

5 Thirty Acres Street  
Hudson, Ohio 44236

# CONNOR'S RESIDENCE - Proposed Addition & Renovation

March 2, 2026

## Issued for Architectural Review Board

PREPARED FOR:

OWNER:  
JAMIE M CONNORS AND ALLYSSA ROSE MANNING  
5 THIRTY ACRES STREET  
HUDSON, OHIO 44236

PREPARED BY:

ARCHITECT:  
CLEVELAND DRAW ARCHITECTURE  
3342 AVALON DRIVE  
SHAKER HEIGHTS, OHIO 44120

STRUCTURAL ENGINEER:

MAKARICH STRUCTURAL ENGINEERING, LLC  
P.O. BOX 1389  
WILLOUGHBY, OHIO 44096

MECH / ELEC/ PLUMBING ENGINEER:

WHS ENGINEERING  
16017 DETROIT AVENUE  
LAKEWOOD, OH 4410  
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CONTACT: MATT PLECNIK  
T: 440.796.4623

CONTACT: MIKE MAKARICH  
T: 440.283.7252

### OVERALL BUILDING DIAGRAM:

#### PROPOSED NEW (2) STORY ADDITION

GROUND FLOOR (KITCHEN)  
AREA: 400 SF  
SECOND FLOOR (ROOF DECK ABOVE)  
AREA: 395 SF

#### PROPOSED NEW DECK

AREA: 256 SF

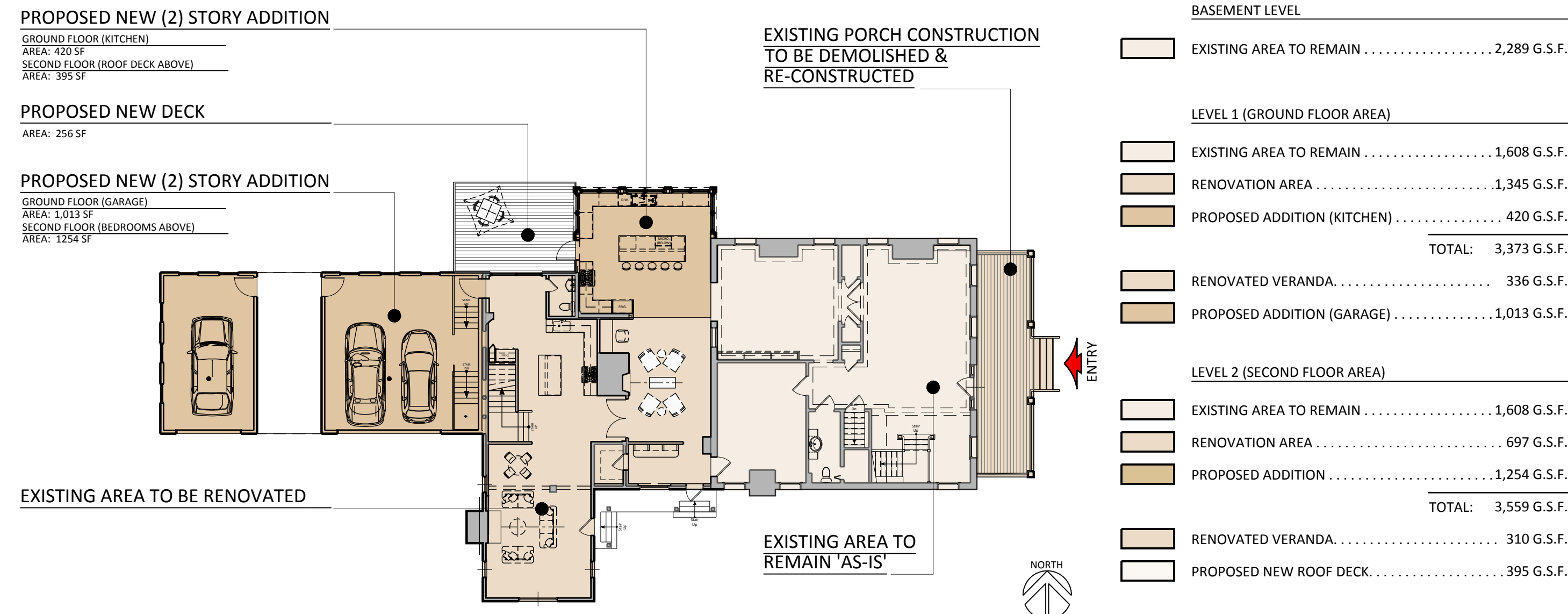
#### PROPOSED NEW (2) STORY ADDITION

GROUND FLOOR (GARAGE)  
AREA: 1,013 SF  
SECOND FLOOR (BEDROOMS ABOVE)  
AREA: 1254 SF

#### EXISTING PORCH CONSTRUCTION TO BE DEMOLISHED & RE-CONSTRUCTED

#### EXISTING AREA TO BE RENOVATED

#### EXISTING AREA TO REMAIN 'AS-IS'



#### PROJECT INFO

BASEMENT LEVEL	
EXISTING AREA TO REMAIN	2,289 G.S.F.
LEVEL 1 (GROUND FLOOR AREA)	
EXISTING AREA TO REMAIN	1,608 G.S.F.
RENOVATION AREA	1,345 G.S.F.
PROPOSED ADDITION (KITCHEN)	420 G.S.F.
<b>TOTAL</b>	<b>3,373 G.S.F.</b>
RENOVATED VERANDA	336 G.S.F.
PROPOSED ADDITION (GARAGE)	1,013 G.S.F.
LEVEL 2 (SECOND FLOOR AREA)	
EXISTING AREA TO REMAIN	1,608 G.S.F.
RENOVATION AREA	697 G.S.F.
PROPOSED ADDITION	1,254 G.S.F.
<b>TOTAL</b>	<b>3,559 G.S.F.</b>
RENOVATED VERANDA	310 G.S.F.
PROPOSED NEW ROOF DECK	395 G.S.F.

### VICINITY LOCATION MAP:



Site Location:  
Parcel #: 3200345  
5 THIRTY ACRES STREET  
HUDSON, OHIO 44236

### SITE LOCATION MAP:



Site Location:  
Existing Single-Family Residence

### SYMBOL LEGEND:

	EARTH		ROOM NAME & ROOM NUMBER
	POROUS FILL		DOOR TYPE DESIGNATION
	CONCRETE		WALL TYPE DESIGNATION
	CONCRETE / MASONRY		FINISH DESIGNATION
