

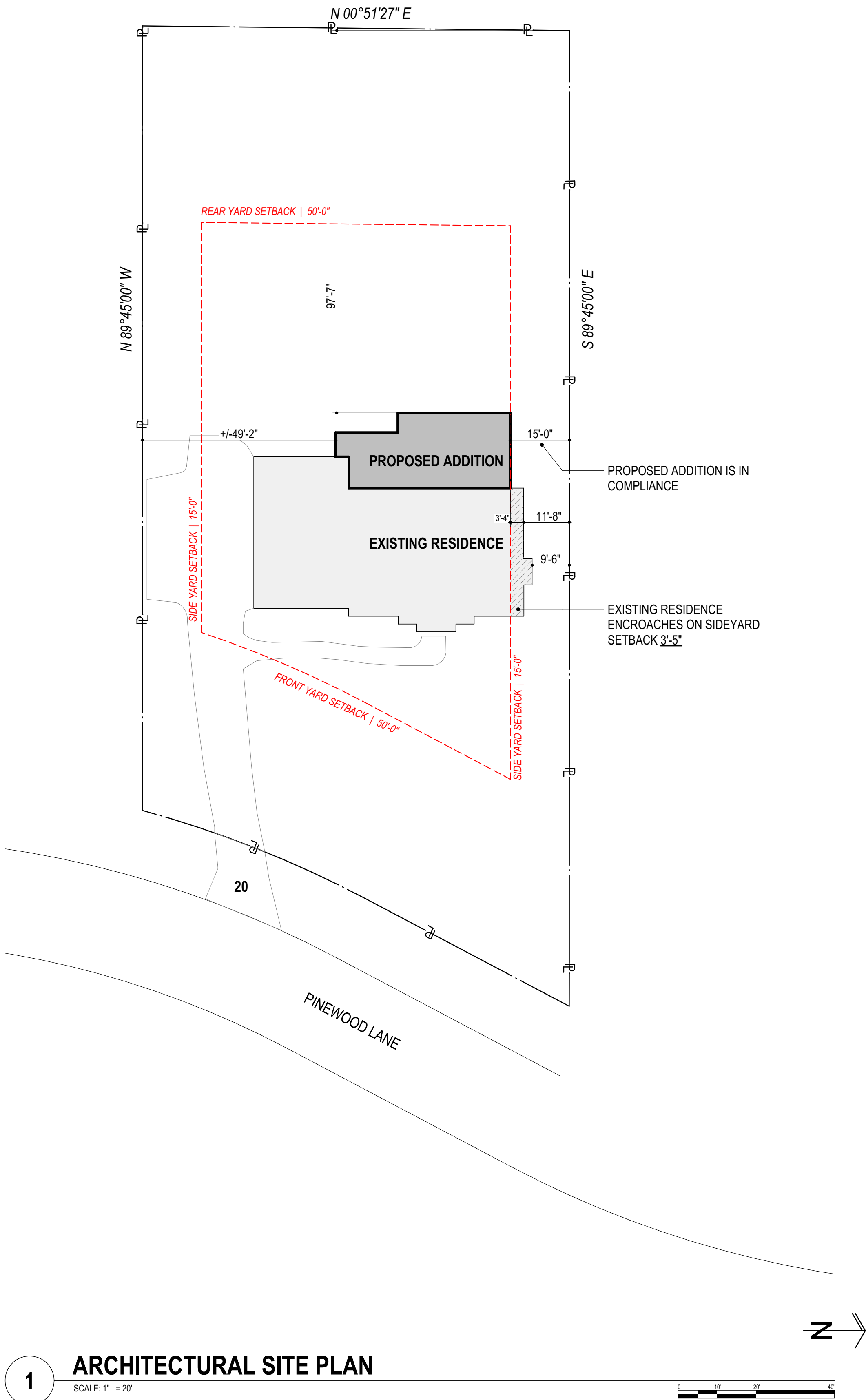
RAVENSCROFT RESIDENCE

20 Pinewood Lane, Hudson, Ohio 44236

PROJECT #: 2511

| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 06/16/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ARCHITECTURAL SITE
PLAN



1 ARCHITECTURAL SITE PLAN



RAVENS CROFT RESIDENCE



PROJECT INFORMATION

CITY HUDSON
COUNTY SUMMIT COUNTY
PARCEL NO 3202738
ZONING ZONE 3 - OUTER VILLAGE RESIDENTIAL NEIGHBORHOOD DISTRICT
LOT .54 ACRE

PROJECT ADDITION OFF THE REAR OF AN EXISTING RESIDENCE. ADDITION IS A SINGLE STORY FORM, FIBER CEMENT VERTICAL SIDING WITH A LOW SLOPE RUBBER ROOF TO ACCOMMODATE EXISTING SECOND FLOOR WINDOWS.

