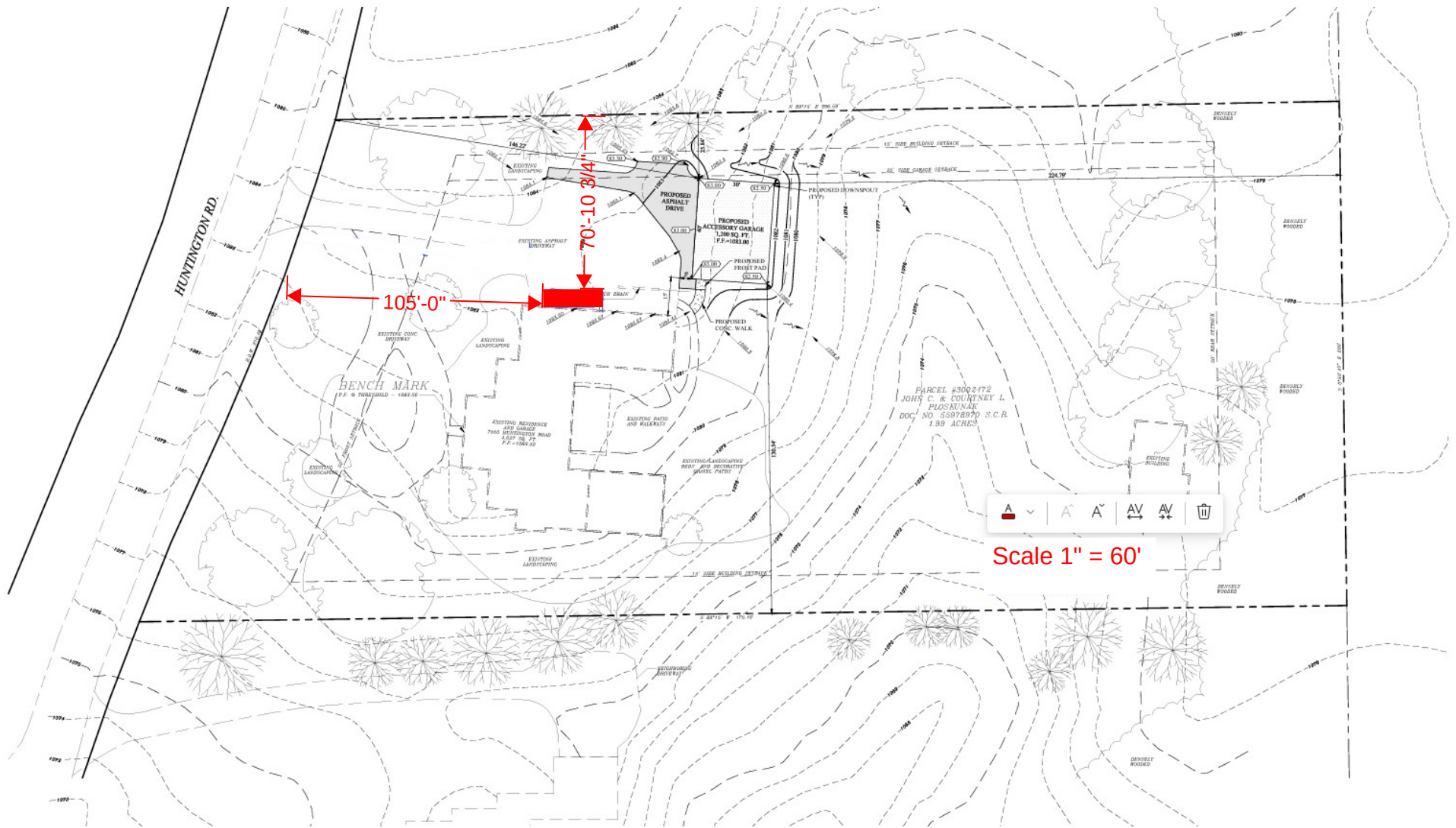


Scale 1" = 60'

PLOSKUNAK PORCH

7555 HUNTINGTON ROAD
HUDSON, OHIO 44236



NOTE!
ALL MATERIALS AND/OR PRODUCTS
SELECTED FOR THIS PROJECT MUST BE
INSTALLED PER THE MANUFACTURER'S
SPECIFICATIONS, DETAILS, AND
REFERENCES. THESE REQUIREMENTS TAKE
PRECEDENCE OVER THE DRAWINGS AND
THE MATERIALS NOTED.