	BRICK / MASONRY		FIXTURE TYPE DESIGNATION
	GYPSUM WALLBOARD		KEY NOTE DESIGNATION
	RIGID INSULATION		PROPOSED NEW COLUMN LINE
	BATT INSULATION		EXISTING COLUMN LINE
	WOOD: SOLID SECTION		INTERIOR ELEVATION TAG
	WOOD: BLOCKING		SHEET DESIGNATION
	WOOD: BLOCKING (CUT)		ELEVATION DESIGNATION
	WOOD: PLYWOOD		SECTION TAG
	EXISTING DOOR SYMBOL		SECTION DESIGNATION
	PROPOSED NEW DOOR SYMBOL		SHEET DESIGNATION
	FLOOR LEVEL ELEV = +0'-0"		ELEVATION DESIGNATION
	REVISION CLOUD & REV. DESIGNATION		EXTERIOR ELEVATION TAG

### PROJECT SCOPE & DATA:

**SCOPE OF WORK:**  
THE SCOPE OF WORK CONSISTS OF A PROPOSED NEW ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AS WELL AS SELECTIVE RENOVATION OF THE EXISTING BUILDING SHELL & INTERIORS. THE ADDITION WILL BE CONSTRUCTED TO ADJOIN THE EXISTING RESIDENCE LOCATED DIRECTLY TO THE WEST AND WILL ACCOMMODATE A GARAGE (3 CAR) WITH BEDROOMS ABOVE. THE OVERALL BUILDING WILL BE LOWER THAN THE EXISTING ROOF LINE OF THE EXISTING RESIDENTIAL STRUCTURE.

**WORK SHALL INCLUDE, BUT NOT LIMITED TO:**

- PROPOSED NEW RESIDENTIAL STRUCTURE:
  - NEW CONCRETE AND MASONRY FOUNDATION
  - NEW WOOD-FRAMED FLOORS, WALLS, CEILINGS, ROOF, FENESTRATION, ETC.
  - NEW INTERIOR FINISHES
  - NEW MECHANICAL HVAC & DISTRIBUTION
  - NEW ELEC. POWER, DATA, LIGHTING & DISTRIBUTION
  - NEW LANDSCAPING
- PROPOSED RENOVATION OF EXISTING RESIDENTIAL STRUCTURE
  - AN EXISTING FRONT PORCH WILL BE SELECTIVELY DEMOLISHED & RE-CONSTRUCTED TO CURRENT BUILDING CODES.
  - AN EXISTING 'CONSERVATORY' WILL BE SELECTIVELY DEMOLISHED & RE-CONSTRUCTED TO SERVE AS A NEW KITCHEN
  - SELECTIVE RENOVATION OF SEVERAL INTERIOR AREAS WITHIN

**PARCEL NUMBER:** 3200345  
**ZONING:** 3-OUTER VILLAGE RESIDENTIAL NBHD.  
**ACRES:** 2.32

**BUILDING INFO:**  
**PROPOSED BUILDING:** AN ADDITION & RENOVATION TO AN EXISTING SINGLE-FAMILY RESIDENCE  
**PROPOSED CONSTRUCTION TYPE:** VB (SAME AS PREVIOUS)  
**PROPOSED BLDG. HEIGHT:** ≈21'-3 3/4" / 2 STORY WITH BASEMENT (SAME AS PREVIOUS)  
**PROPOSED NEW BLDG. AREA:** -SEE INFO ABOVE  
**EXIST. BLDG. RENOVATION AREA:** -SEE INFO ABOVE

### GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
  - ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
  - CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS, PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
  - ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND

- ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT.
- REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
- ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDBLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
- PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
- ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
- THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
- ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A STANDARDS.
- CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
- ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING

- CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
- SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION. THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC. (WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
- SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
- SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECTS REVIEW (DIGITAL COPIES, PDF). THE ARCHITECTS/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL LAYOUT ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.
- ALL DRAWINGS SHOWN HEREWITHIN DESCRIBE & ILLUSTRATE A SPECIFIC DESIGN INTENT ADDRESSING PERFORMANCE & AESTHETIC CRITERIA. IT IS THE CONTRACTOR'S RESPONSIBILITY (INCLUDING SUPPLIERS, MANUFACTURERS, INSTALLERS, ETC.) TO PROVIDE DETAILED DESIGN SHOP DRAWINGS THAT BEAR THE SEAL OF AN OHIO REGISTERED DESIGN PROFESSIONAL THAT MEET OR EXCEED THE DESIGN CRITERIA SET FORTH HEREWITHIN & CONFORM TO THESE DOCUMENTS. THE FOLLOWING SEALED DRAWINGS WILL ALSO NEED TO BE SUBMITTED FOR REVIEW & APPROVAL TO AUTHORITIES HAVING JURISDICTION:
  - TRUSS SHOP DRAWINGS WILL REQUIRE BUILDING DEPARTMENT REVIEW & APPROVAL.
  - FIRE PROTECTION SHOP DRAWINGS (SPRINKLER, ALARM & DETECTION, ETC.) WILL REQUIRE BUILDING DEPARTMENT & FIRE DEPARTMENT REVIEW & APPROVAL.

SEAL:

DATE: 03-02-26

ISSUED FOR: Architectural Review Board

CLEVELAND  
**DRAW**  
ARCHITECTURE

**BROCK**  
CONSTRUCTION  
COMPANY

The  
Connor's  
Residence

Renovation

5 Thirty Acres Street  
Hudson, Ohio 44236

Interior & Exterior  
Renovations to  
accommodate an  
expanded Kitchen, Living  
Areas, Bedrooms &  
Garages

TITLE:  
TITLE SHEET, GENERAL  
NOTES, SHEET INDEX  
& PROJECT DATA

ISSUE: - DATE: 03-02-26

SHEET:  
**TO-00**



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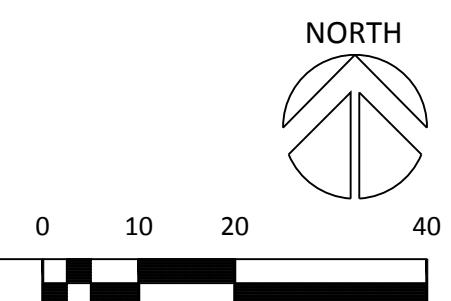
**The Connor's Residence**  
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 Areas, Bedrooms &  
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TITLE:  
**ARCHITECTURAL SITE PLAN**

ISSUE: - DATE: 03-02-26

SHEET:  
**AS-01**





SEAL:

ISSUED: \_\_\_\_\_  
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Architectural Review Board \_\_\_\_\_  
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TITLE:  
**EXISTING BUILDING  
PHOTOS**

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
- 03-02-26  
SHEET:  
**A0-00**