APPLICABLE CODE BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE
ZONING: CITY OF HUDSON

PROJECT AREA

EXISTING RESIDENCE 3,700 SF
ADDITION 812 SF
TOTAL 4,522 SF

PROJECT TEAM

ARCHITECT:

HARA ARCHITECTS
HUDSON, OHIO
P: 419.410.6241

CONTACT: NATE BAILEY

DRAWING INDEX

| | |
|------|-------------------------|
| G100 | COVER SHEET |
| G101 | GENERAL NOTES |
| D101 | DEMOLITION PLAN |
| C100 | ARCHITECTURAL SITE PLAN |
| A100 | FOUNDATION PLAN |
| A101 | FIRST FLOOR PLAN |
| A102 | ROOF PLAN |
| A201 | EXTERIOR ELEVATIONS |
| A202 | EXTERIOR ELEVATIONS |

haraarchitects.com

PROJECT TEAM:

ARCHITECT
HARA ARCHITECTS

STRUCTURAL
J A LEVIN

RAVENS CROFT RESIDENCE

20 Pinewood Lane, Hudson, Ohio 44236

PROJECT #: 2511

| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 08/16/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

ABBREVIATIONS

| | | | |
|----------|-------------------------------|--------|-------------------------------|
| ABV | ABOVE | HC | HOLLOW CORE |
| AC | AIR CONDITIONING | HDWR | HARDWARE |
| AFF | ABOVE FINISHED FLOOR | HM | HOLLOW METAL |
| ALT | ALTERNATE | HVAC | HEATING, VENTILATION, AND AIR |
| AHJ | AUTHORITY HAVING JURISDICTION | COND. | COND. |
| ALUM | ALUMINUM | HT | HEIGHT |
| APPROX. | APPROXIMATELY | INSUL | INSULATION |
| ARCH | ARCHITECTURAL | JST | JOIST |
| ASPH | ASPHALT | | |
| | | LAM | LAMINATED |
| BD | BOARD | LF | LINEAR FOOT |
| BLDG | BUILDING | | |
| BOTT | BOTTOM OF | MAS | MASONRY |
| BRG | BEARING | MATL | MATERIAL |
| BOTT | BOTTOM | MAX | MAXIMUM |
| BTW | BETWEEN | MECH | MECHANICAL |
| | | MFG | MANUFACTURER |
| CF | CUBIC FEET | MIN | MINIMUM |
| CIP | CAST IN PLACE | MISC | MISCELLANEOUS |
| CJ | CONTROL JOINT | MO | MASONRY OPENING |
| CLG | CEILING | MTD | MOUNTED |
| CLR | CLEAR | MTL | METAL |
| CMU | CONCRETE MASONRY UNIT | | |
| CONC | CONCRETE | NOM | NOMINAL |
| CO | CLEAN OUT | NTS | NOT TO SCALE |
| CONT | CONTINUOUS | | |
| | | O/ | OVER |
| DBL | DOUBLE | O.C. | ON CENTER |
| DEPT | DEPARTMENT | OPN | OPENING |
| DIA | DIAMETER | | |
| DIM | DIMENSION | PREFAB | PREFABRICATED |
| DN | DOWN | PLYWD | PLYWOOD |
| DR | DOOR | P LAM | PLASTIC LAMINATE |
| DS | DOWNSPOUT | PR | PAIR |
| DTL | DETAIL | PSI | POUNDS PER SQUARE INCH |
| DWG | DRAWING | | |
| | | REF | REFERENCE |
| EA | EACH | RM | ROOM |
| ELEC | ELECTRICAL | RO | ROUGH OPENING |
| EQ | EQUAL | REQ | REQUIRED |
| EXH | EXHAUST | | |
| EXIST | EXISTING | SC | SOLID CORE |
| EXP | EXPOSED | SECT | SECTION |
| EXT | EXTERIOR | SIM. | SIMILAR |
| | | STRUC | STRUCTURAL |
| FD | FLOOR DRAIN | | |
| FDN | FOUNDATION | TYP | TYPICAL |
| FIN. | FINISHED | | |
| FLR | FLOOR | UNO | UNLESS NOTED OTHERWISE |
| FT | FOOT | | |
| FTG | FOOTING | W/ | WITH |
| FUR | FURRING | WWF | WELDED WIRE FABRIC |
| | | | |
| GALV | GALVANIZED | | |
| GA | GAUGE | | |
| GC | GENERAL CONTRACTOR | | |
| GYP. BD. | GYPSUM BOARD | | |
| GYP | GYPSUM | | |

DRAWING SYMBOLS

| | |
|--|---------------------|
| | DETAIL |
| | EXTERIOR ELEVATION |
| | BUILDING SECTION |
| | INTERIOR ELEVATION |
| | WALL SECTION |
| | CENTERLINE AND GRID |
| | DOOR TAG |
| | WINDOW TAG |

PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

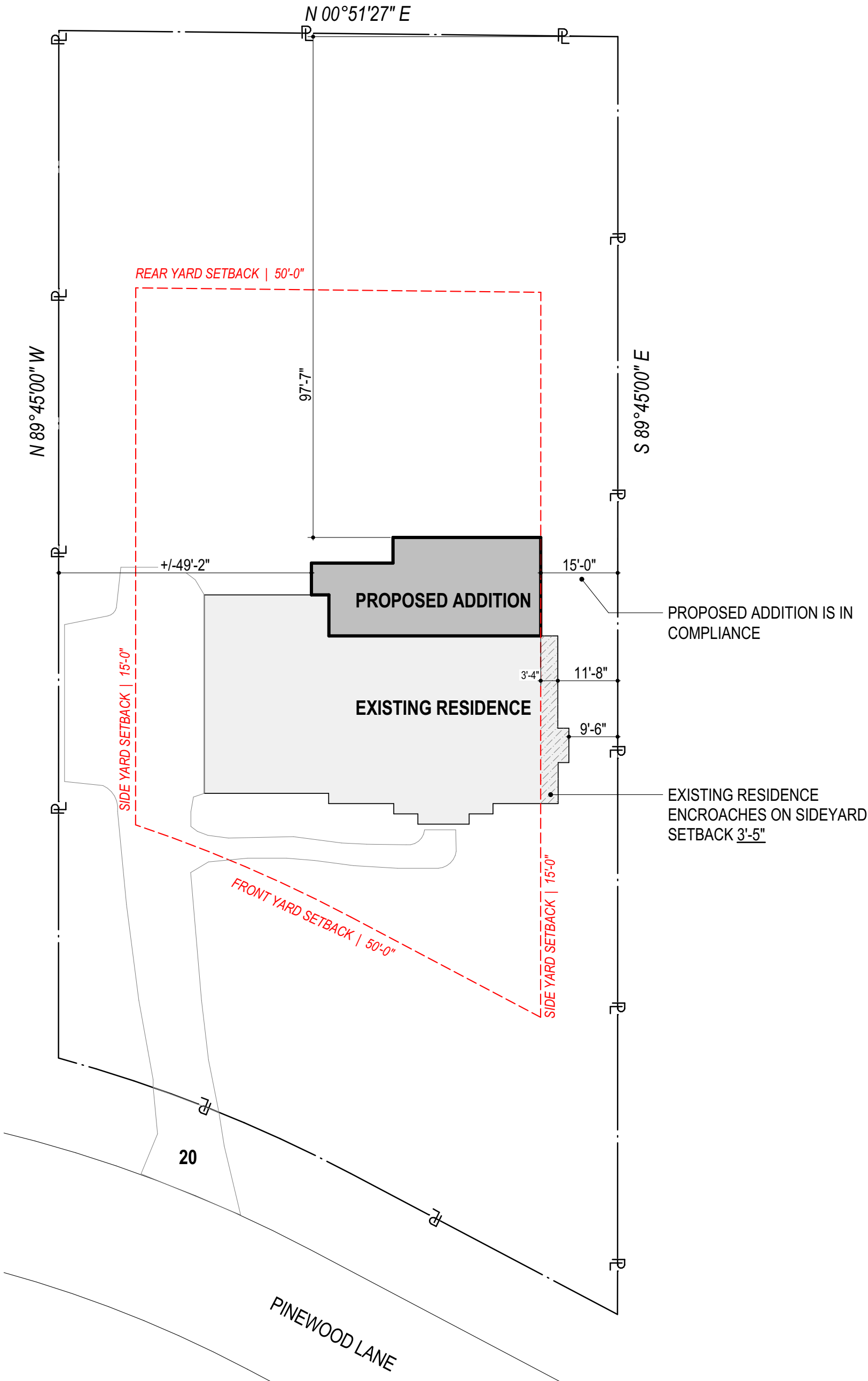
THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTORS EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 3.

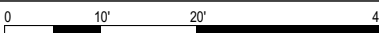
THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