GENERAL NOTES

1. TO BE CONSTRUCTED UNDER 2019 RBC, LOCAL BUILDING INSPECTION DEPARTMENT MATERIALS AND CONSTRUCTION FOR SEWERAGE TO MEET LOCAL CODES. BUILDING MATERIALS AND CONSTRUCTION TO MEET LOCAL CODES AND THE RESIDENTIAL BUILDING CODE. ALL PROPER PERMITS MUST BE OBTAINED FOR ALL CONSTRUCTION WORK (WHICH HAS BEEN APPROVED BY PROPER DEPARTMENTS) PRIOR TO ANY CONSTRUCTION. ALL CONTRACTORS, MUST BE LICENSED TO DO WORK WITHIN THE GOVERNING MUNICIPALITY.
2. ALL DIMENSIONS ARE ROUGH DISTANCE FROM FACE OF STUD TO FACE OF STUD AND/OR MASONRY WALL(S), UNLESS NOTED OTHERWISE.
3. THESE DESIGNS AND ALL ITEMS DEPICTED HEREIN, WHETHER IN WRITING OR GRAPHICALLY, AS INSTRUMENTS OF PROFESSIONAL SERVICE, MAY NOT BE ALTERED OR CHANGED, IN ANY WAY, WITHOUT THE PRIOR KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGE MADE WITHOUT THE ARCHITECT'S WRITTEN APPROVAL WILL VOID ALL SUCH DOCUMENTS AND INSTRUMENTS AND THE ARCHITECT WILL NOT BE PERSONALLY LIABLE FOR ANY DAMAGE, HARM OR LOSS CAUSED THEREBY.
4. THE VARIOUS DRAWINGS COMPRISING THIS SET OF DRAWINGS ARE INTERDEPENDENT AND MUST BE USED JOINTLY TO EXECUTE THE WORK.
5. EXISTING BUILDING INFORMATION IS BASED ON FIELD MEASUREMENTS AND IS NOT INTENDED TO REPRESENT EXISTING 'AS-BUILT' CONDITIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS.

