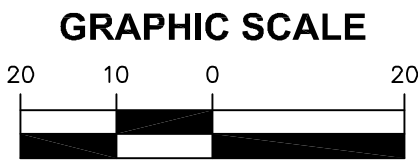
- A = USE 1" TYPE "K" COPPER
- B C = USE 6" PVC SDR 35 w/ GASKETS 1% MIN., 10% MAX.
- PREMIUM FILL FOR ALL UTILITY TRENCHES UNDER PROPOSED DRIVEWAY AND WALKS.

NOTE:

- SUMP PUMP REQ'D FOR FOOTER DRAIN.
- GRINDER PUMP MAY BE REQ'D FOR BASEMENT PLUMBING

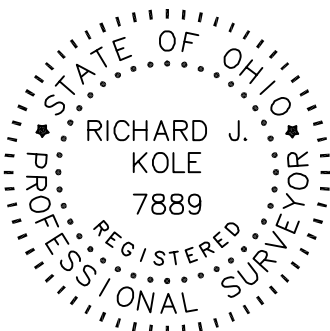
IMPERVIOUS SURFACE COVERAGE:

POST-DEVELOPMENT 7,091 S.F. 20.7%



1 INCH = 20 FT.

AUGUST 1, 2025



Dimensions shown hereon are expressed in feet and decimal parts thereof. Monuments were found or set as indicated hereon. Bearings shown are to an assumed meridian and are for the sole purpose of describing the relative angular value between lines, all of which I certify to be correct to the best of my knowledge and belief.

Richard J. Kole, Reg. Surveyor #7889 Date 8/1/25

- R = 95.00
- Δ = 36°49'01"
- A = 61.04
- T = 31.62
- C = 60.00
- N31°11'22"E

STM. M.H. 10
 RIM 1016.37
 12" INV. 1009.72



Prepared by:
 5316 Ridge Road - Cleveland, Ohio 44129
 Phone 440.885.7137 - Fax 440.885.7139
 www.kolesurvey.com
 File No. 25016-5



FRONT ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY



REAR ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY

1st floor | 3,381 sq. ft.
total | 3,381 sq. ft.
Overall Dimensions: 88'-0" x 68'-0"

CUSTOM DESIGN FOR:
THE AROGAST RESIDENCE
CONCEPT PLAN

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
FRONT AND REAR ELEVATION
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR
CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF
PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/22/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

LIVING AREA: 3,381 SQ. FT. SCALE: 1/4" = 12"