ARCHITECTURAL SITE PLAN

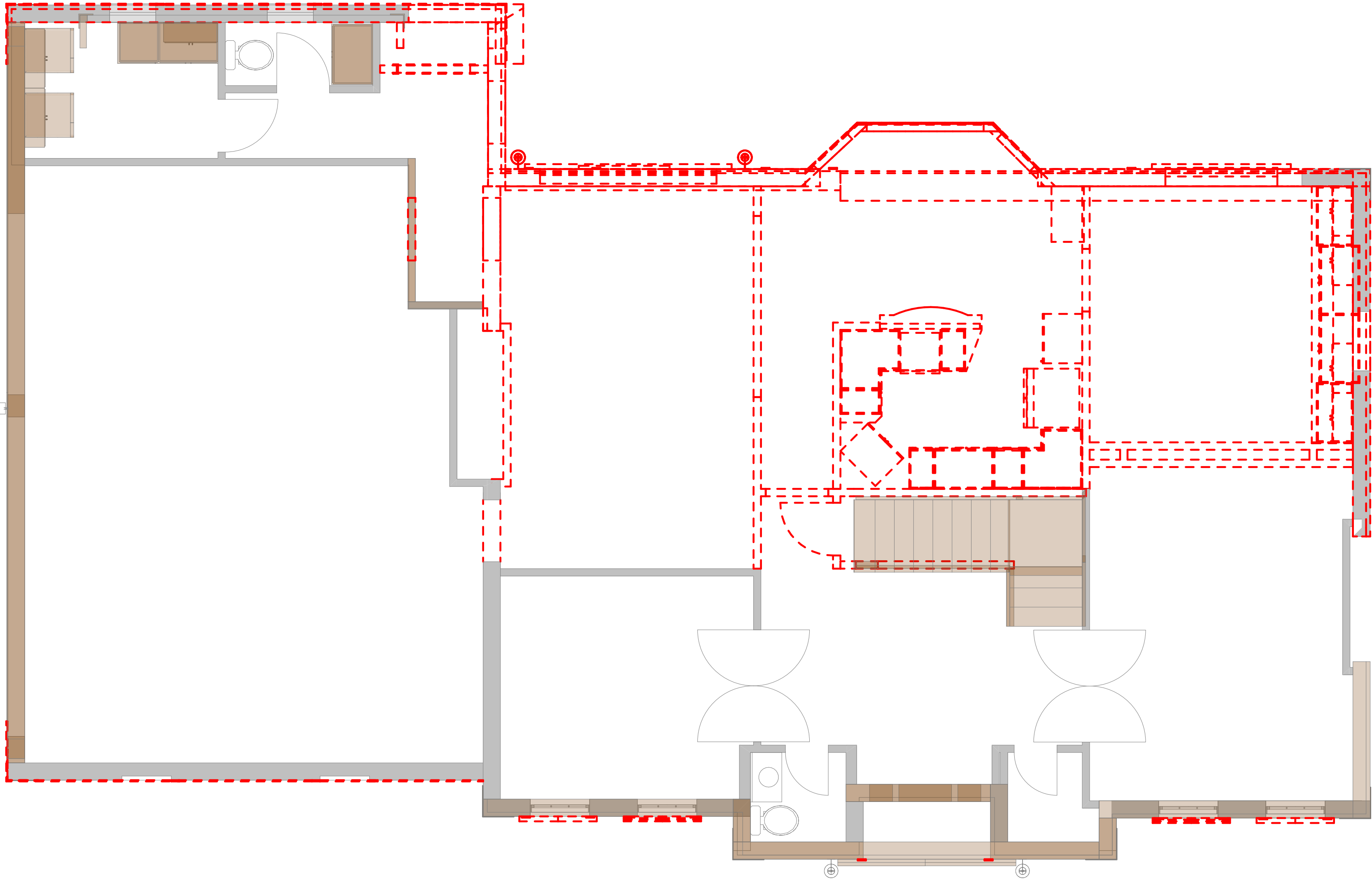
SCALE: 1" = 20'



COVER SHEET

G100

| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 08/18/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, OFFICES, MECHANICAL ROOMS, AND PLUMBING STACKS.

BLOCK WEBS SOLD AT BEARING WALL LOCATIONS ABOVE.

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE SOLID CORE MASONITE DOORS.

ALL INTERIOR TRIM TO BE PRIMED POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR TRUSS CRITERIA

TDL= 30 PSF
TDL= 10 PSF
BDL= 10 PSF
NET UPLIFT= 15 PSF
19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TDL= 10 PSF
TDL= 10 PSF
BDL= 10 PSF
NET UPLIFT= 10 PSF
ATTL= 4 L240

WOOD HEADERS (S.N.O.)

| OPENING | HEADERS | NON BEARING | BEARING |
|----------------|----------------|----------------|----------------|
| UP TO 4'-0" | (2) 2 X 8 | 1 JACK, 1 KING | 1 JACK, 1 KING |
| 4'-0" - 6'-0" | (2) 2 X 10 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 6'-0" - 8'-0" | (2) 2 X 12 | 1 JACK, 1 KING | 2 JACK, 1 KING |
| 8'-0" - 12'-0" | (2) 11 1/4 LVL | 2 JACK, 1 KING | 3 JACK, 1 KING |

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

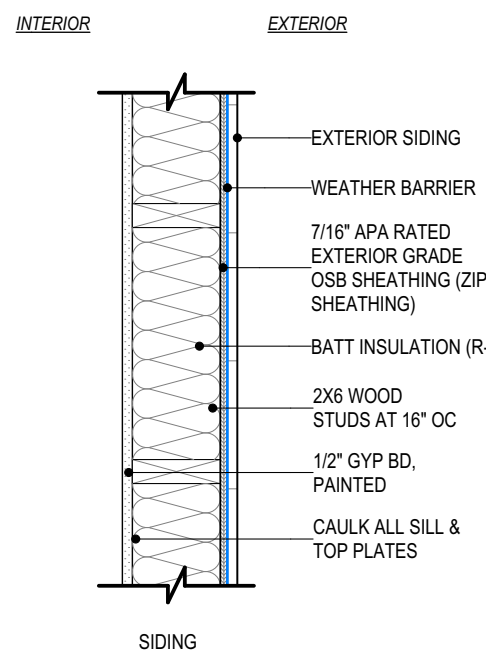
INDICATES POINT LOAD FROM ABOVE

INDICATES BEARING WALL

OPENING (DOOR/CASED OPENING) TAG
3080 - 3'-0" X 6'-0"

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW COUNT PROVIDED FOR REFERENCE. CONTRACTOR RESPONSIBLE FOR COORDINATING FINAL WINDOW COUNT WITH DRAWINGS. OWNER TO VERIFY WINDOW COUNT WITH ARCHITECT.