DRAWING INDEX

GENERAL
G1.0 COVER SHEET

ARCHITECTURAL
A1.1 FLOOR PLANS AND SECTION
A2.1 EXTERIOR ELEVATIONS

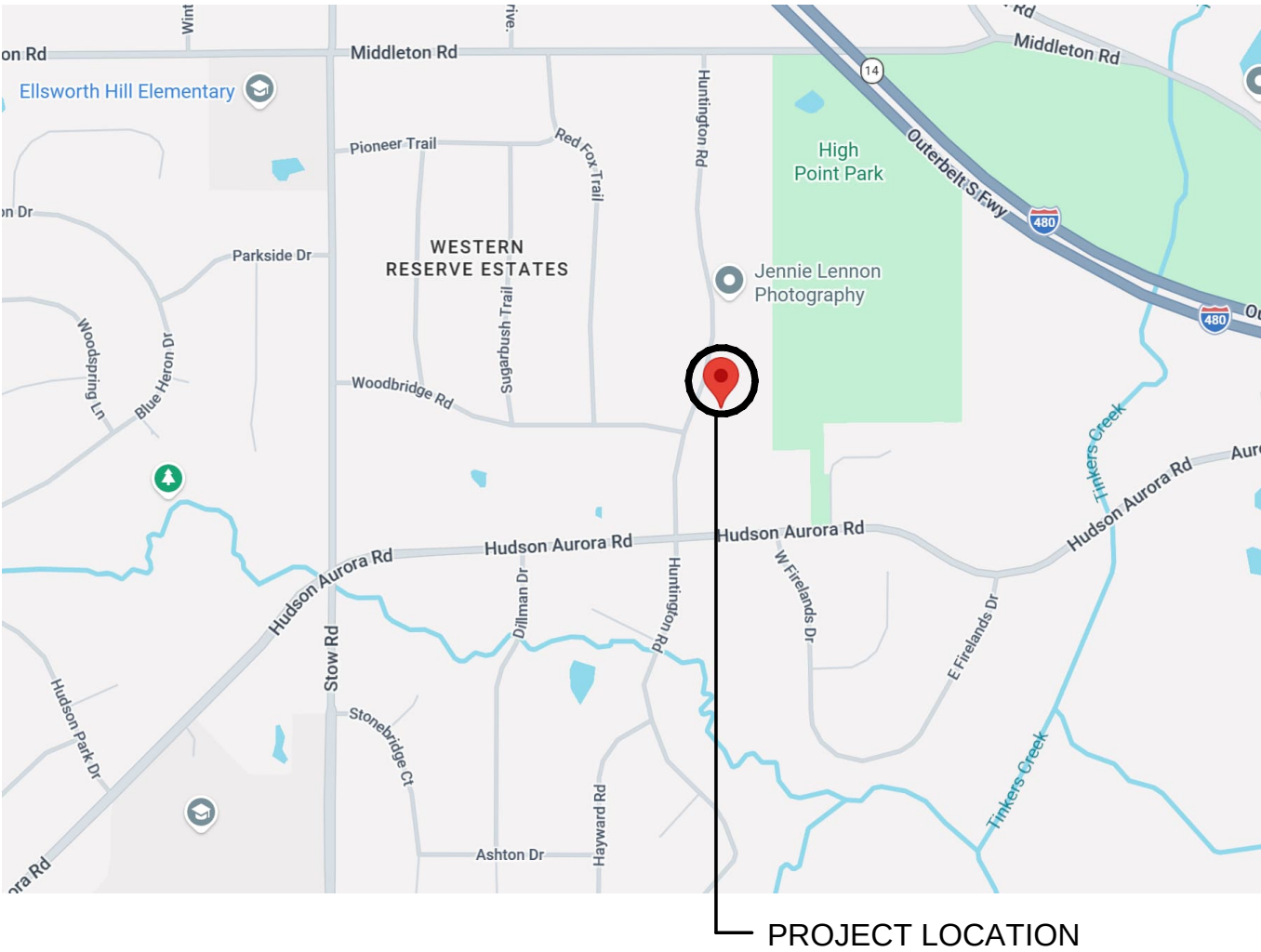


OWNER
CHRIS PLOSKUNAK
7555 HUNTINGTON ROAD
HUDSON OHIO 44236

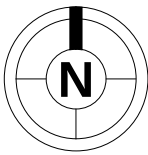
ARCHITECT
AVID ARCHITECTS
907 FAIRLAWN CORP. PKWY.
FAIRLAWN, OHIO 44333
AVIDtransforms.com



DATE SUBMITTED
JULY 13, 2026



VICINITY MAP
SCALE: N.T.S.



COVER SHEET

PLOSKUNAK PORCH

7555 HUNTINGTON ROAD
HUDSON, OHIO 44236

PROJECT #: 17326

AVID ARCHITECTS
AVIDtransforms.com
330.666.5770

G1.0



REVISIONS

GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE OF STUD AND/OR MASONRY (UNLESS NOTED OTHERWISE).
2. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL CONDITIONS, CONTACT THE ARCHITECT FOR CLARIFICATION.
3. WALL THICKNESS INDICATED ON DRAWINGS SHALL BE CONSTANT FOR THE ENTIRE LENGTH OF THE WALL (U.N.O.).
4. SAW-CUT OR TOOLED CONTROL JOINTS AT INTERIOR EXPOSED CONCRETE FLOORS SHALL BE CAULKED WITH SEALANT AS REQUIRED.

SYMBOL LEGEND

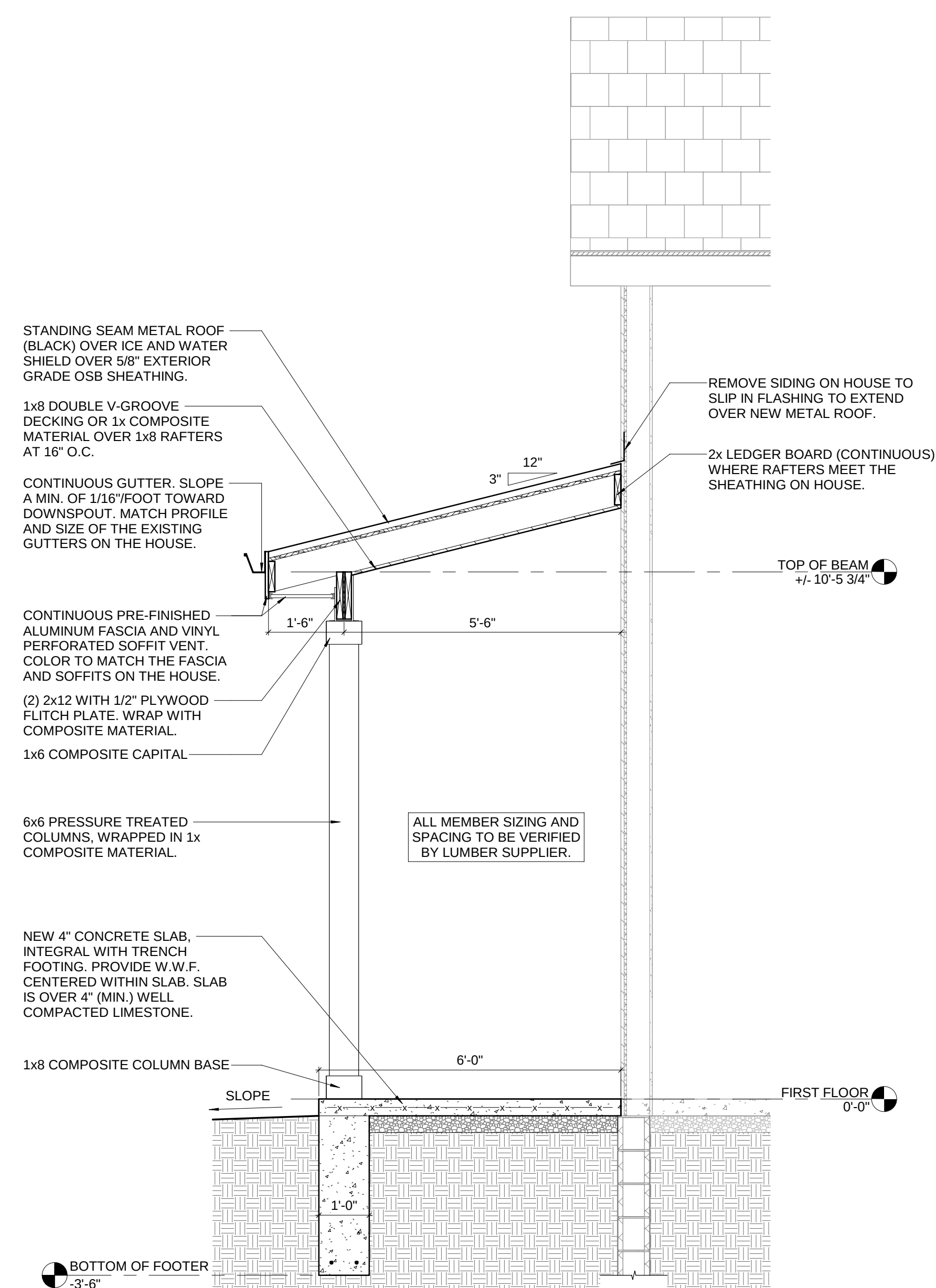
-  REFERS TO ELEVATION NUMBER
-  REFERS TO DRAWING SHEET NUMBER
-  REFERS TO SECTION NUMBER
-  REFERS TO DRAWING SHEET NUMBER
-  REFERS TO DETAIL/ENLARGED PLAN NUMBER
-  REFERS TO DRAWING SHEET NUMBER