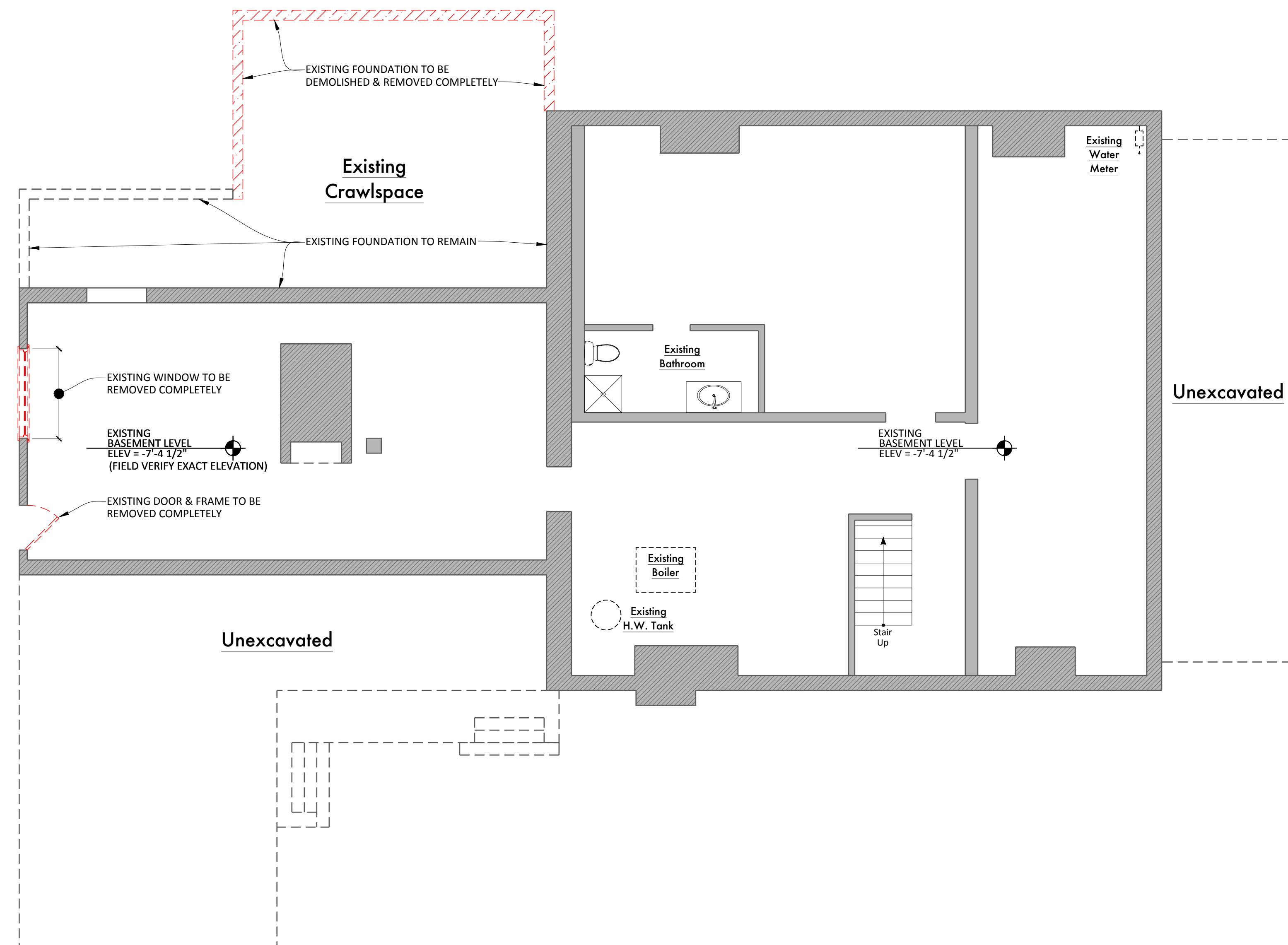
# DEMOLITION PLAN & NOTES

## DEMOLITION GENERAL NOTES

1. DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION.
2. CONTRACTOR TO COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AS WELL AS ALL OSHA REGULATIONS TO PROTECT SAFETY OF WORKERS, PROPERTY, AND INSURE ENVIRONMENTAL PROTECTION.
3. CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING STRUCTURES. CONTRACTOR TO PROVIDE SUFFICIENT TEMPORARY BRACING AND/OR SHORING OF EXISTING STRUCTURE TO PREVENT ANY DAMAGE, OR INJURY RESULTING FROM THE DEMOLITION WORK REQUIRED.
4. CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER. DEMOLITION SPACE SHALL BE LEFT BROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
5. UNLESS OTHERWISE NOTED, ALL EXISTING ELECTRICAL, LIGHTING, TV CABLE, TELEPHONE/DATA, CONDUIT & MECHANICAL DUCTWORK THAT IS EXISTING SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING DEMOLITION.
6. CONTACT ARCHITECT AND/OR OWNER IF DEMOLITION OR REMOVAL OF ANY ITEM NOT SPECIFICALLY IDENTIFIED IS IN QUESTION.
7. CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
8. CONTRACTOR TO SALVAGE AND PROTECT FOR RE-USE ANY ITEMS INDICATED AS SUCH IN THE DRAWINGS.
  - 8.1. NONE AT THIS TIME
9. REMOVE AND DISCARD ALL REMAINING ELECTRICAL COMPONENTS WITHIN WALLS, CEILINGS & FLOORS SCHEDULED TO BE DEMOLISHED. REMOVE ITEMS BACK TO SOURCE PANEL. ALSO REFER TO ELECTRICAL DRAWINGS & SPECIFICATIONS.
10. REMOVE EXISTING PLUMBING IN WALL SCHEDULED TO BE DEMOLISHED. REMOVE PIPING BACK TO SOURCE WHERE POSSIBLE, CAP AS REQUIRED. ALSO REFER TO PLUMBING DRAWINGS & SPECIFICATIONS.
11. CONTRACTOR TO PROTECT THE EXISTING BUILDING IN ALL ASPECTS FROM DAMAGE DUE TO WEATHER AND/OR OTHER INTRUSIONS.
12. CAREFULLY SAWCUT / CORE DRILL EXISTING CONCRETE FLOOR SLAB TO ACCOMMODATE NEW PLUMBING / ELECTRICAL / MECHANICAL PENETRATIONS WITHIN AREA OF DEMOLITION INDICATED. PATCH CONCRETE AS REQUIRED. ALSO REFER TO PLUMBING / ELECTRICAL / MECHANICAL DRAWINGS.
13. PRIOR TO BID SUBMISSION, PROVIDE A UNIT PRICE FOR THE FOLLOWING ITEMS:
  - 13.1. NONE REQUIRED AT THIS TIME.

