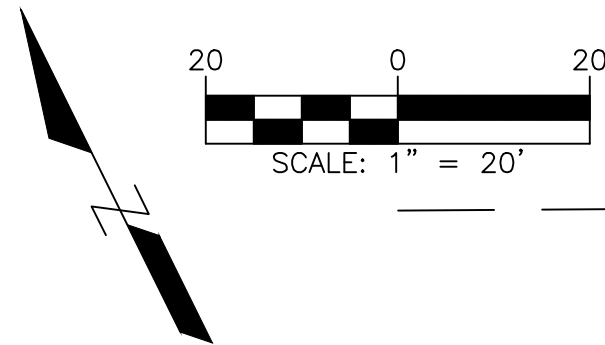




Block A
Fox Trace Subdivision
Plat Cabinet A, Slides 365-366

**SITE PLAN FOR
241 RAVENNA STREET**

SITUATED IN THE CITY OF HUDSON, SUMMIT COUNTY, OHIO
AND KNOWN AS BEING PART OF BLOCK B OF THE
FOX TRACE SUBDIVISION RECORDED IN
CABINET A, SLIDES 365 AND 366 OF
THE SUMMIT COUNTY RECORDS
SCALE: 1" = 20' DATE: JULY 24, 2024

233 235 Ravenna Street
Brian A. Battaglia and
Shannon M. Battaglia
Doc. # 56630679
P.N. 3202874

247 249 Ravenna Street
Jack William Rood
Doc. #56158764
P.N. 3202876

LEGEND:

- IRON PIN FOUND
- ○ STRUCTURE AS NOTED

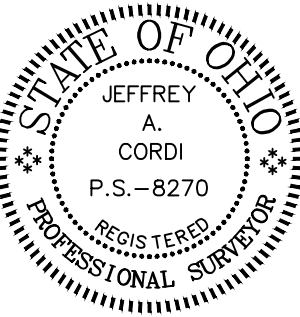
- 1092 — CONTOUR
- — — PROPERTY LINE
- - - - CENTERLINE
- — — OTHER PROPERTY LINE
- 1092 — PROPOSED CONTOUR
- — — SETBACK