WINDOW SCHEDULE

| ID | QTY | W x H |
|-----|-----|---------------|
| W01 | 1 | 3'-6" X 3'-6" |
| W02 | 2 | 2'-8" X 5'-0" |
| W03 | 1 | 3'-0" X 4'-0" |
| W04 | 1 | 3'-6" X 5'-0" |
| W05 | 3 | 3'-0" X 5'-0" |
| W06 | 2 | 4'-5" X 5'-0" |
| W07 | 1 | 3'-0" X 2'-0" |
| W08 | 1 | 3'-0" X 6'-0" |
| W09 | 1 | 6'-0" X 2'-0" |
| W10 | 1 | 6'-0" X 6'-0" |
| X01 | 1 | 3'-0" X 3'-0" |
| X02 | 4 | 3'-0" X 4'-0" |

RAVENS CROFT RESIDENCE

20 Pinewood Lane, Hudson, Ohio 44236

PROJECT #: 2511

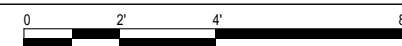
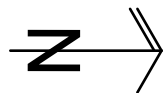
| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 08/16/2025 |

FIRST FLOOR PLAN

A101

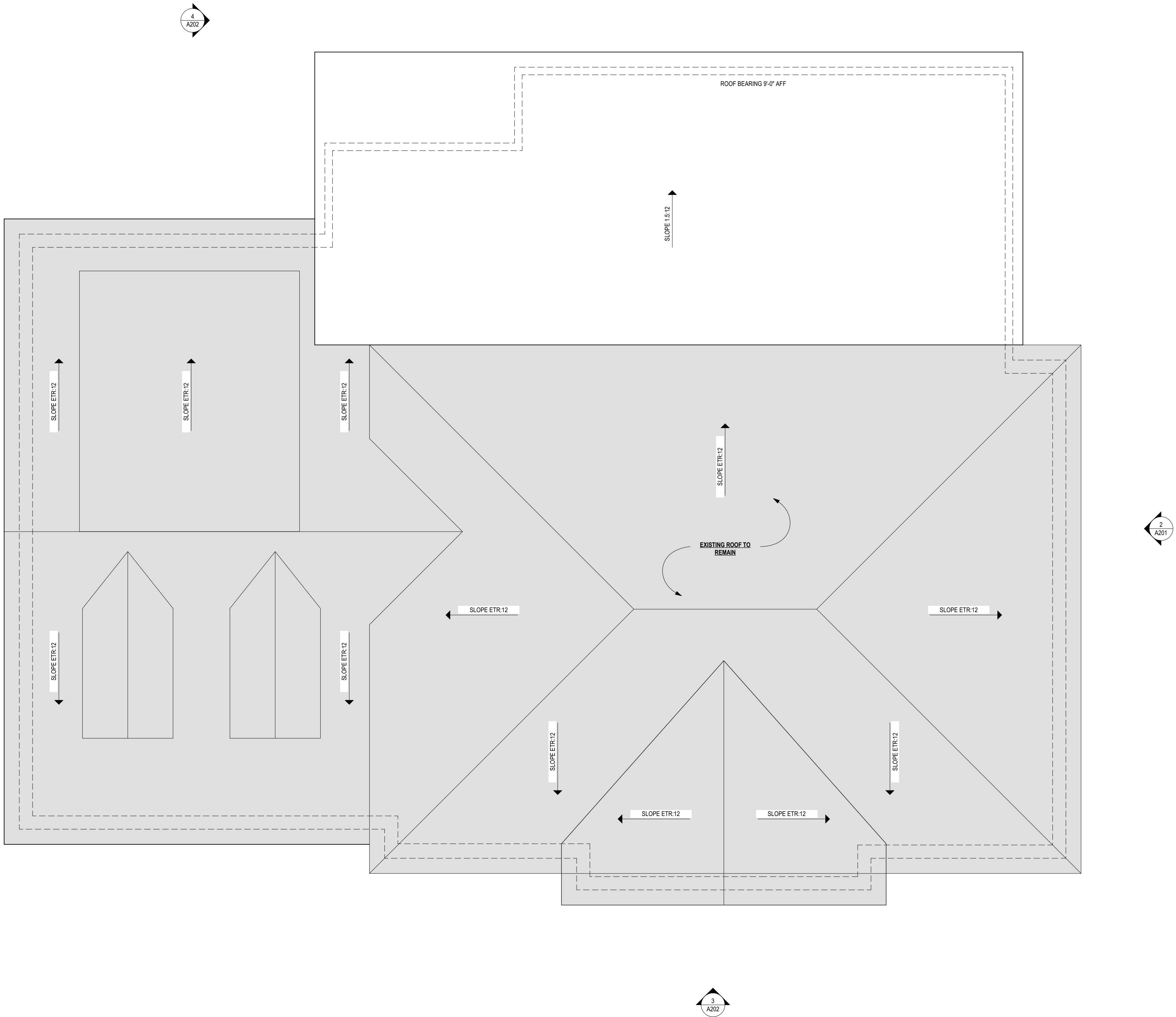
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



