



COMMUNITY DEVELOPMENT • 1140 Terex Road • Hudson, Ohio 44236 • (330) 342-1790

PLANNING COMMISSION

CASE NO. 2025-904

CITY OF HUDSON LAND DEVELOPMENT CODE TEXT AMENDMENT TO SECTIONS 1205, 1206, AND 1213 OF THE LAND DEVELOPMENT CODE. THE AMENDMENT PERTAINS TO ASSISTED LIVING, CONTINUING CARE RETIREMENT COMMUNITIES, AND INSTITUTIONAL RESIDENTIAL USES.

RECOMMENDATION

Based on the evidence and representations to the Commission by City staff at a public hearing of the Planning Commission held at the regular meetings of August 11, 2025, September 8, 2025, and October 13, 2025, the Planning Commission finds the proposed text amendment to be in substantial compliance with the appropriate review standards of Section 1204.01, with the following findings:

1. The amendment is in accordance with the basic intent and purpose of the Land Development Code, specifically Section 1201.03 stating the intent to
 - a. *Promote the public health, safety, convenience, comfort, prosperity, and general welfare.*
 - b. *Secure safety of persons and property from fire, flood, and other dangers.*
 - c. *Facilitate the economic provision of adequate public facilities such as transportation, water supply, sewage disposal, drainage, electricity, public schools, parks, and other public services and requirements.*
 - d. *Manage overall community growth, including population and employment growth, to benefit the community and to encourage fiscally efficient and orderly development.*
 - e. *Encourage a balance of residential and non-residential uses and development in the community so that future growth occurs in a fiscally prudent manner.*
2. The amendment furthers the Comprehensive Plan's goals and objectives, specifically the objective to *limit large-scale living facilities based on emergency service needs* (pg.79).
3. Conditions within the City have changed since the Land Development Code was adopted as several large-scale living facilities have been developed.
4. The amendment avoids unlawful exclusionary zoning and avoids granting special privileges.
5. Limiting future expansion of these uses would support the city's ability to provide emergency services. Generally, 40% of total Hudson EMS responses relate to large scale living facilities.
6. The amendment is necessary to address current conditions as the general needs of the community are being met with the current facilities.

The Planning Commission recommends approval of the amendment as presented in Case #2025-904 with the attached recommendation.

Dated: October 24, 2025

CITY OF HUDSON
PLANNING COMMISSION

Sarah Norman

Sarah Norman, Chair

Chapter 1206 Use Regulations

1206.01 Table of Permitted and conditional uses by zone district

<i>P = Permitted By Right C = Conditional</i> <i>*Size or Other Limits Apply—See Zone District Regulations, Chapter 1205</i>													
Zoning Districts													
Use Type	1	2	3	4	5	6	7	7ol	8	8ol	9	10	Special conditions
Residential													
Assisted Living		C	C	€	€	€			€	€			4,10,11,12,14, <u>35</u>
Institutional/Civic/Public Uses													
Continuing Care Retirement Community		<u>C</u>	C			€			€				4,10,11,12,14,22, <u>35</u>
Institutional residential for the handicapped or elderly (for 9 or more people)		<u>C</u>	C			€			€				4, <u>10,11,12</u> ,14,22, <u>35</u>

1206.02 Conditional Use Standards

(a) General Provisions

(c) Conditional Uses: Special Conditions and Standards

(4) Where applicable, certification or licensing by the sponsoring state or federal governmental agency shall be a prerequisite to issuance of a zoning certificate by the City. A copy of an annual report with evidence of continuing certification shall be submitted to the Community Development Director **upon request** ~~in January of each year.~~

(10) Adequate vehicle turning areas shall be provided on the site so that vehicles and equipment can be maneuvered on site without interrupting traffic flow or blocking public streets.

(11) The parking area for the use shall be a minimum of fifty feet from adjacent properties used for residential purposes.

(12) Safe areas for pick-up and discharge of persons shall be provided.

(14) Adequate provisions shall be made for access by emergency medical and fire vehicles on two sides of the building.