- ✕ ✕ EXISTING SPOT ELEVATION
- 95.8 PROPOSED ELEVATION
- 96.7 EXISTING ELEVATION

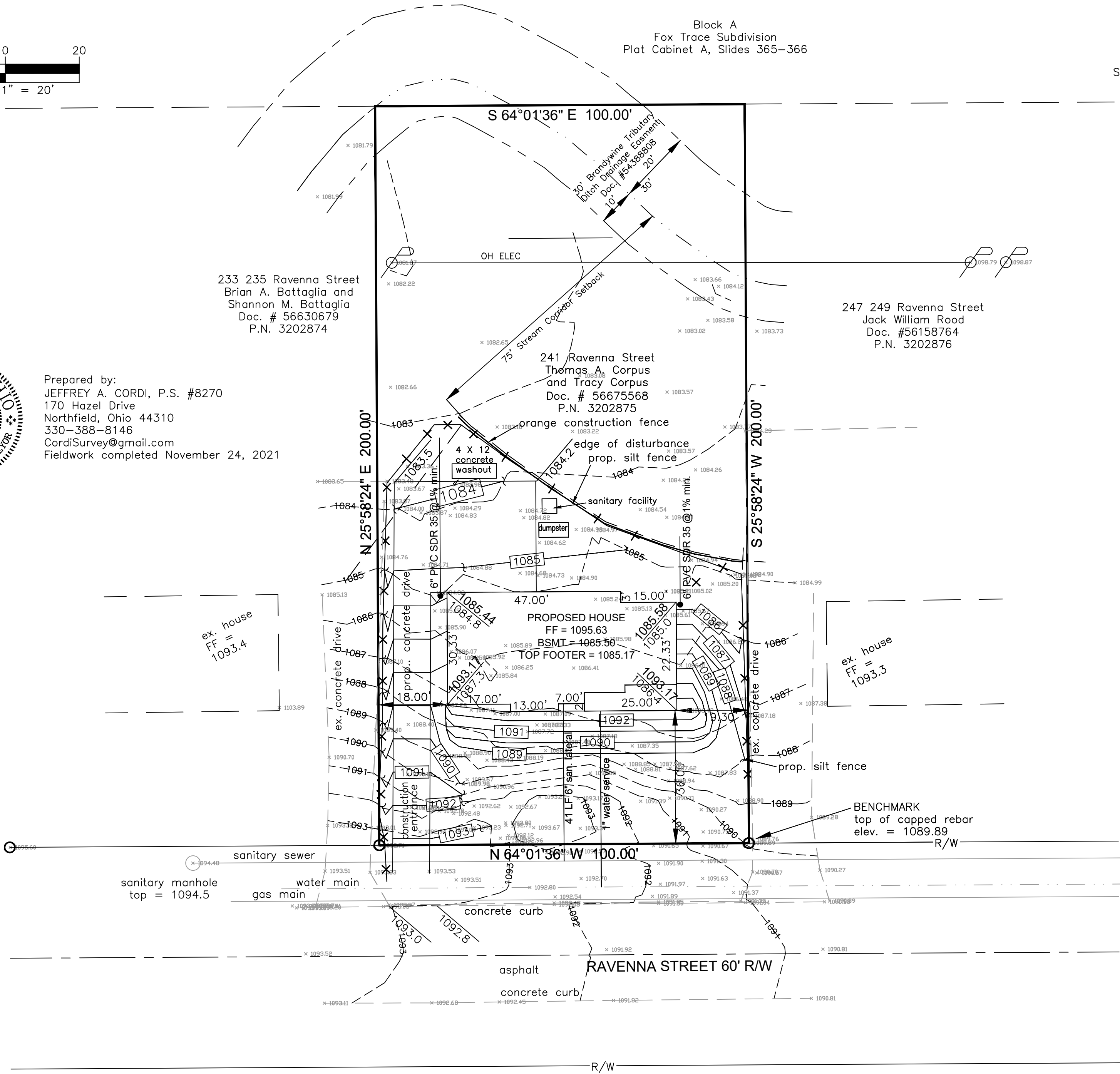
DECIDUOUS TREE

- ⊕ UTILITY POLE
- DOWNSPOUT

- PROPOSED HOUSE



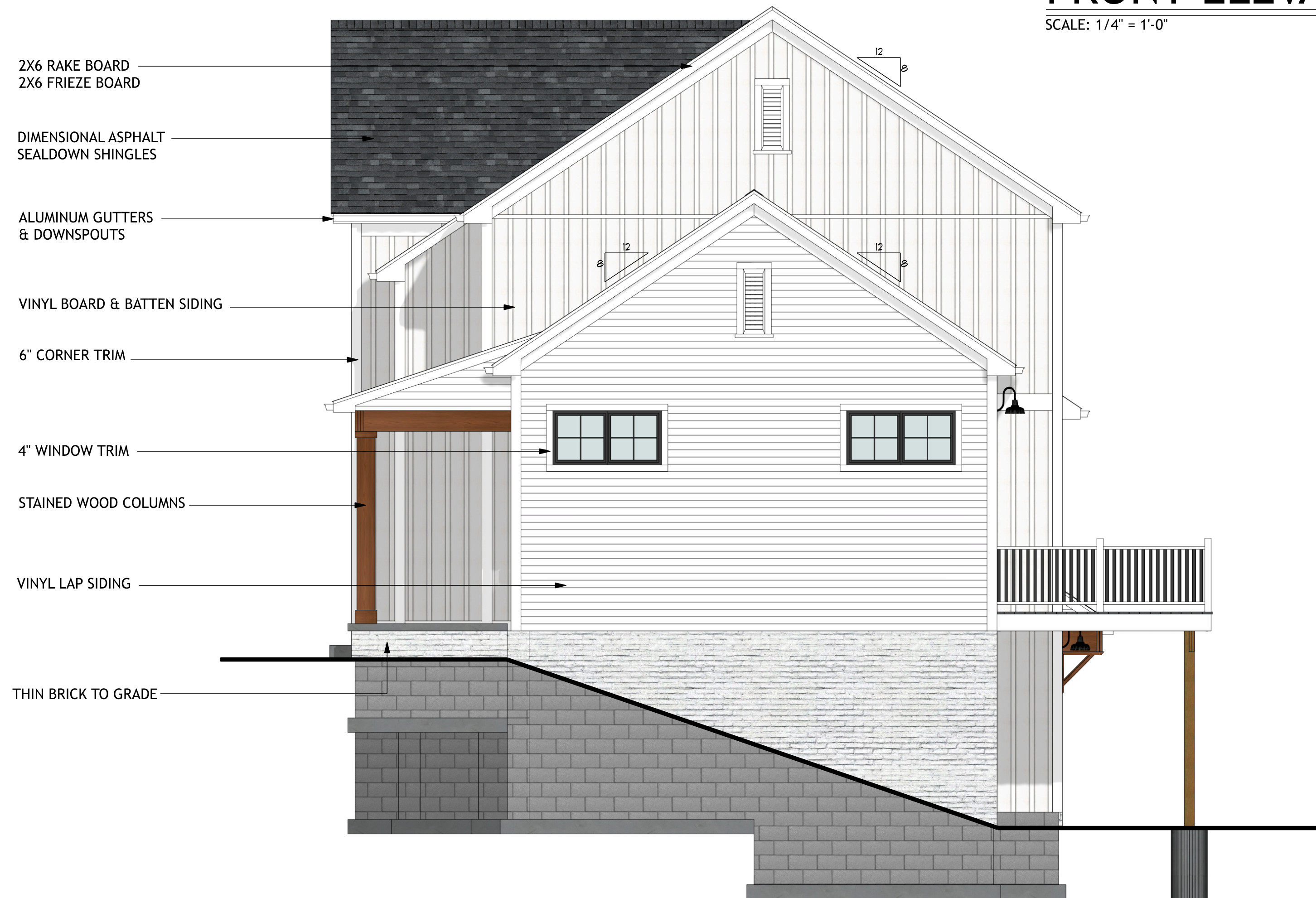
Prepared by:
JEFFREY A. CORDI, P.S. #8270
170 Hazel Drive
Northfield, Ohio 44310
330-388-8146
CordiSurvey@gmail.com
Fieldwork completed November 24, 2021





FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



PRELIMINARY APPROVAL

I have reviewed and approve all preliminary plans as drawn.
No further changes to preliminary plans are required.
The Planworks, LLC. are to continue with final construction documents.

SIGNATURE

DATE

DATA	REVISIONS			
	JOB NUMBER: 202434	D.P. 06-26-24	D.P. 06-27-24	D.P. 07-25-24
DATE DRAWN: 06-21-24				
DRAWN BY: D.P.				

DIMENSIONAL ASPHALT
SEALDOWN SHINGLES

ALUMINUM GUTTERS
& DOWNSPOUTS

VINYL LAP SIDING

6" CORNER TRIM

4" WINDOW TRIM

VINYL BOARD & BATTEN SIDING

THIN BRICK TO GRADE

STANDING SEAM METAL ROOFING

STAINED WOOD BRACKETS

REAR ELEVATION

SCALE: 1/4" = 1'-0"



2X6 RAKE BOARD
2X6 FRIEZE BOARD

ALUMINUM GUTTERS
& DOWNSPOUTS

VINYL BOARD & BATTEN SIDING

6" CORNER TRIM

4" WINDOW TRIM

VINYL LAP SIDING

THIN BRICK TO GRADE

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

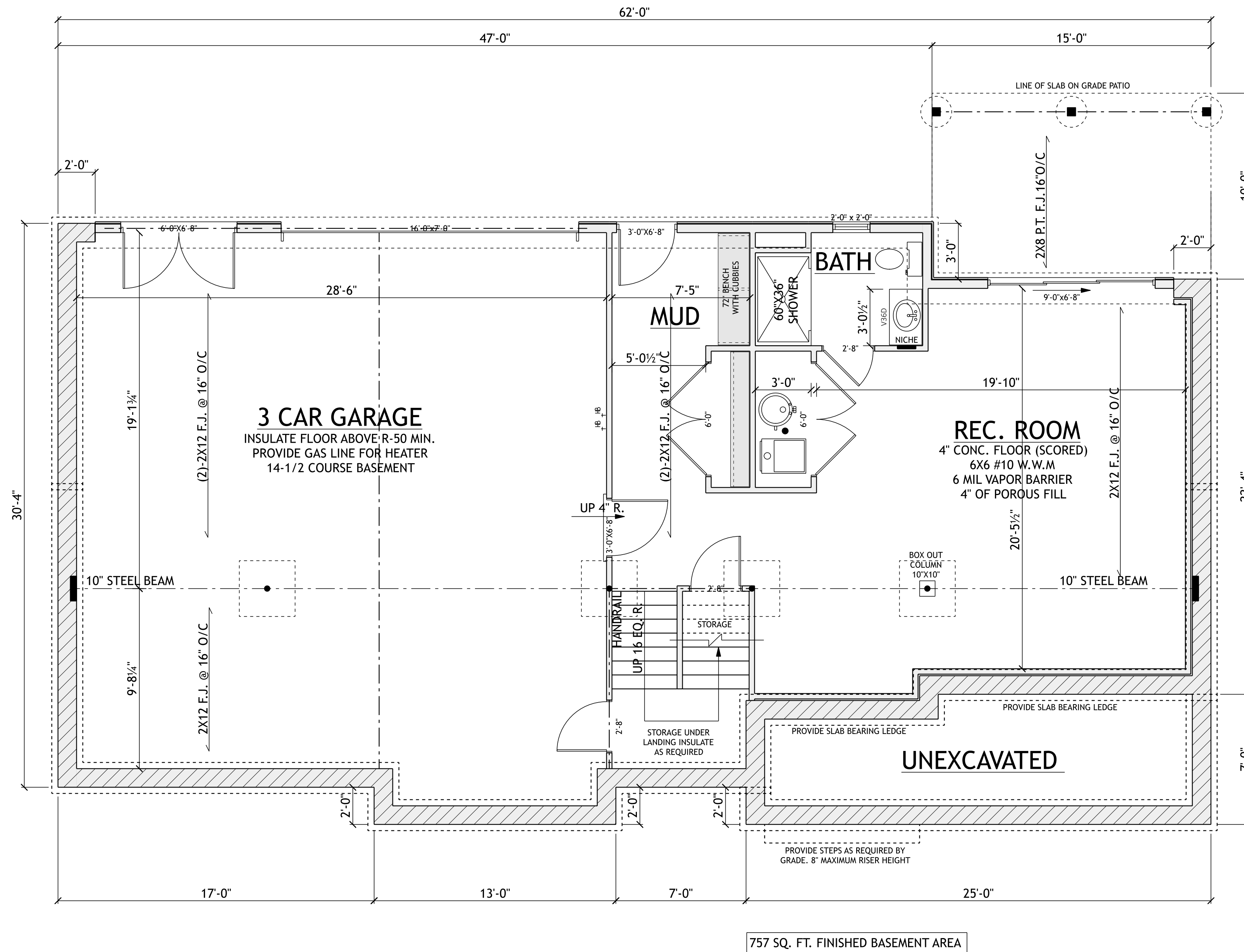
PRELIMINARY APPROVAL

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No further changes to preliminary plans are required.
The Planworks, LLC. are to continue with final construction documents.

SIGNATURE

DATE

DATA	REVISIONS		
	JOB NUMBER: 202434	D.P. 06-26-24	
	DATE DRAWN: 06-21-24	D.P. 06-27-24	
		D.P. 07-18-24	
		D.P. 07-25-24	
DRAWN BY: D.P.			



14 COURSE BASEMENT & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

PRELIMINARY APPROVAL

I have reviewed and approve all preliminary plans as drawn.
No further changes to preliminary plans are required.
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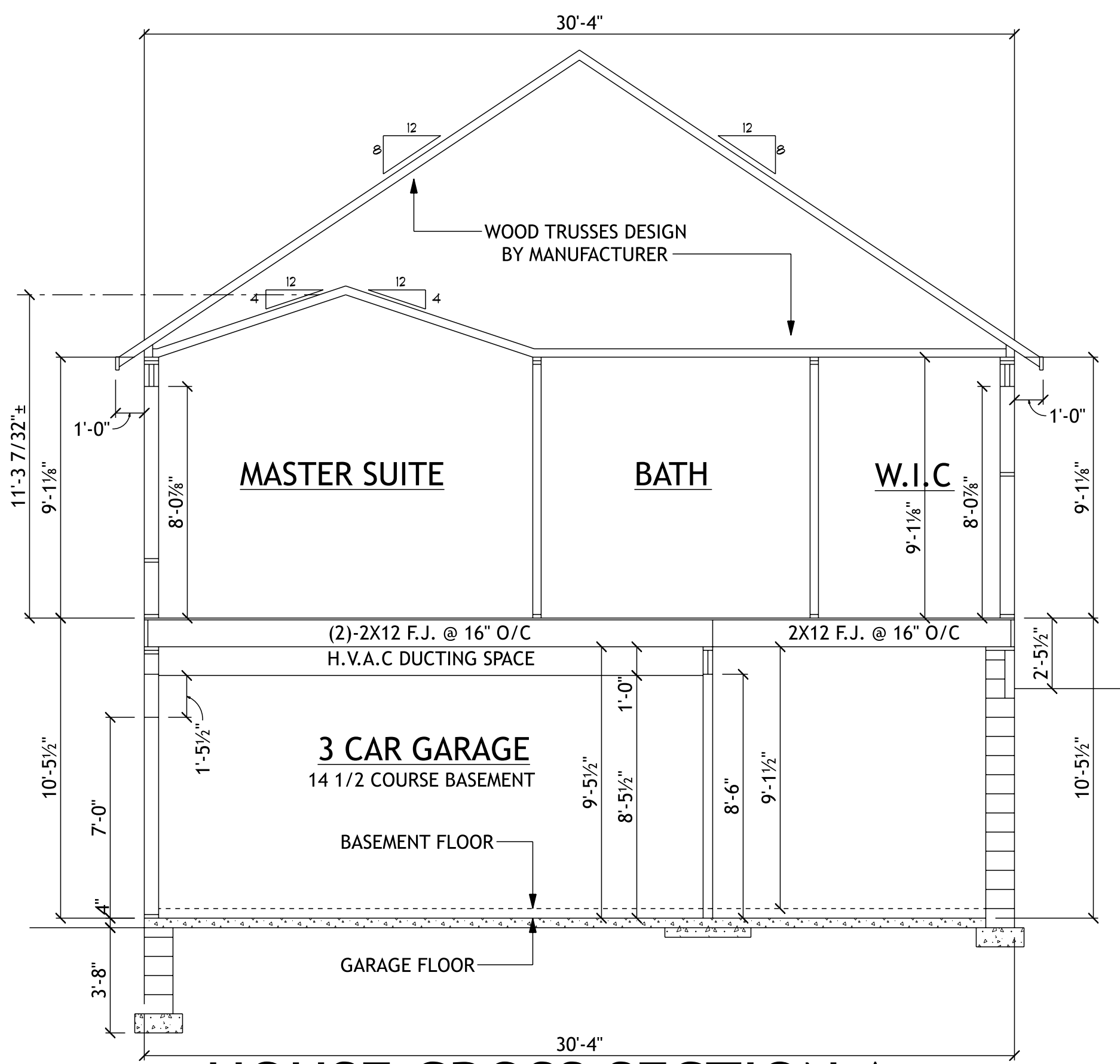
SIGNATURE _____ DATE _____