## DEMOLITION PLAN KEY

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES EXISTING MASONRY CONSTRUCTION
- INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXIT
- EGRESS / EXIT ACCESS



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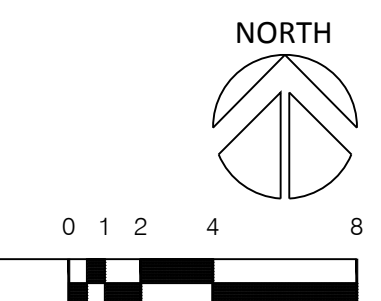
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TITLE: **BASEMENT: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN**  
 ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 - 03-02-26  
 SHEET: \_\_\_\_\_  
**AD-00**








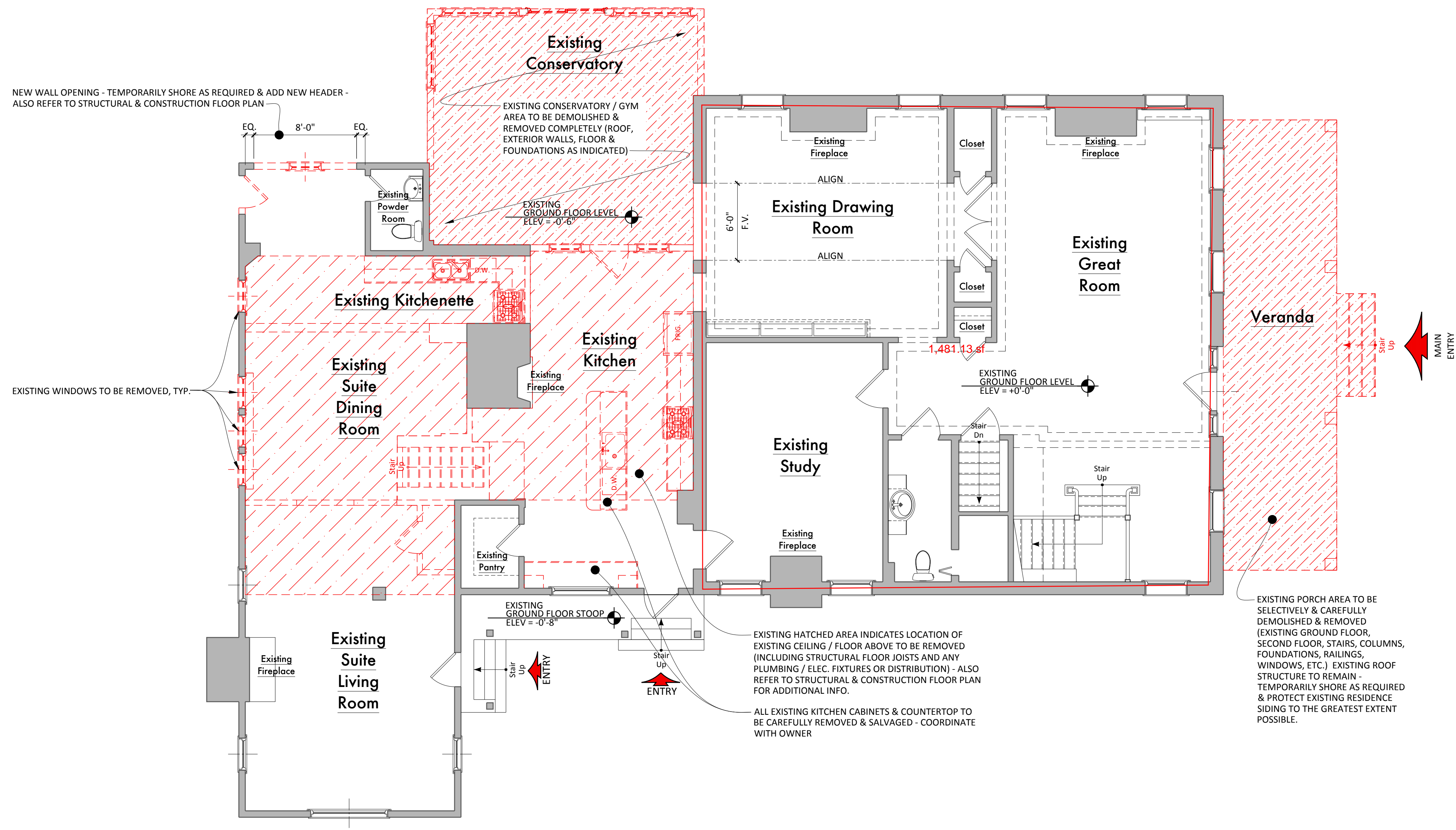
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4. CONTRACTOR TO REMOVE FROM THE SITE AND LEGALLY DISPOSE OF DAILY REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION ACTIVITIES. CONTRACTOR SHALL MAINTAIN A REFUSE DUMPSTER ON SITE IF NECESSARY. COORDINATE LOCATION WITH BUILDING OWNER. DEMOLITION SPACE SHALL BE LEFT BROOM-CLEAN AND READY TO RECEIVE NEW CONSTRUCTION.
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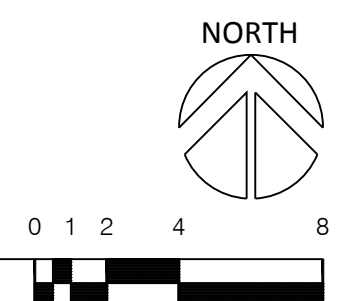
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TITLE:  
**GROUND FLOOR:  
 EXISTING CONDITIONS  
 & DEMOLITION FLOOR  
 PLAN**  
 ISSUE: - DATE: 03-02-26  
 SHEET:  
**AD-01**