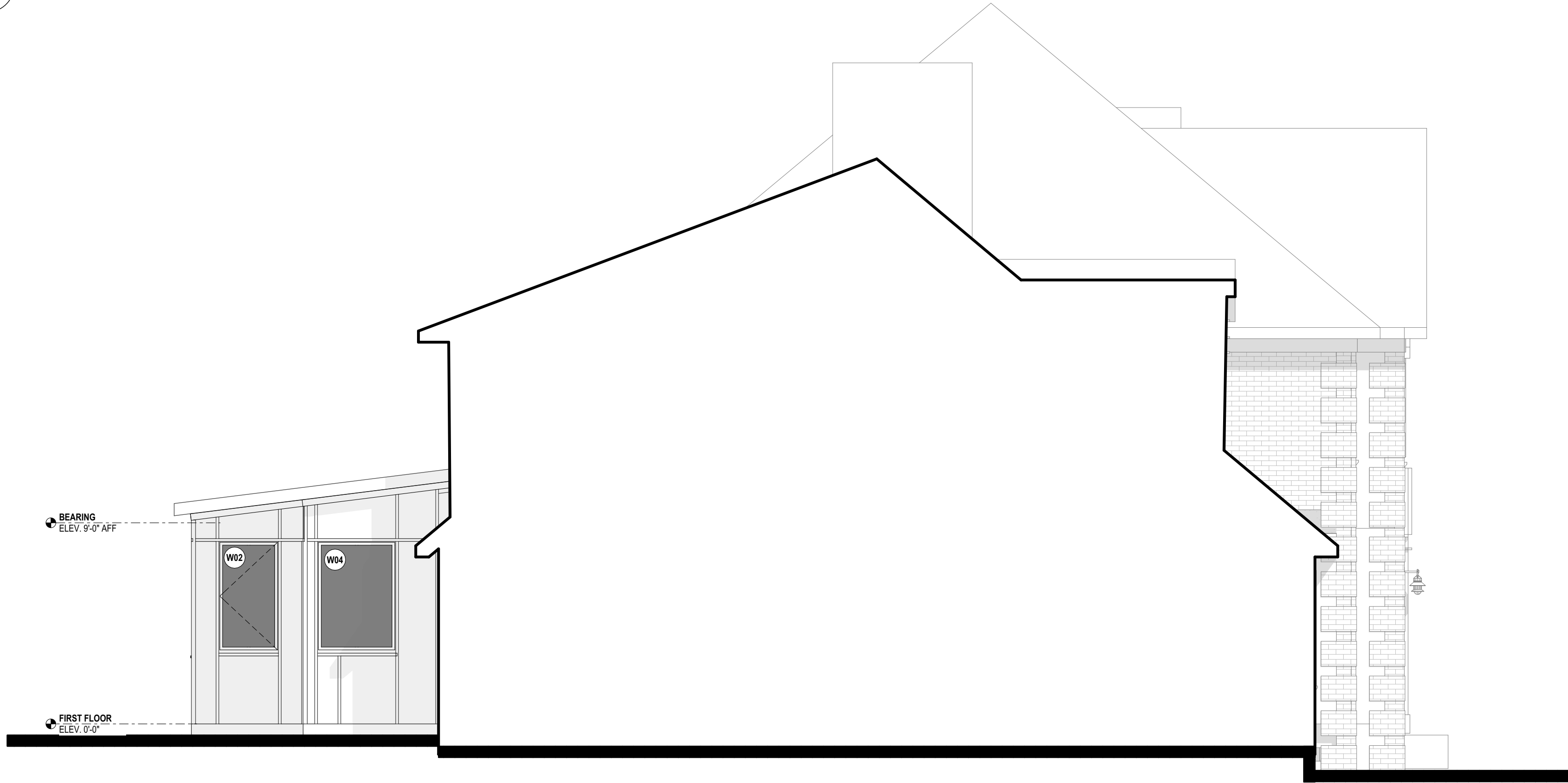
PROJECT #: 2511

| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 06/16/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |





1 FRONT OF HOUSE
SCALE: 1:138



4 SIDE OF HOUSE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION GENERAL NOTES

ALL TRIM AT WINDOWS AND DOORS TO AZEK, PAINTED.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE PINE, STAINED AND SEALED. COORDINATE FINAL COLOR WITH OWNER.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