PRELIMINARY PLANS-EMIG RESIDENCE

241 RAVENNA STREET-HUDSON, OHIO-PARCEL # 3202875

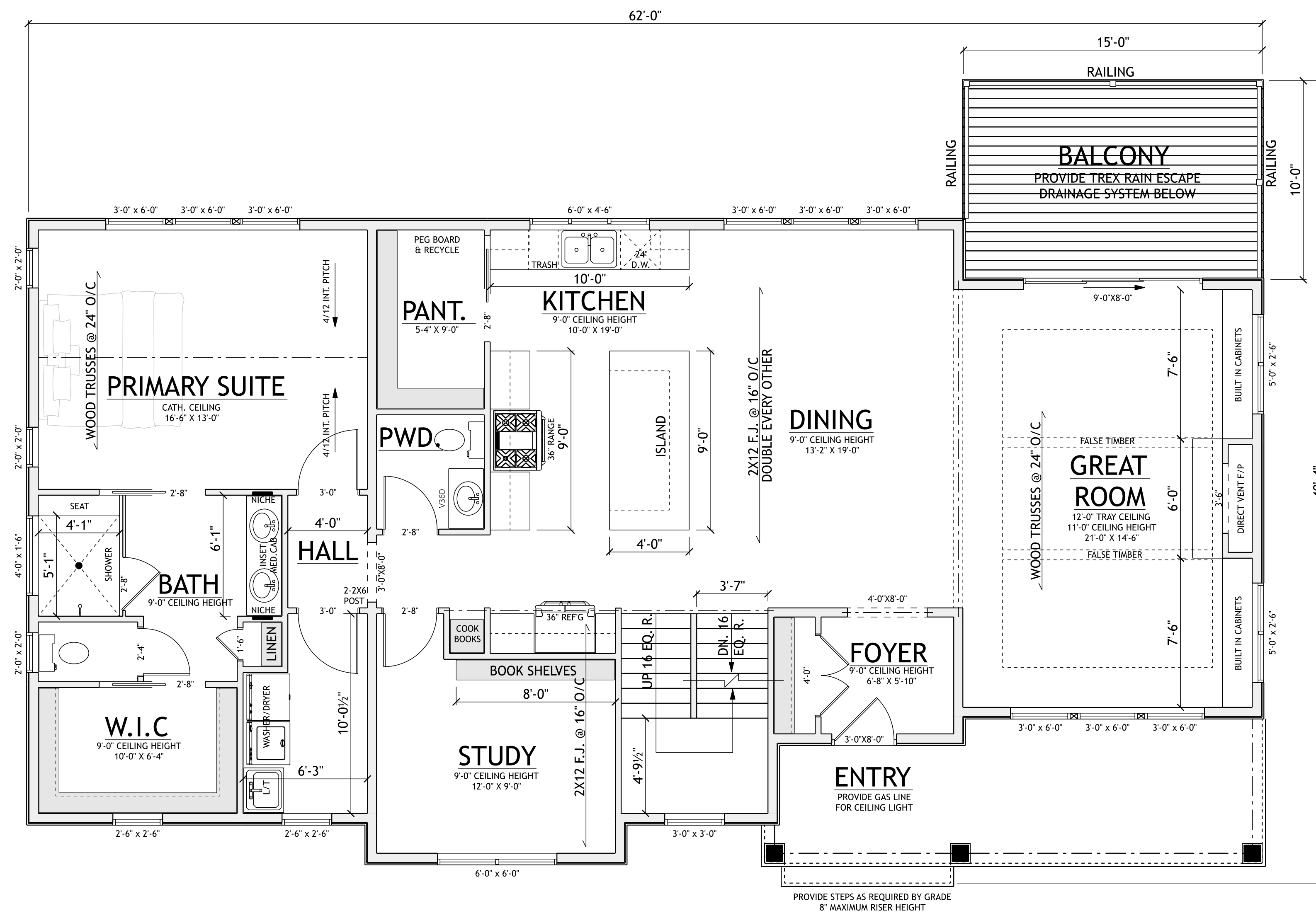
DATA	REVISIONS	
	DATE	D.P.
JOB NUMBER: 202434	06-26-24	D.P.
DATE DRAWN: 06-21-24	06-27-24	D.P.
DRAWN BY: D.P.	07-18-24	D.P.
	07-25-24	D.P.