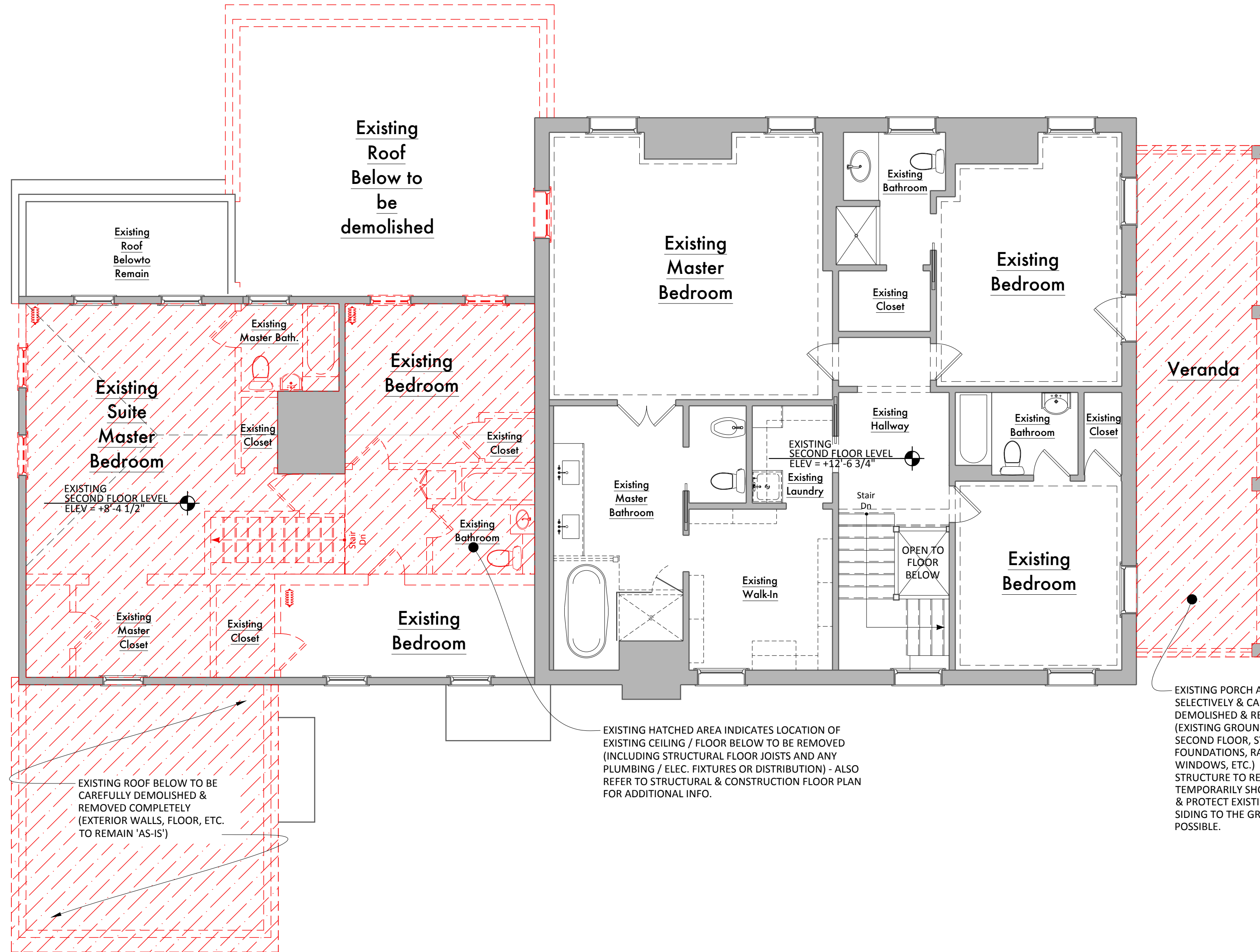
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7. CONTRACTORS SHALL VISIT AND INSPECT EXISTING BUILDING SITE AND BECOME FAMILIAR WITH ALL CONDITIONS IN FIELD PRIOR TO SUBMITTING A BID FOR DEMOLITION WORK.
8. CONTRACTOR TO SALVAGE AND PROTECT FOR RE-USE ANY ITEMS INDICATED AS SUCH IN THE DRAWINGS.
  - 8.1. NONE AT THIS TIME
9. REMOVE AND DISCARD ALL REMAINING ELECTRICAL COMPONENTS WITHIN WALLS, CEILINGS & FLOORS SCHEDULED TO BE DEMOLISHED. REMOVE ITEMS BACK TO SOURCE PANEL. ALSO REFER TO ELECTRICAL DRAWINGS & SPECIFICATIONS.
10. REMOVE EXISTING PLUMBING IN WALL SCHEDULED TO BE DEMOLISHED. REMOVE PIPING BACK TO SOURCE WHERE POSSIBLE, CAP AS REQUIRED. ALSO REFER TO PLUMBING DRAWINGS & SPECIFICATIONS.
11. CONTRACTOR TO PROTECT THE EXISTING BUILDING IN ALL ASPECTS FROM DAMAGE DUE TO WEATHER AND/OR OTHER INTRUSIONS.
12. CAREFULLY SAWCUT / CORE DRILL EXISTING CONCRETE FLOOR SLAB TO ACCOMMODATE NEW PLUMBING / ELECTRICAL / MECHANICAL PENETRATIONS WITHIN AREA OF DEMOLITION INDICATED. PATCH CONCRETE AS REQUIRED. ALSO REFER TO PLUMBING / ELECTRICAL / MECHANICAL DRAWINGS.
13. PRIOR TO BID SUBMISSION, PROVIDE A UNIT PRICE FOR THE FOLLOWING ITEMS:
  - 13.1. NONE REQUIRED AT THIS TIME.