FLAG NOTES - DEMOLITION PLAN

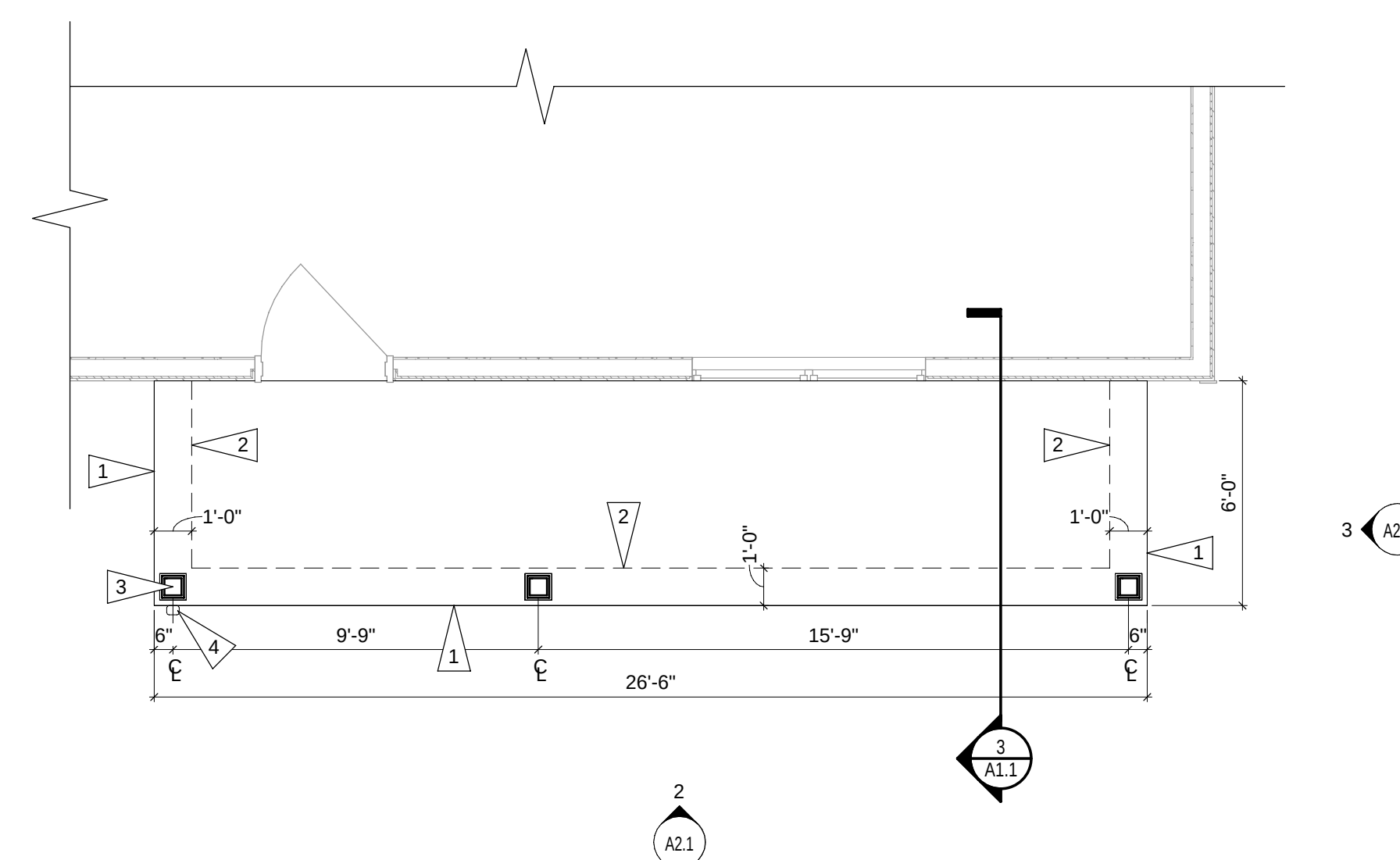
- 1 TEMPORARILY REMOVE DOWNSPOUT. COORDINATE RECONNECTION WITH NEW FLOOR PLAN AND ELEVATIONS.
- 2 REMOVE EXISTING CONCRETE SLAB/STOOP.