RIGHT ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY



LEFT ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY

CUSTOM DESIGN FOR:
THE AREOGAST RESIDENCE
CONCEPT PLAN

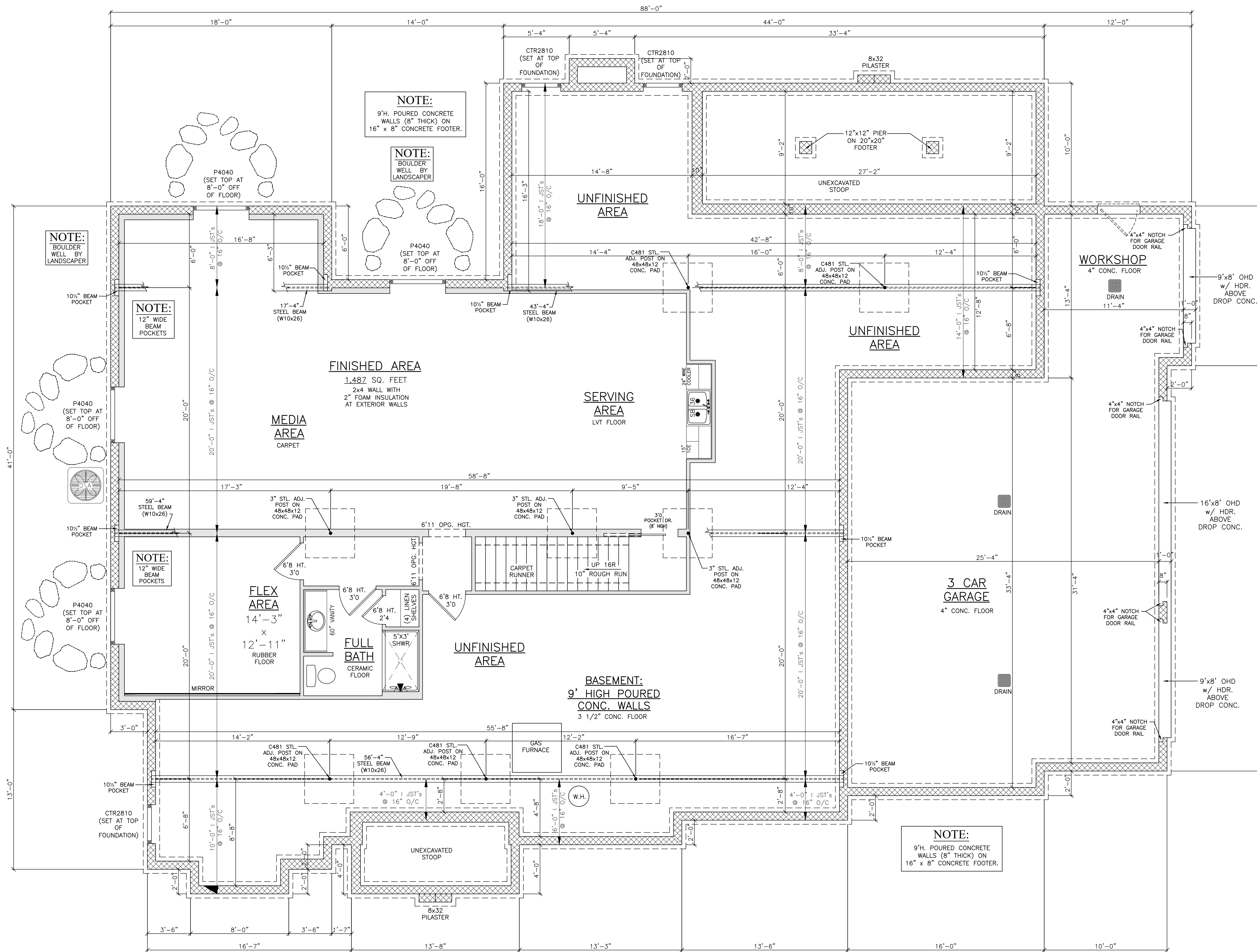
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Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
SIDE ELEVATIONS

THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR
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PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/2/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

LIVING AREA: 3,381 SQ. FT. SCALE: 1/4" = 12"



NOTE:

- ① FULL STONE BAND
 - ② FOUNDATION PERIMETER = 299'-8"
 - ③ ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT, EXCEPT AS NOTED.
- ▬ = INDICATES FRAMED WALLS