MATERIAL SCHEDULE

SIDING 01 VERTICAL SIDING
FIBER CEMENT BOARD AND BATTEN SIDING (JAMES HARDIE OR APPROVED ALTERNATE)
COLOR: BY OWNER

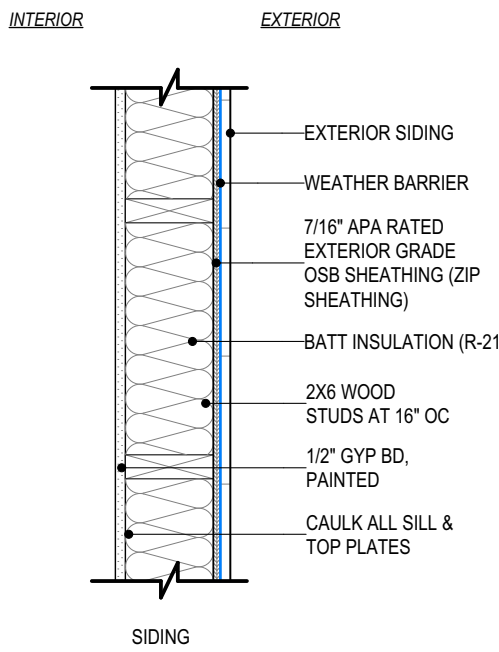
SIDING 02
NOT USED
COLOR: BY OWNER

ROOF 01 RUBBER ROOF MEMBRANE

MASONRY 01
CONCRETE MASONRY UNIT, EXPOSED
PAINTED OR PARGED

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW COUNT PROVIDED FOR REFERENCE. CONTRACTOR RESPONSIBLE FOR COORDINATING FINAL WINDOW COUNT WITH DRAWINGS, OWNER, & ARCHITECT.

X REPRESENTS EXISTING WINDOWS TO BE REPLACED IN KIND TO MATCH COLOR, STYLE AS PROPOSED ADDITION.

| WINDOW SCHEDULE | | |
|-----------------|-----|---------------|
| ID | QTY | W x H |
| W01 | 1 | 3'-6" x 3'-6" |
| W02 | 2 | 2'-8" x 5'-0" |
| W03 | 1 | 3'-0" x 4'-0" |
| W04 | 1 | 3'-6" x 5'-0" |
| W05 | 3 | 3'-0" x 5'-0" |
| W06 | 2 | 4'-6" x 5'-0" |
| W07 | 1 | 3'-0" x 2'-0" |
| W08 | 1 | 3'-0" x 6'-0" |
| W09 | 1 | 6'-0" x 2'-0" |
| W10 | 1 | 6'-0" x 6'-0" |
| X01 | 1 | 3'-0" x 3'-0" |
| X02 | 4 | 3'-0" x 4'-0" |

PROJECT #: 2511

| ISSUE | ID | DATE |
|-------|----|------------|
| AHBR | A | 06/16/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

EXTERIOR ELEVATION GENERAL NOTES

ALL TRIM AT WINDOWS AND DOORS TO AZEK, PAINTED.

ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE PINE, STAINED AND SEALED. COORDINATE FINAL COLOR WITH OWNER.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

MATERIAL SCHEDULE

SIDING 01 VERTICAL SIDING
FIBER CEMENT BOARD AND BATTEN SIDING (JAMES HARDIE OR APPROVED ALTERNATE)
COLOR: BY OWNER

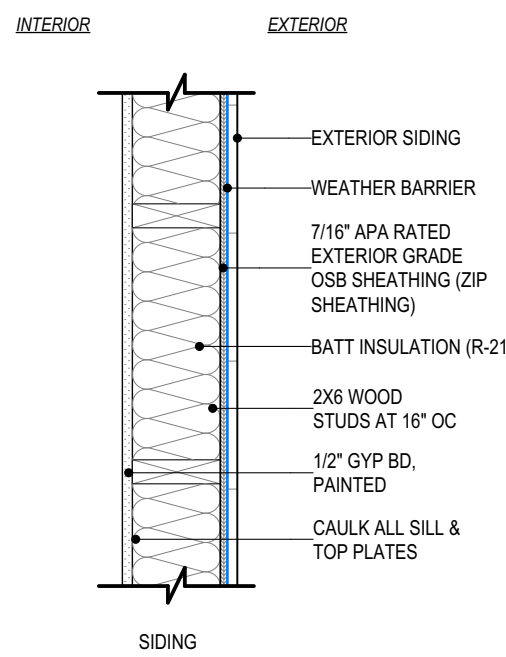
SIDING 02
NOT USED
COLOR: BY OWNER

ROOF 01 RUBBER ROOF MEMBRANE

MASONRY 01
CONCRETE MASONRY UNIT, EXPOSED
PAINTED OR PARGED

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW COUNT PROVIDED FOR REFERENCE. CONTRACTOR RESPONSIBLE FOR COORDINATING FINAL WINDOW COUNT WITH DRAWINGS, OWNER, & ARCHITECT.