FLAG NOTES - FLOOR PLAN

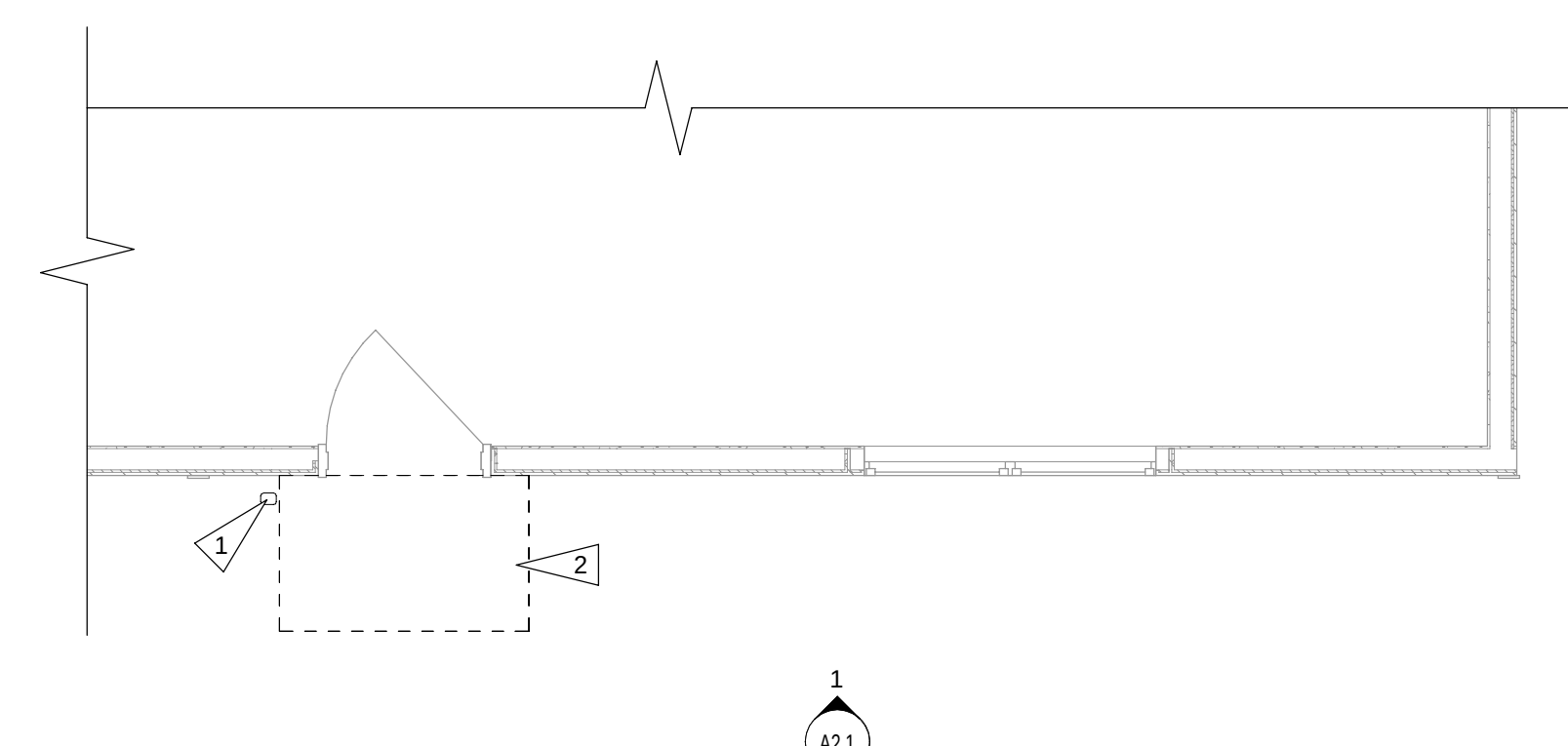
- 1 EDGE OF NEW CONCRETE PORCH. 4" SLAB WITH W.F.F. BEAR EDGE OF SLAB ON HOUSE FOUNDATION WALL AND NEW 1'-0" TRENCH FOUNDATION WALL.
- 2 INTERIOR EDGE OF FOUNDATION WALL BELOW.
- 3 6x6 PRESSURE TREATED COLUMNS WRAPPED IN COMPOSITE MATERIAL.
- 4 LOCATION OF NEW DRAINPOUT: EXTEND UNDERGROUND LEADER BACK TO FOUNDATION BEIN BELOW.