DEMOLITION PLAN KEY

-  INDICATES EXISTING CONSTRUCTION TO REMAIN
-  INDICATES EXISTING MASONRY CONSTRUCTION
-  INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED
-  EXIT
-  EGRESS / EXIT ACCESS



EXISTING ROOF BELOW TO BE CAREFULLY DEMOLISHED & REMOVED COMPLETELY (EXTERIOR WALLS, FLOOR, ETC. TO REMAIN 'AS-IS')

EXISTING HATCHED AREA INDICATES LOCATION OF EXISTING CEILING / FLOOR BELOW TO BE REMOVED (INCLUDING STRUCTURAL FLOOR JOISTS AND ANY PLUMBING / ELEC. FIXTURES OR DISTRIBUTION) - ALSO REFER TO STRUCTURAL & CONSTRUCTION FLOOR PLAN FOR ADDITIONAL INFO.

EXISTING PORCH AREA TO BE SELECTIVELY & CAREFULLY DEMOLISHED & REMOVED (EXISTING GROUND FLOOR, SECOND FLOOR, STAIRS, COLUMNS, FOUNDATIONS, RAILINGS, WINDOWS, ETC.) EXISTING ROOF STRUCTURE TO REMAIN - TEMPORARILY SHORE AS REQUIRED & PROTECT EXISTING RESIDENCE SIDING TO THE GREATEST EXTENT POSSIBLE.

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CLEVELAND  
**DRAW**  
 ARCHITECTURE

**BROCK**  
 CONSTRUCTION  
 COMPANY

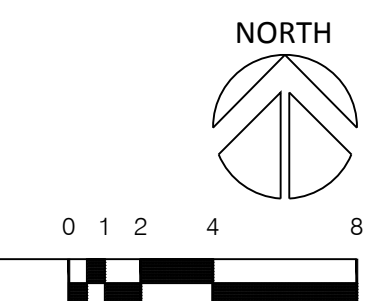
The  
**Connor's**  
 Residence  
 Renovation

5 Thirty Acres Street  
 Hudson, Ohio 44236  
 Interior & Exterior  
 Renovations to  
 accommodate an  
 expanded Kitchen, Living  
 Areas, Bedrooms &  
 Garages

TITLE:  
**SECOND FLOOR:  
 EXISTING CONDITIONS  
 & DEMOLITION FLOOR  
 PLAN**

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 - 03-02-26

SHEET:  
**AD-02**





CONSTRUCTION PLAN & NOTES

CRAWLSPACE VENTILATION

PER ORC SECTION 408.1: WHERE A CLASS 1 VAPOR RETARDER IS PRESENT, THE MIN. NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SqFt FOR EACH 1,500 SqFt OF UNDER FLOOR SPACE AREA.