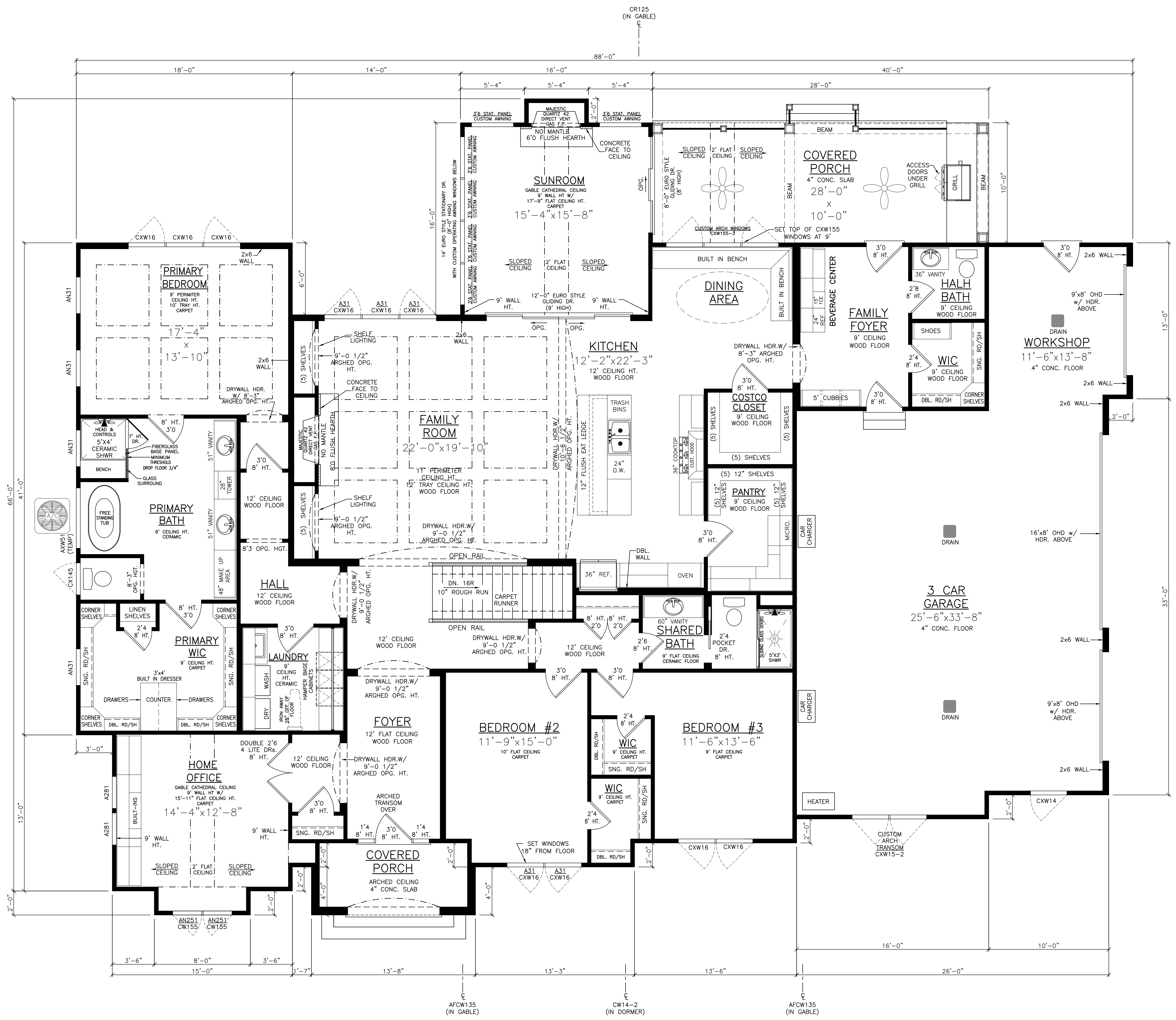
CUSTOM DESIGN FOR:
THE AREGOAST RESIDENCE
CONCEPT PLAN

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
FOUNDATION PLAN
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/2/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

LIVING AREA: 3,381 SQ. FT. SCALE: 1/4" = 12"



NOTE:

- 11' CEILINGS ON FIRST FLOOR, EXCEPT WHERE NOTED.
- FIRST FLOOR SQ. FEET = 3,385
- PERIMETER = 300'-0"
- GARAGE SQUARE FEET = 1,030
- ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT ON FIRST FLOOR EXCEPT AS NOTED.

— = INDICATES FRAMED WALLS

ELECTRICAL NOTES:

400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
UNDERGROUND

BRANCH CIRCUITS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 210.8

BRANCH CIRCUITS SHALL BE AFCI PROTECTED IN ACCORDANCE WITH NEC 210.12

ARC FAULTS SHALL BE PER NEC 210.16

OUTLETS TO BE TAMPER-RESISTANT PER NEC 406.12

GROUND TO UFER AND COPPER WATER LINE ENTERING THE HOUSE

NOTE:

2019 RESIDENTIAL CODE OF OHIO ENERGY METHOD USED = OHIA PATH #1 (CHAPTER 11 SECTION 1112) (INCLUDING ALL MANDATORY REQUIREMENTS)

NOTE:

HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF IBC 311.7.7 AND IBC 312

WALL BRACING FOR ALL EXTERIOR WALLS TO BE 7/16" O.S.B. CONTINUOUS WALL SHEATHING SECURED WITH 1/2" X 4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED

SCHEDULE 40 PVC PIPING FOR DRAINS AND PEK LINES FOR WATER LINES THROUGHOUT THE HOUSE

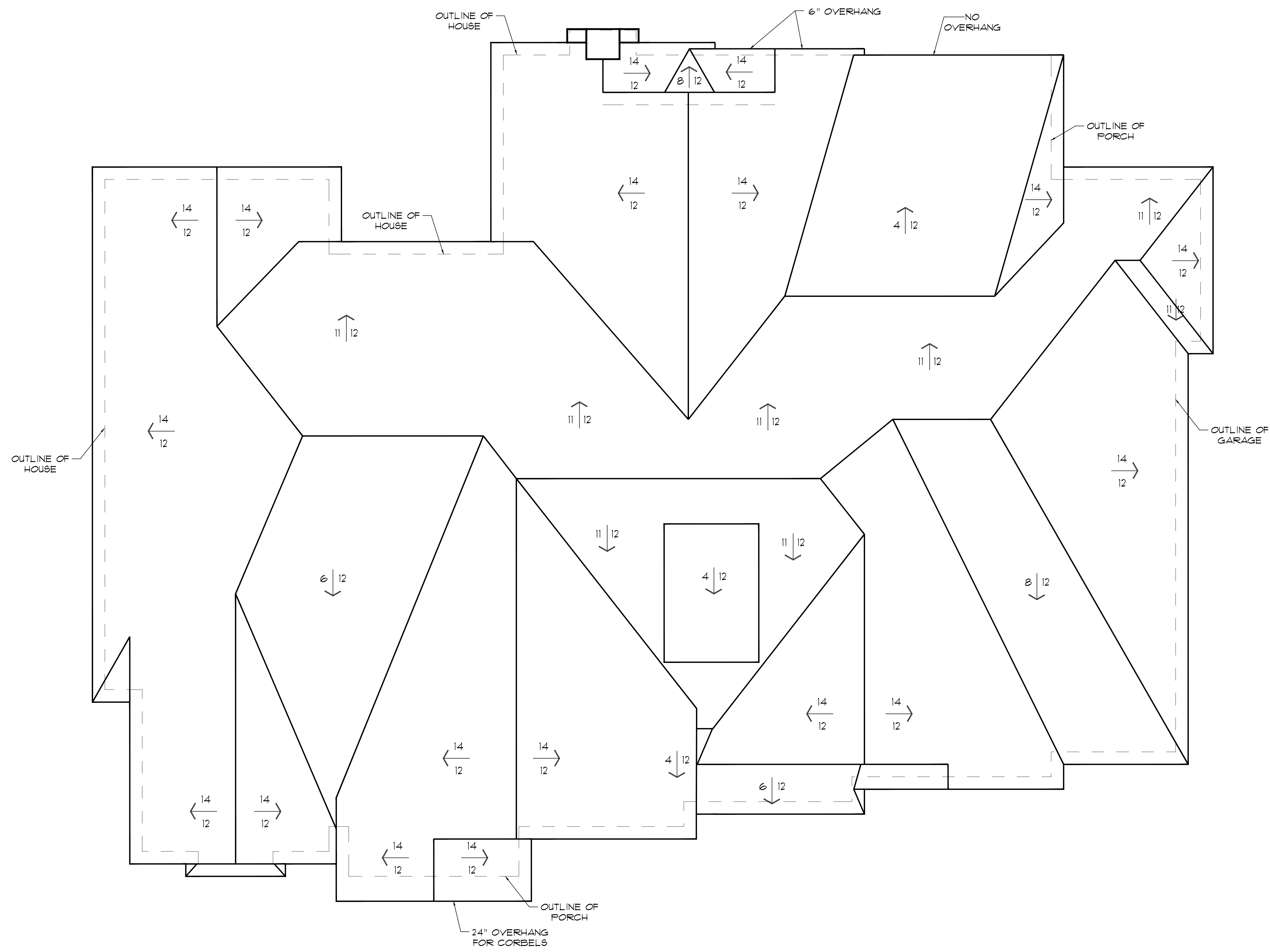
PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM DESIGN FOR:
THE AROGAST RESIDENCE
CONCEPT PLAN

CUSTOM PLAN
FIRST FLOOR PLAN
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/2/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

1/4" = 12"
SCALE:
3,381 SQ. FT.