3 SECTION PORCH SECTION
1/2" = 1'-0"

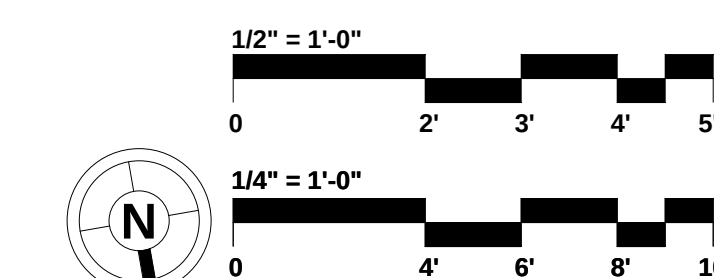
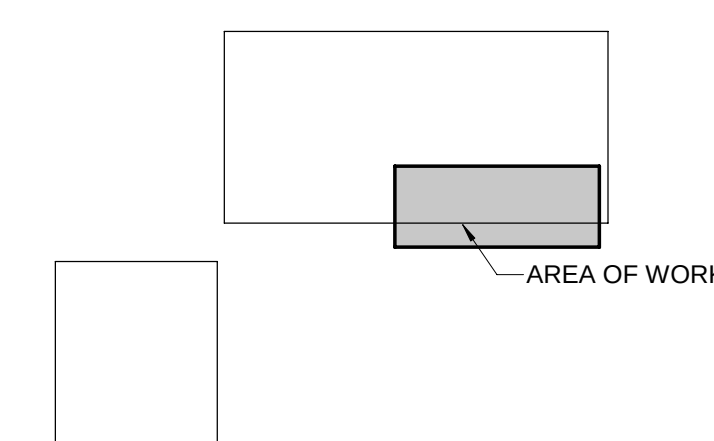