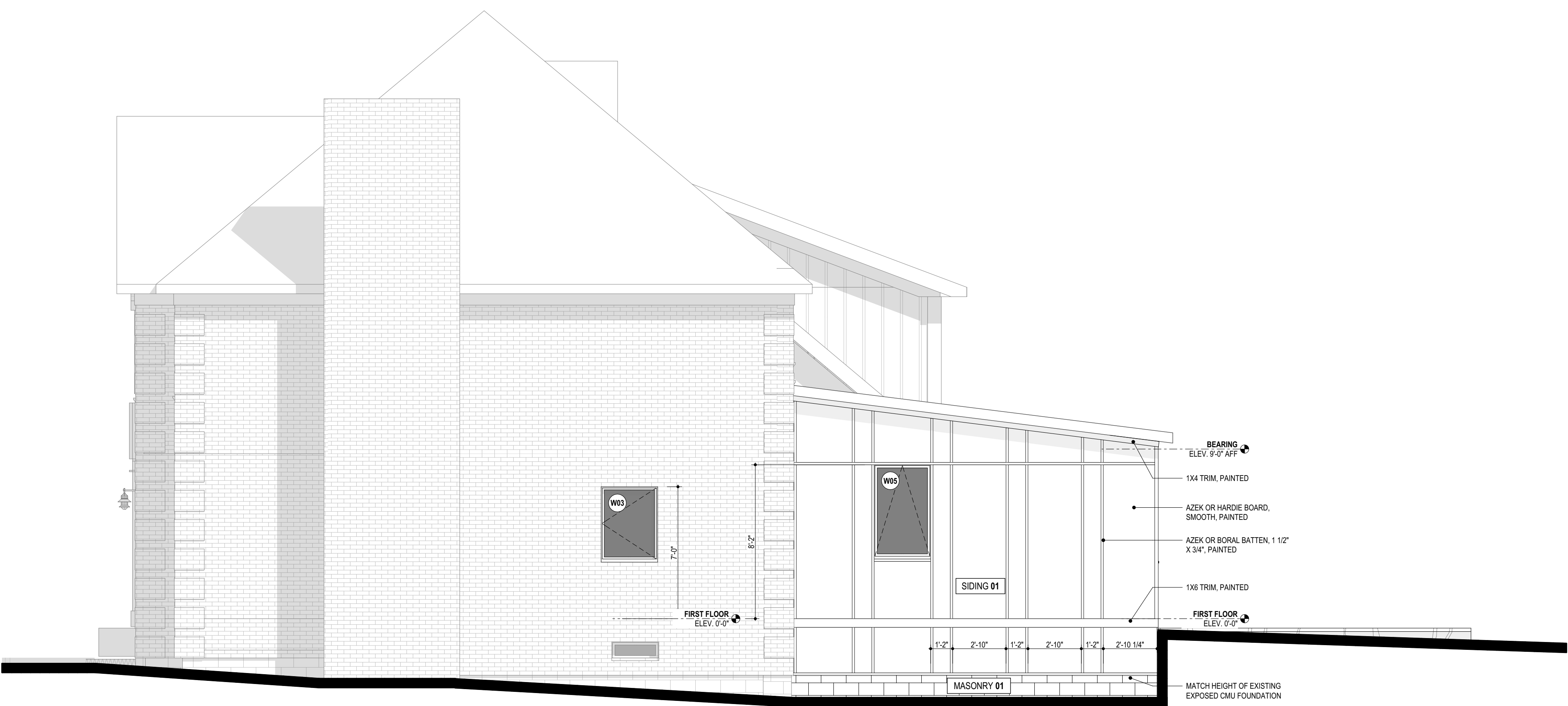
X REPRESENTS EXISTING WINDOWS TO BE REPLACED IN KIND TO MATCH COLOR, STYLE AS PROPOSED ADDITION.

| WINDOW SCHEDULE | | |
|-----------------|-----|----------|
| ID | QTY | W x H |
| W01 | 1 | 3'-6\"/> |
| W02 | 2 | 2'-8\"/> |
| W03 | 1 | 3'-0\"/> |
| W04 | 1 | 3'-6\"/> |
| W05 | 3 | 3'-0\"/> |
| W06 | 2 | 4'-6\"/> |
| W07 | 1 | 3'-0\"/> |
| W08 | 1 | 3'-0\"/> |
| W09 | 1 | 6'-0\"/> |
| W10 | 1 | 6'-0\"/> |
| X01 | 1 | 3'-0\"/> |
| X02 | 4 | 3'-0\"/> |

| ISSUE | ID | DATE |
|-------|----|------------|
| A/HR | A | 06/16/2025 |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



1 REAR ELEVATION OF HOUSE (WEST)
SCALE: 1/4" = 1'-0"



2 SIDE OF HOUSE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"