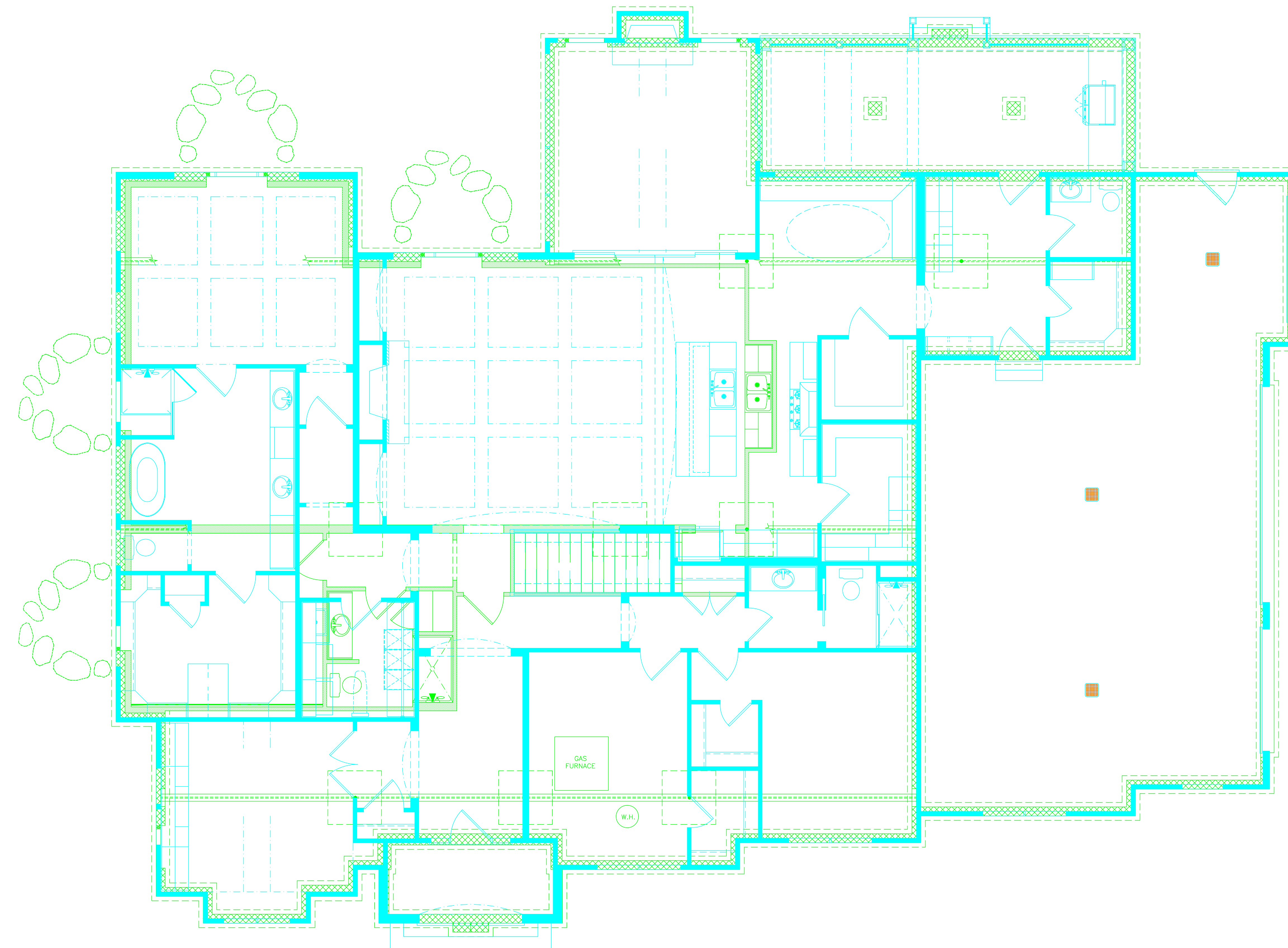
CUSTOM DESIGN FOR:
THE AREOGAST RESIDENCE
CONCEPT PLAN

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
ROOF PLAN
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR
CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF
PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/2/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

LIVING AREA: 3,381 SQ. FT. SCALE: 1/4" = 12"