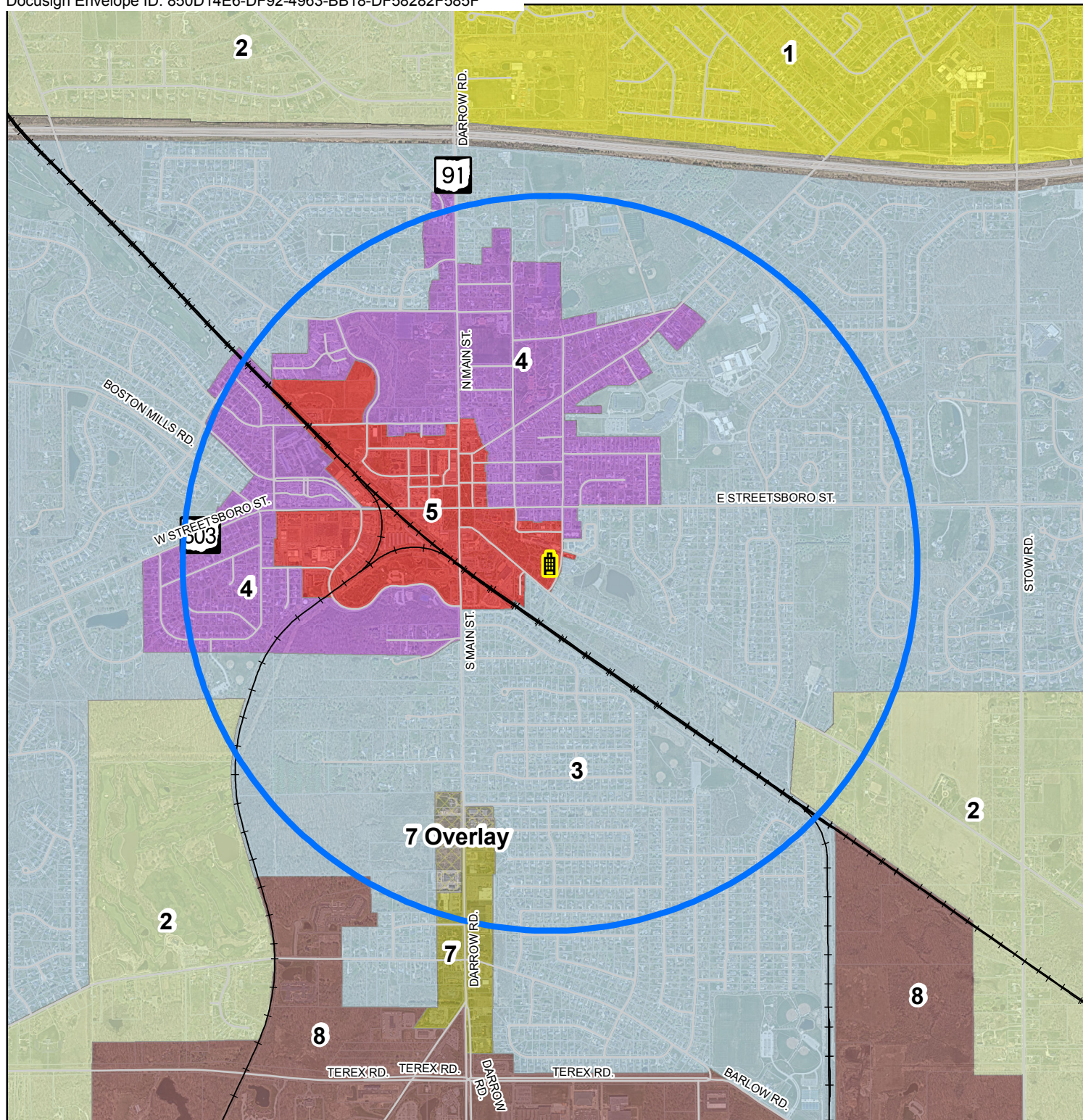
(35) The use or building housing such use shall be located a maximum of one mile from the lot line of the City of Hudson Emergency Medical Services station.

1213 Definitions

(26) "Assisted living" shall mean residences for the elderly that provide rooms, meals, personal care, and supervision of self-administered medication. They may provide other services, such as recreational activities, financial services, and transportation.

(73) "Continuing care retirement community" shall mean a residential and institutional complex containing dwelling units of any type permitted by this Code for independent living, ~~and~~ **along with** assisted living or institutional residential uses or both, with each dwelling or room occupied by not more than two residents at least one of whom is fifty-five years of age or older. Said complex shall have available on site: passive and active recreational facilities; common dining facilities; and provide primarily non-medical resident services to individuals in need of personal assistance essential for sustaining activities of daily living such as assistance or supervision in matters such as dressing, bathing, diet, financial management, transportation, evacuation of a residence in the case of an emergency, or administered medication.

(160) "Institutional residential uses" shall mean residences for nine or more unrelated persons who are elderly or developmentally disabled and who may or may not require facilities and services including restorative care and treatment, nursing services, aid with daily living skills, meal service, regular or as-needed medical supervision, social care, or other services that are supportive, restorative, or preventive in nature. Institutional residential uses include, but are not limited to, long-term care facilities, nursing homes, group homes for nine or more clients, and intermediate care facilities. "Institutional residential uses" do not include assisted living facilities, group homes for eight or fewer clients, day care centers, or family day care homes.



Hudson EMS One Mile Buffer

EMS

EMS One Mile Buffer

Railroads

Zoning Districts

1-Suburban Residential Nbhd.

2-Rural Residential Conservation

3-Outer Village Residential Nbhd.

4-Historic Residential Nbhd.

5-Village Core District

6-Western Hudson Gateway

7-Outer Village Commercial Corridor

District 7 Office Overlay

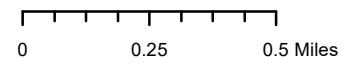
8-Industrial/Business Park

District 8 HB Senior Housing Overlay

9-Darrowville Commercial Corridor

10-Ravenna Road Corridor

Parcels



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City of Hudson, Ohio
Department of Community Development
GIS Division

Map Compiled: October 2025