A3



HOUSE CROSS SECTION A

SCALE: 1/4" = 1'-0"



1,744 SQ. FT.
2X6 EXTERIOR WALL CONSTRUCTION
9'-0" FIRST FLOOR WALL HEIGHT
8'-0" WINDOW & DOOR HEAD HEIGHTS

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

PRELIMINARY APPROVAL

I have reviewed and approve all preliminary plans as drawn.
No further changes to preliminary plans are required.
The Planworks, LLC. are to continue with final construction documents.

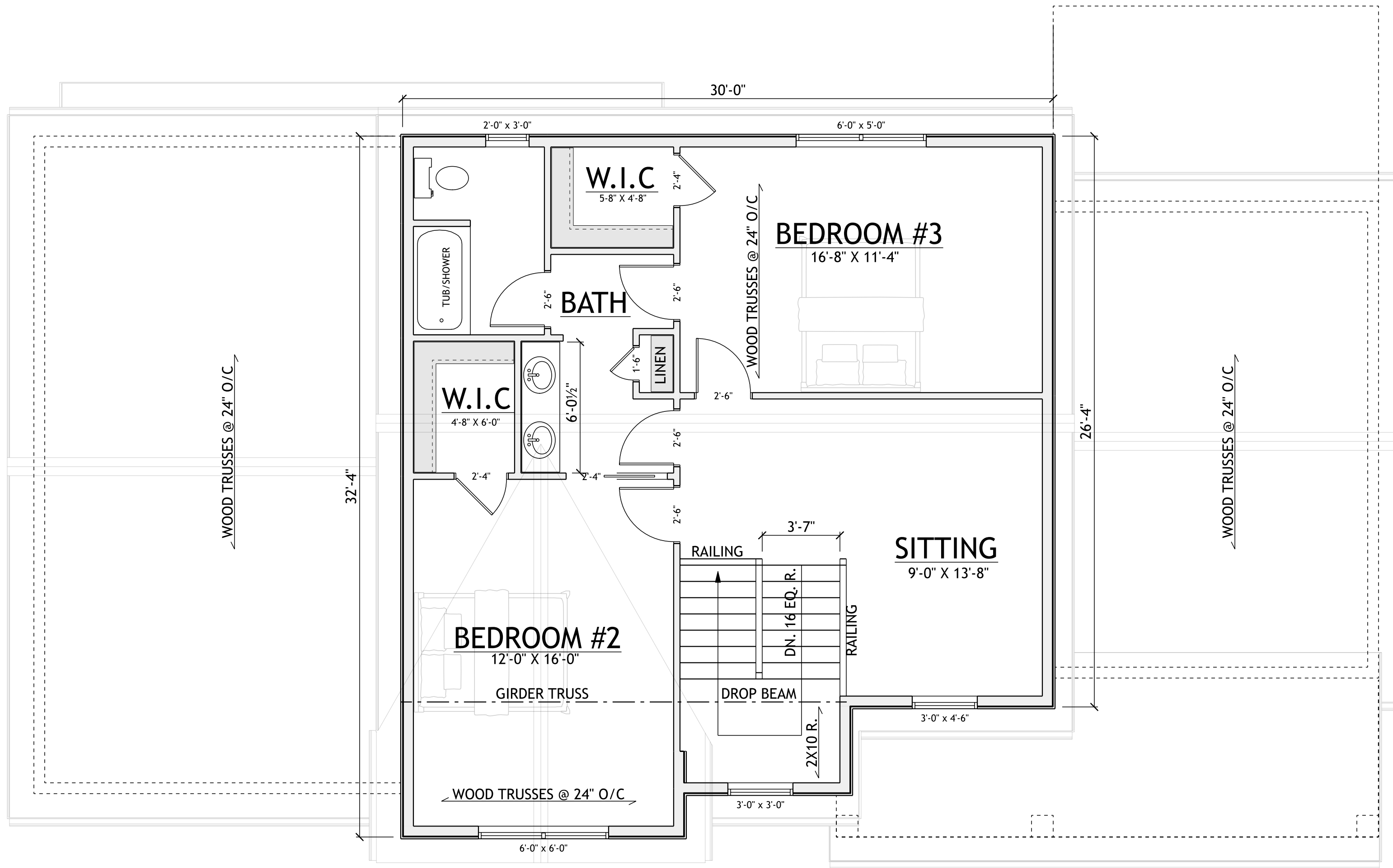
SIGNATURE _____ DATE _____

PRELIMINARY PLANS-EMIG RESIDENCE

241 RAVENNA STREET-HUDSON, OHIO-PARCEL # 3202875

DATA	REVISIONS
JOB NUMBER:202434	D.P. 06-26-24
DATE DRAWN:06-21-24	D.P. 06-27-24
	D.P. 07-18-24
	D.P. 07-25-24
	DRAWN BY:D.P.