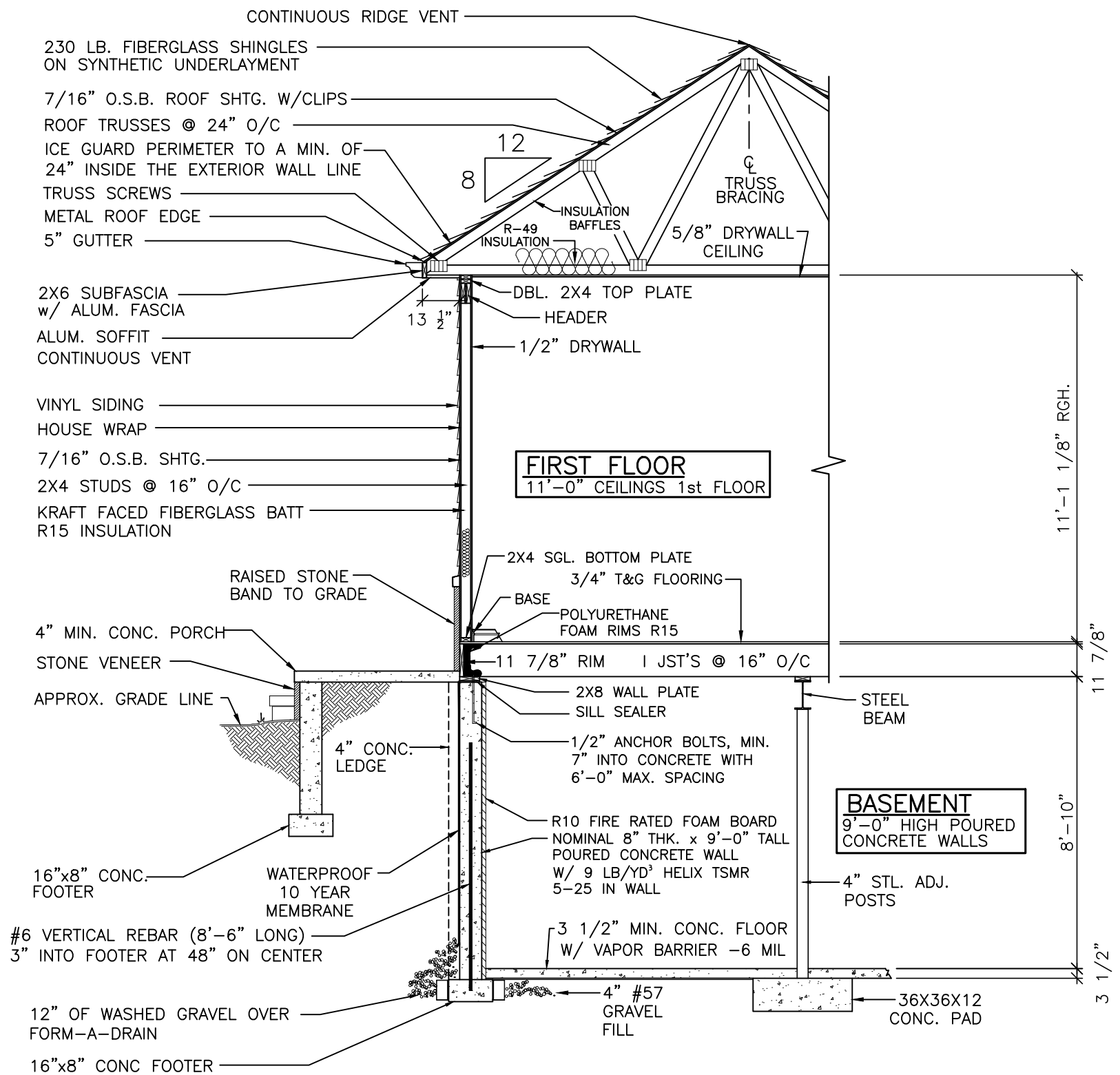
ARBOGAST CONCEPT PLAN

FOUNDATION

FIRST FLOOR

SCALE: 1/4" = 1'-0"

ARBOGAST CONCEPT



STANDARD WALL SECTION

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
PARALLEL &
UNDERGROUND

BRANCH CIRCUITS SHALL BE GFCI PROTECTED
IN ACCORDANCE WITH NEC 210.8

BRANCH CIRCUITS SHALL BE AFCI PROTECTED
IN ACCORDANCE WITH NEC 210.12

ARC FAULTS SHALL BE PER NEC 210.16.

OUTLETS TO BE TAMPER-RESISTANT PER
NEC 406.12

GROUND TO UFER AND COPPER WATER LINE
ENTERING THE HOUSE

NOTE:

2019 RESIDENTIAL CODE OF OHIO
ENERGY METHOD USED - OHBA PATH #1
(CHAPTER 11 SECTION 1112)
(INCLUDING ALL MANDATORY
REQUIREMENTS)

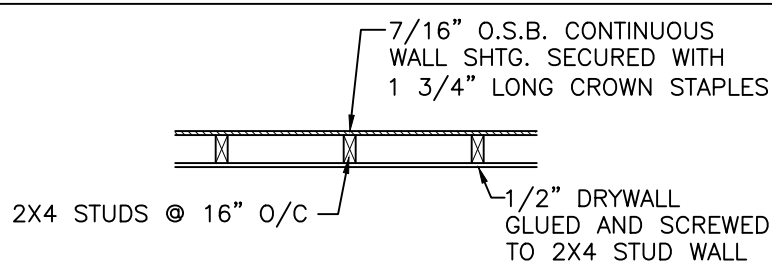
NOTE:

HANDRAILS AND GUARDS SHALL MEET THE
REQUIREMENTS OF RCO 311.7.7 AND RCO 312

WALL BRACING FOR ALL EXTERIOR WALLS TO BE
7/16" O.S.B. CONTINUOUS WALL SHEATHING
SECURED WITH 1 3/4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED

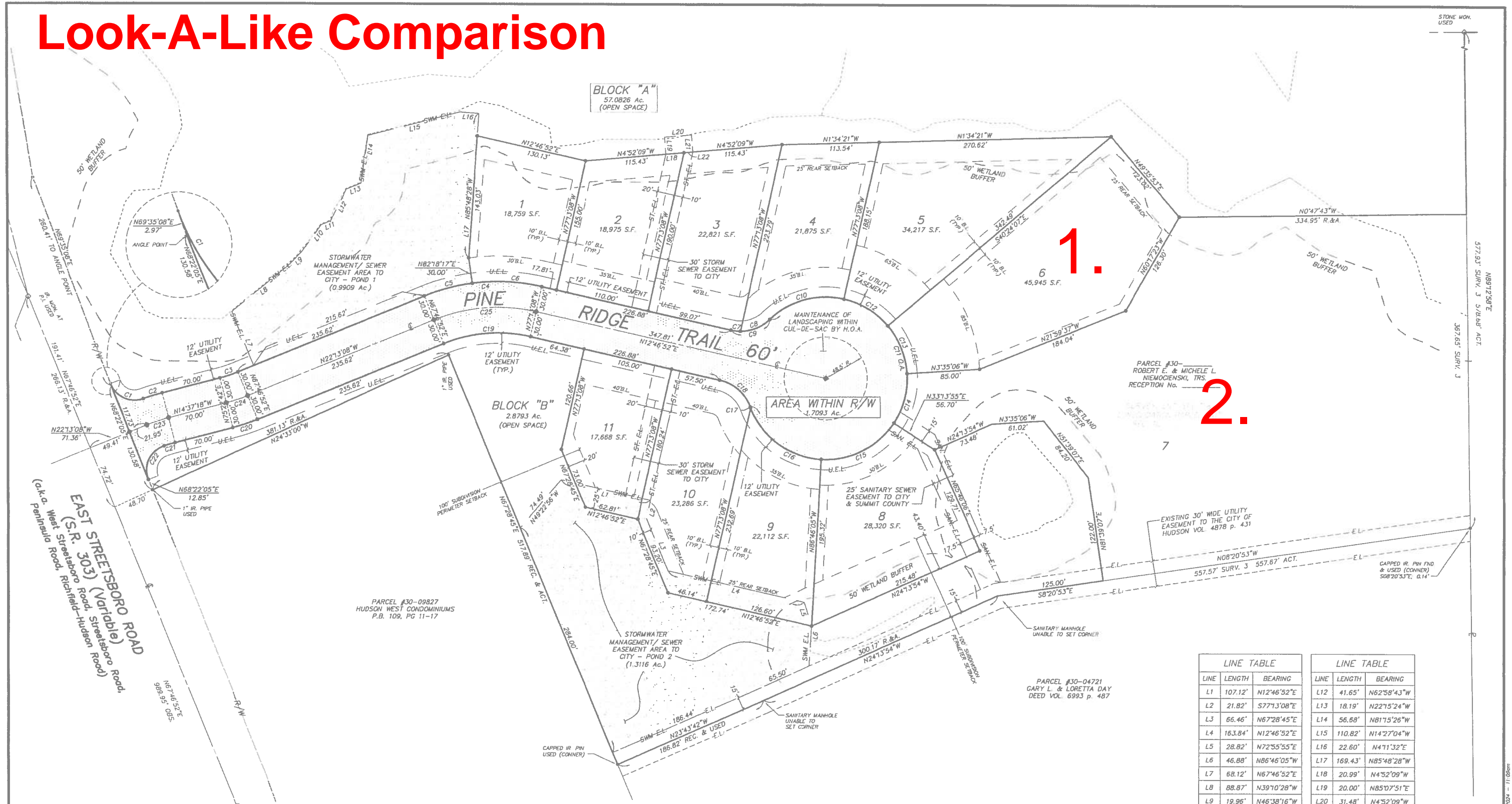
SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX
LINES FOR WATER LINES THROUGH THE HOUSE



WALL BRACING DETAIL FOR ALL EXTERIOR WALLS

SCALE: 1/2" = 1'-0"

Look-A-Like Comparison



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	30.00'	47.06'	29.94'	42.38'	N24°38'39"E	89°52'58"
C2	230.00'	22.78'	11.40'	22.77'	S17°27'34"E	5°40'32"
C3	170.00'	22.54'	11.29'	22.53'	N18°25'13"W	7°35'50"
C4	230.00'	140.50'	72.52'	138.32'	N4°43'08"W	35°00'00"
C5	230.00'	58.30'	29.31'	58.15'	N14°57'26"W	14°31'25"
C6	230.00'	82.20'	41.54'	81.76'	N2°32'34"E	20°28'35"
C7	50.00'	11.02'	5.53'	11.00'	N6°27'55"E	12°37'53"
C8	50.00'	38.30'	20.14'	37.37'	N21°47'31"W	43°53'00"
C9	50.00'	49.32'	26.87'	47.34'	N15°28'35"W	56°30'53"