2 PLAN FIRST FLOOR
1/4" = 1'-0"



1 PLAN DEMOLITION
1/4" = 1'-0"

KEY PLAN



FLOOR PLANS AND SECTION

PLOSKUNAK PORCH

7555 HUNTINGTON ROAD
HUDSON, OHIO 44236

PROJECT #: 17326

AVID ARCHITECTS
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A1.1



DATE SUBMITTED
JULY 13, 2026

REVISIONS

GENERAL NOTES - ELEVATIONS

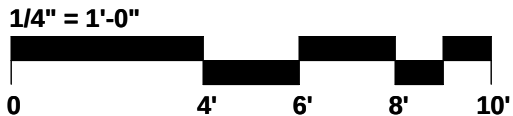
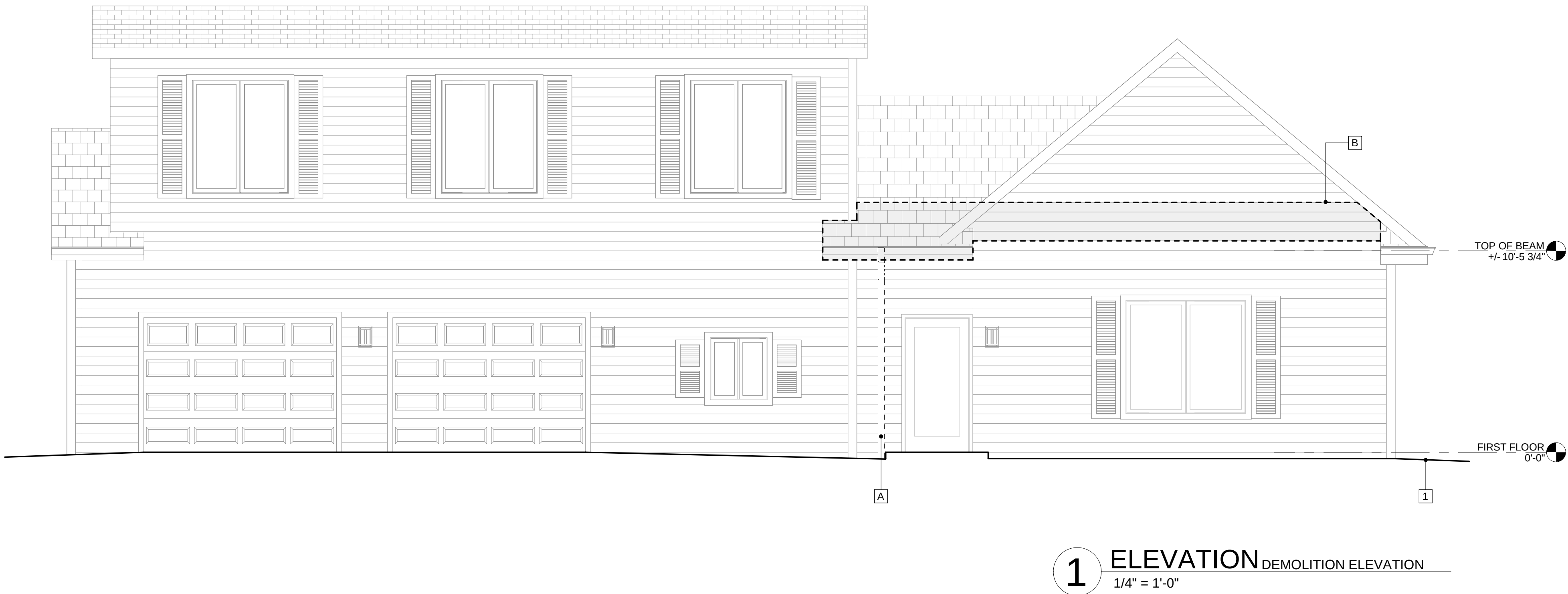
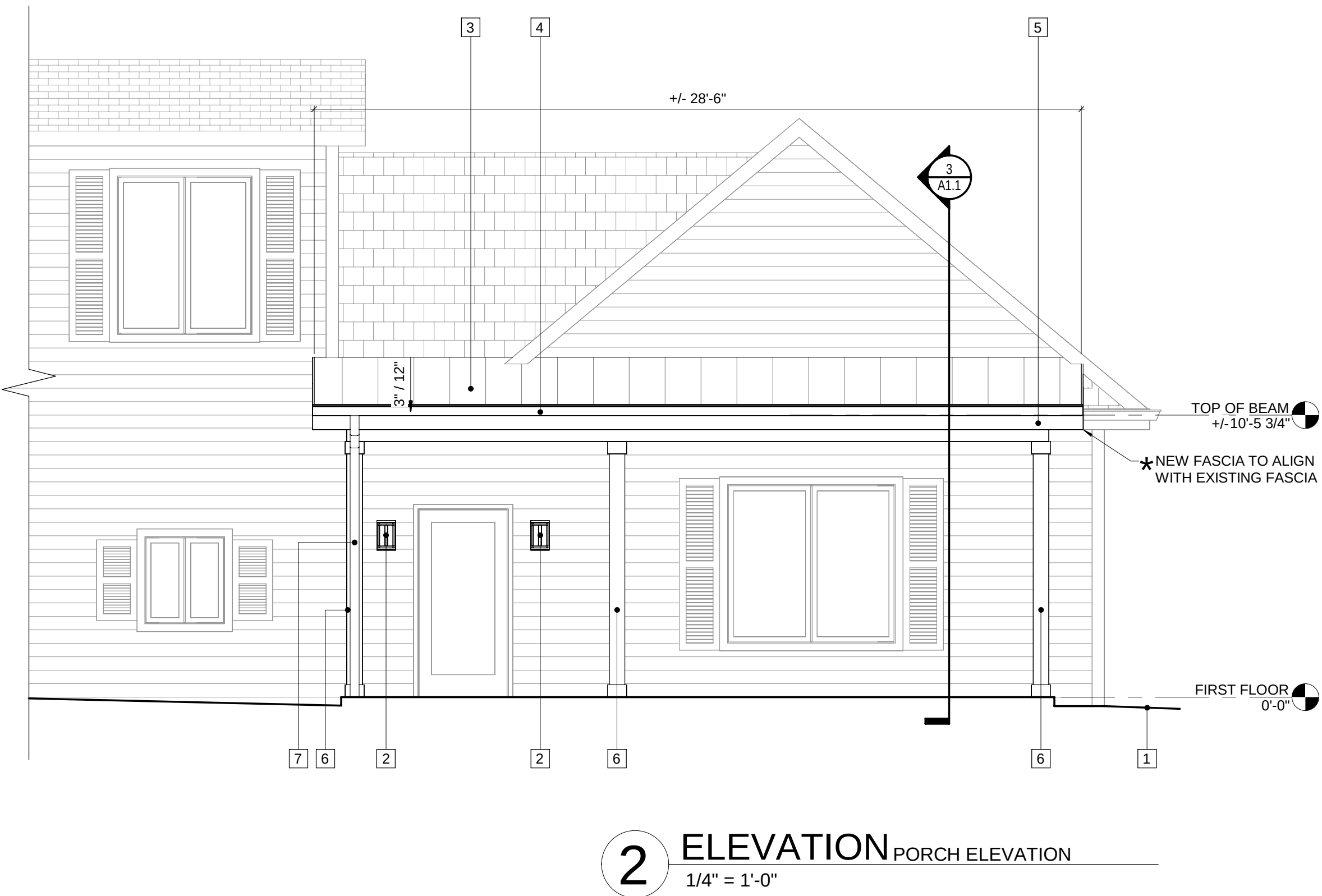
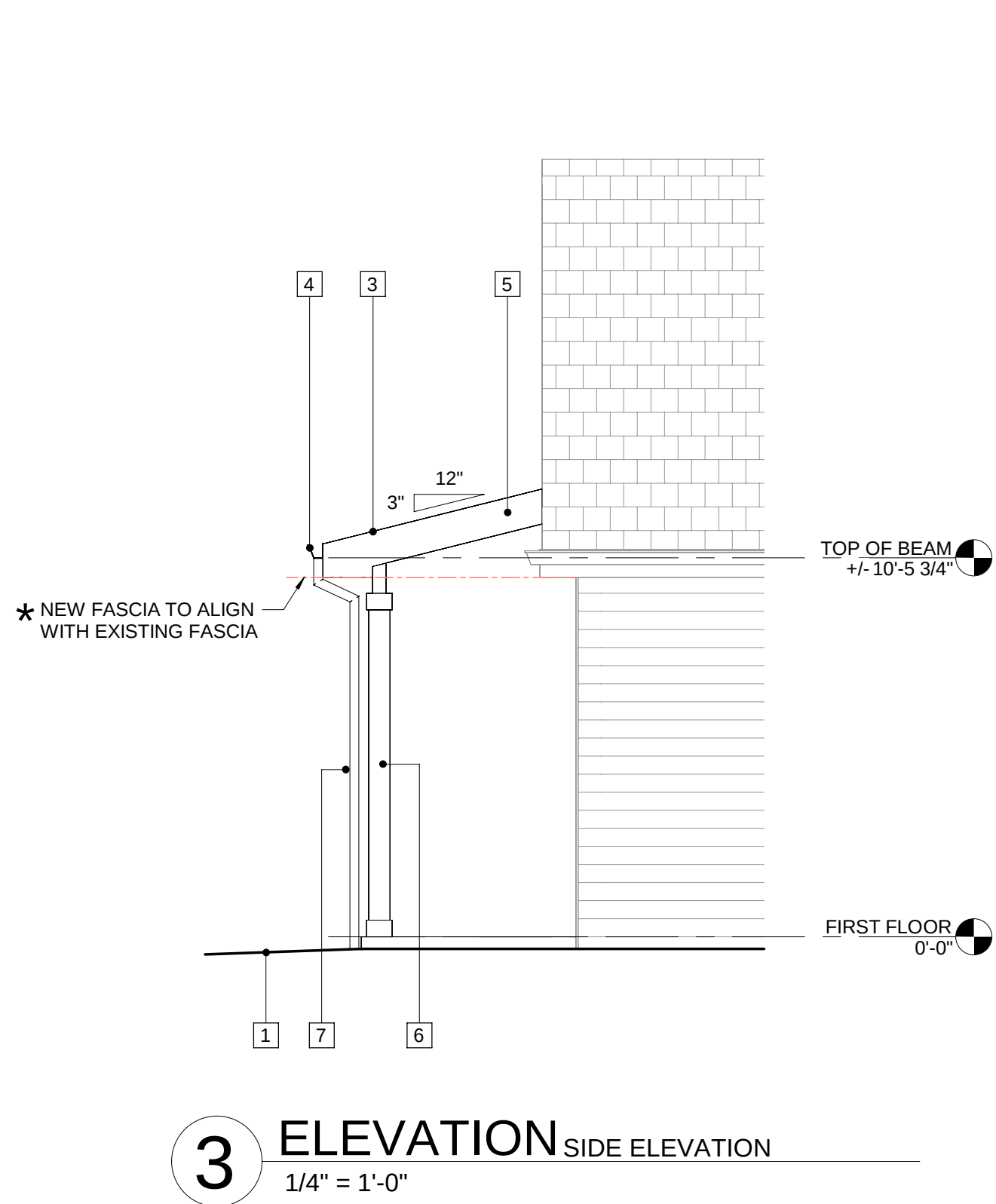
1. VERIFY ALL DIMENSIONED CONDITIONS IN THE FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON THE DRAWINGS CONFLICT WITH ACTUAL, CONTACT THE ARCHITECT FOR CLARIFICATION.
2. REFER TO STRUCTURAL DETAILS FOR PROPER REINFORCEMENT OF MASONRY AT ALL WINDOW AND DOOR OPENINGS, TYPICAL.
3. REFER TO STRUCTURAL DETAILS FOR TYPICAL EXPANSION AND CONTROL JOINT CONSTRUCTION.