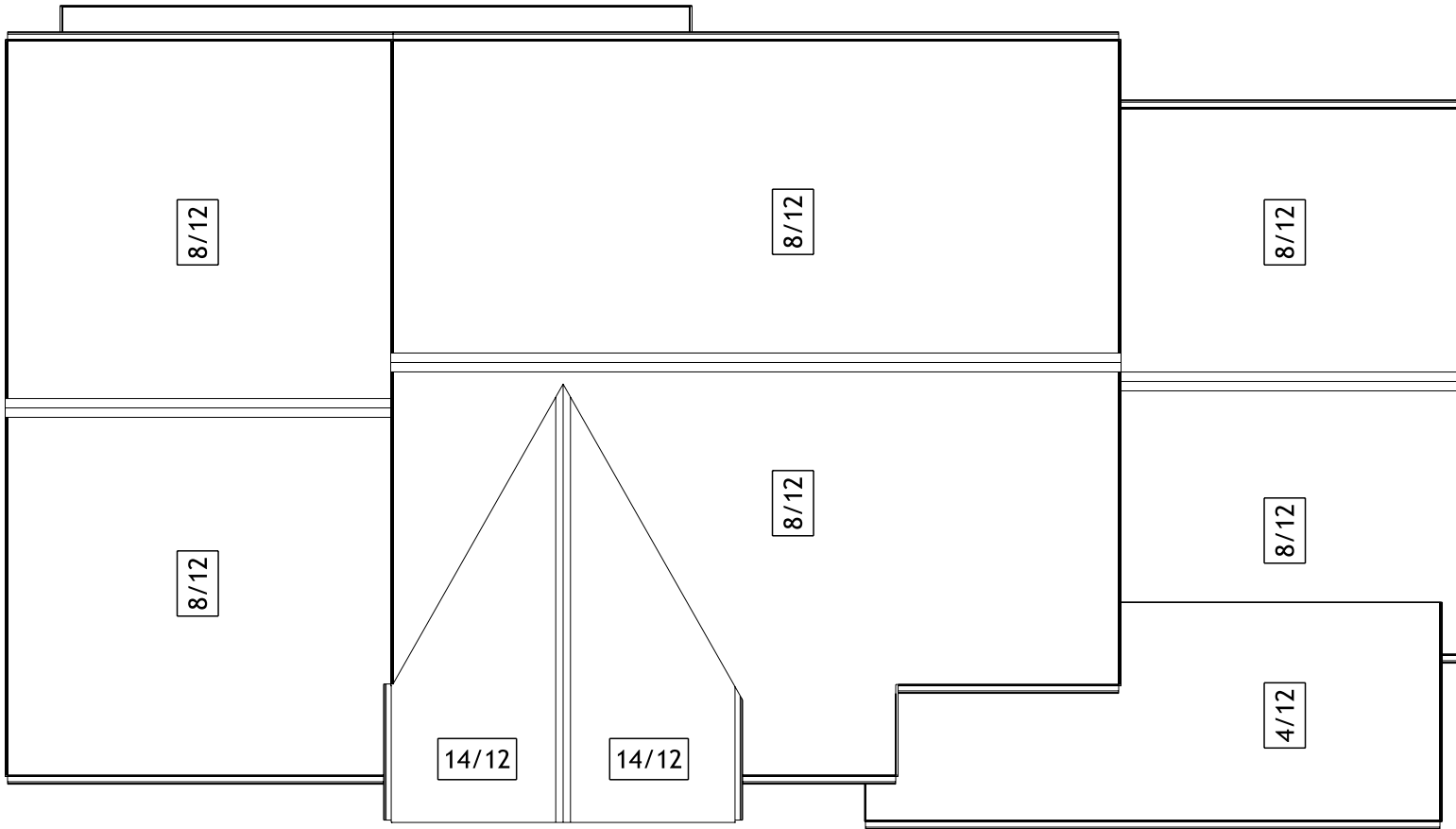
A4



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

900 SQ. FT.
2X6 EXTERIOR WALL CONSTRUCTION
8'-0" SECOND FLOOR WALL HEIGHT
6'-8" WINDOW & DOOR HEAD HEIGHTS



ROOF PLAN

SCALE: 1/8" = 1'-0"

PRELIMINARY APPROVAL

I have reviewed and approve all preliminary plans as drawn.
No further changes to preliminary plans are required.
The Planworks, LLC. are to continue with final construction documents.

SIGNATURE

DATE

DATA	REVISIONS
JOB NUMBER:202434	D.P. 06-26-24
DATE DRAWN:06-21-24	D.P. 06-27-24
	D.P. 07-18-24
	D.P. 07-25-24
	DRAWN BY:D.P.