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C10	95.00'	93.70'	51.06'	89.95'	N15°28'35"W	56°30'53"
C11	95.00'	485.86'	62.84'	104.83'	N77°13'08"W	29°30'14"
C12	95.00'	61.04'	31.62'	60.00'	N31°11'22"E	36°49'01"
C13	95.00'	61.04'	31.62'	60.00'	N68°00'23"E	36°49'01"
C14	95.00'	61.04'	31.62'	60.00'	N75°10'36"W	36°49'01"
C15	95.00'	99.48'	54.85'	95.00'	N26°46'05"W	60°00'00"
C16	95.00'	108.11'	60.76'	102.37'	N35°49'56"E	65°12'02"
C17	95.00'	1.43'	0.72'	1.43'	N68°51'51"E	0°51'48"
C18	50.00'	49.32'	26.87'	47.34'	N41°02'18"E	56°30'53"

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C19	170.00'	103.85'	53.60'	102.24'	N4°43'08"W	35°00'00"
C20	230.00'	30.50'	15.27'	30.48'	N18°25'13"W	7°35'50"
C21	170.00'	13.51'	6.76'	13.51'	N16°53'55"W	4°33'14"
C22	30.00'	48.41'	31.31'	43.33'	N65°24'14"W	92°27'23"
C23	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C24	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C25	200.00'	122.17'	63.06'	120.28'	N4°43'08"W	35°00'00"

LINE TABLE		
LINE	LENGTH	BEARING
L1	107.12'	N12°46'52"E
L2	21.82'	S77°13'08"E
L3	66.46'	N67°28'45"E
L4	163.84'	N12°46'52"E
L5	28.82'	N72°55'55"E
L6	46.88'	N86°46'05"W
L7	68.12'	N67°46'52"E
L8	88.87'	N39°10'28"W
L9	19.96'	N46°38'16"W
L10	38.21'	N54°06'04"W
L11	11.62'	N23°12'25"W

LINE TABLE		
LINE	LENGTH	BEARING
L12	41.65'	N62°58'43"W
L13	18.19'	N22°15'24"W
L14	56.68'	N81°15'26"W
L15	110.82'	N14°27'04"W
L16	22.60'	N41°13'32"E
L17	169.43'	N85°48'28"W
L18	20.99'	N4°52'09"W
L19	20.00'	N85°07'51"E
L20	31.48'	N4°52'09"W
L21	20.00'	N85°07'51"E
L22	10.49'	N4°52'09"W

THE COTTAGES AT PINE RIDGE SUBDIVISION

DONALD G. BOHNING & ASSOCIATES, INC.
 CIVIL ENGINEERING & SURVEYING
 7979 HUB PARKWAY • VALLEY VIEW, OHIO 44125
 PHONE: (216) 642-1130 FAX: (216) 642-1132

DATE	JUNE, 2024	3
M.D.	D.G.	3
FILE NO.	4272E-01-03	3
ORDER NO.	4272E	

W:\Projects\4272E-01-03.dwg (1/27/2024) 11:08am

1.



FRONT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY



REAR ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
STEPS BY BUYER'S
LANDSCAPER

NOTE:
STAIRWAYS AND
GUARDS SHALL MEET
THE REQUIREMENTS OF
RCO 311.7 AND RCO 312

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER

1st floor	4,187 sq. ft.
lower level	3,626 sq. ft.
total	7,813 sq. ft.

Overall Dimensions: 118'-4" x 89'-11"

CUSTOM DESIGN FOR:
SPEC HOME
5825 FOREST GLEN TRAIL, WADSWORTH, OH 44281
JOB# FC15

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
FRONT AND REAR ELEVATION
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CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF
PRESTIGE BUILDER GROUP.

DRAWN BY: MAP
DATE: 5/24/2025
R1 4/25/2025 JPL
R2 5/15/2025 JPL
R3 6/11/2025 JPL
R4 6/24/2025 JPL
R5 7/7/2025 JPL

LIVING AREA: 7,813 SQ. FT. SCALE: 1/4" = 12"

2.