SYMBOL LEGEND

- REFERS TO SECTION NUMBER
- REFERS TO DRAWING SHEET NUMBER
- REFERS TO DETAIL NUMBER
- REFERS TO DRAWING SHEET NUMBER
- DATUM POINT, INDICATES ELEVATION
- EXISTING
- NEW WORK

FLAG NOTES - EXTERIOR ELEVATIONS

1. APPROXIMATE FINISHED GRADE.
 2. NEW LIGHT FIXTURES TO BE COORDINATED BY HOME OWNER WITH ELECTRICIAN.
 3. STANDING SEAM METAL ROOF (BLACK) OVER ICE AND WATER SHIELD OVER 5/8" EXTERIOR GRADE OSB SHEATHING.
 4. CONTINUOUS GUTTER. SLOPE A MIN. OF 1/16"/FOOT TOWARD DOWNSPOUT. MATCH PROFILE AND SIZE OF THE EXISTING GUTTERS ON THE HOUSE.
 5. CONTINUOUS PRE-FINISHED ALUMINUM FASCIA. COLOR TO MATCH THE FASCIA ON THE HOUSE.
 6. 6x6 PRESSURE TREATED COLUMNS, WRAPPED IN 1x COMPOSITE MATERIAL.
 7. PRE-FINISHED ALUMINUM DOWNSPOUT. MATCH PROFILE AND SIZE OF THE EXISTING DOWNSPOUTS ON THE HOUSE.
- A TEMPORARILY REMOVE DOWNSPOUT. COORDINATE RECONNECTION WITH NEW FLOOR PLAN AND ELEVATIONS.
- B DASHED LINE INDICATES AREA TO REMOVE MATERIAL ON HOUSE TO RECEIVE NEW PORCH FRAMING MATERIALS.



EXTERIOR ELEVATIONS

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PROJECT #: 17326

A2.1