PRELIMINARY PLANS-EMIG RESIDENCE

241 RAVENNA STREET-HUDSON, OHIO-PARCEL # 3202875

Lot for Build – Parcel 3202875



240 Ravenna St - Empty Lot Across Street



228 Ravenna St – Across the Street



234 Ravenna Street – Across the Street



248 Ravenna Street – Across the Street



262 Ravenna Street – Across the Street



265 Ravenna Street – Same Side of Street



225 Ravenna Street – Same Side of Street



233/235 Ravenna Street – Same Side of Street



247/249 Ravenna Street – Same Side of Street



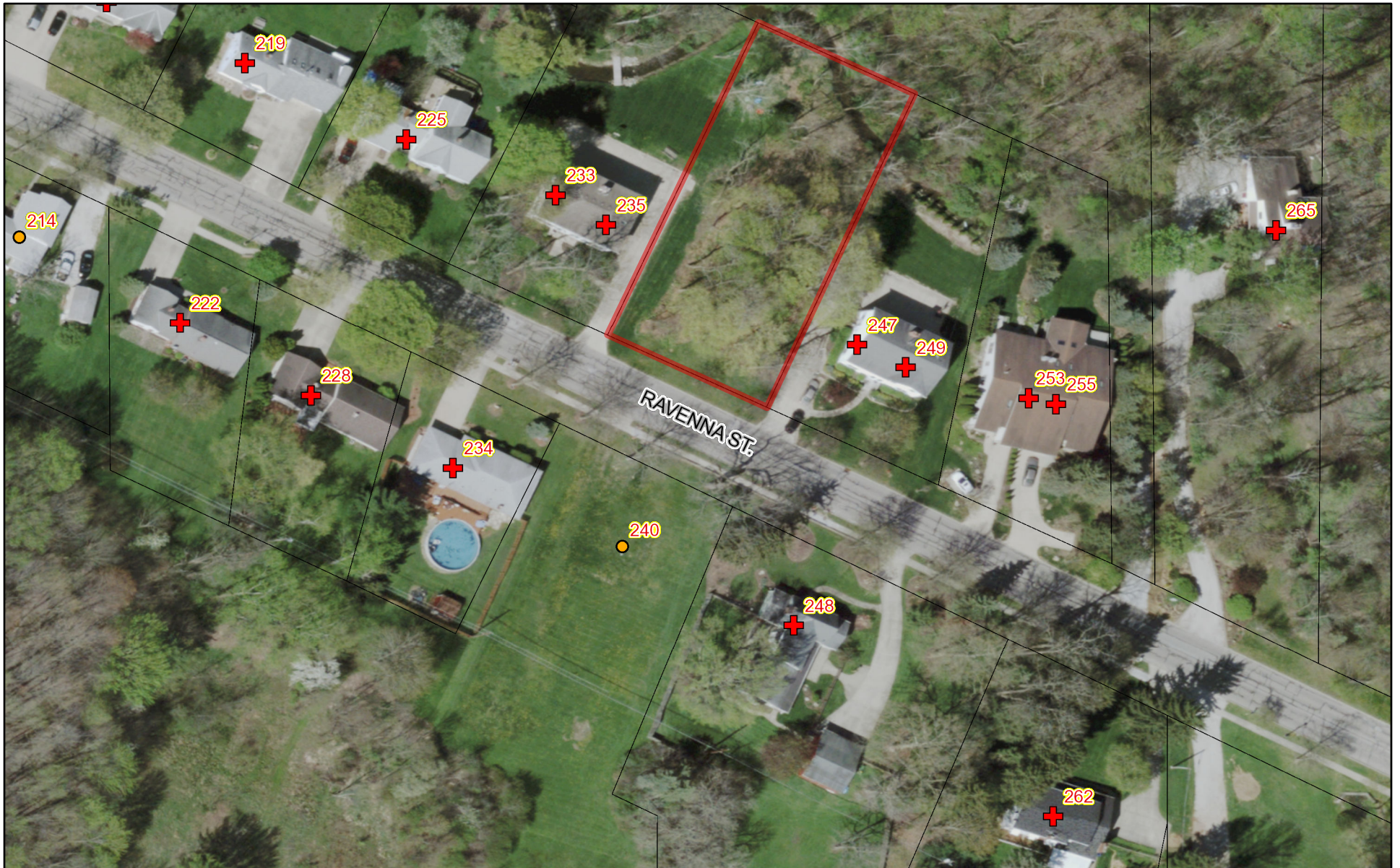
253/255 Ravenna Street – Same Side of Street



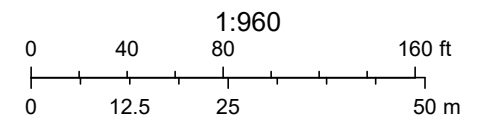
219 Ravenna Street – Same Side of Street



3202875 plat map



November 14, 2021



Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.