AREA OF SPACE TO BE VENTED: 96 SF (13,824 Sq.In)

MIN. REQUIRED: PROVIDED:

CRAWLSPACE VENTILATION:

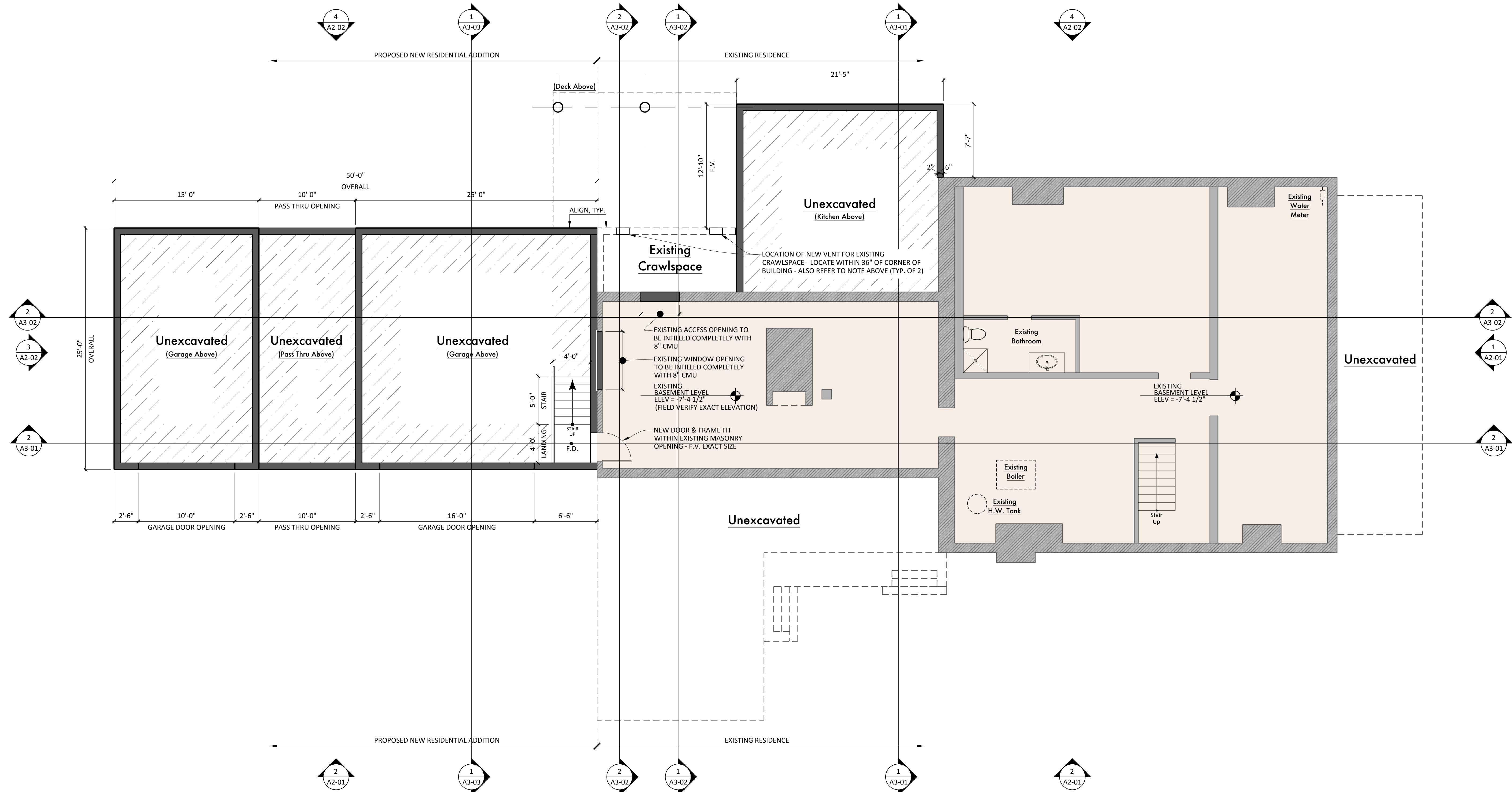
FOUR VENTS: 0.064 SF (9.216 Sq.In) 0.792 SF (114 Sq.In)  
 MASTERFLOW FOUNDATION VENT  
 "FVABLE" AS MFR'D BY GAF OR EQUAL  
 -SIZE: 8"x16"  
 -NFA = 57 Sq.In. PER VENT

CONSTRUCTION PLAN KEY

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
- EGRESS

CONSTRUCTION PLAN INFO

BASEMENT LEVEL  
 EXISTING AREA TO REMAIN ..... 2,289 G.S.F.



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 ARCHITECTURE

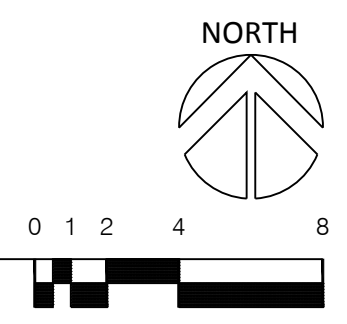
**BROCK**  
 CONSTRUCTION  
 COMPANY

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TITLE:  
**BASEMENT:  
 CONSTRUCTION  
 FLOOR PLAN**

ISSUE: - DATE: 03-02-26  
 SHEET:  
**A1-00**

1  
 A1-00  
 BASEMENT  
**CONSTRUCTION FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN & NOTES

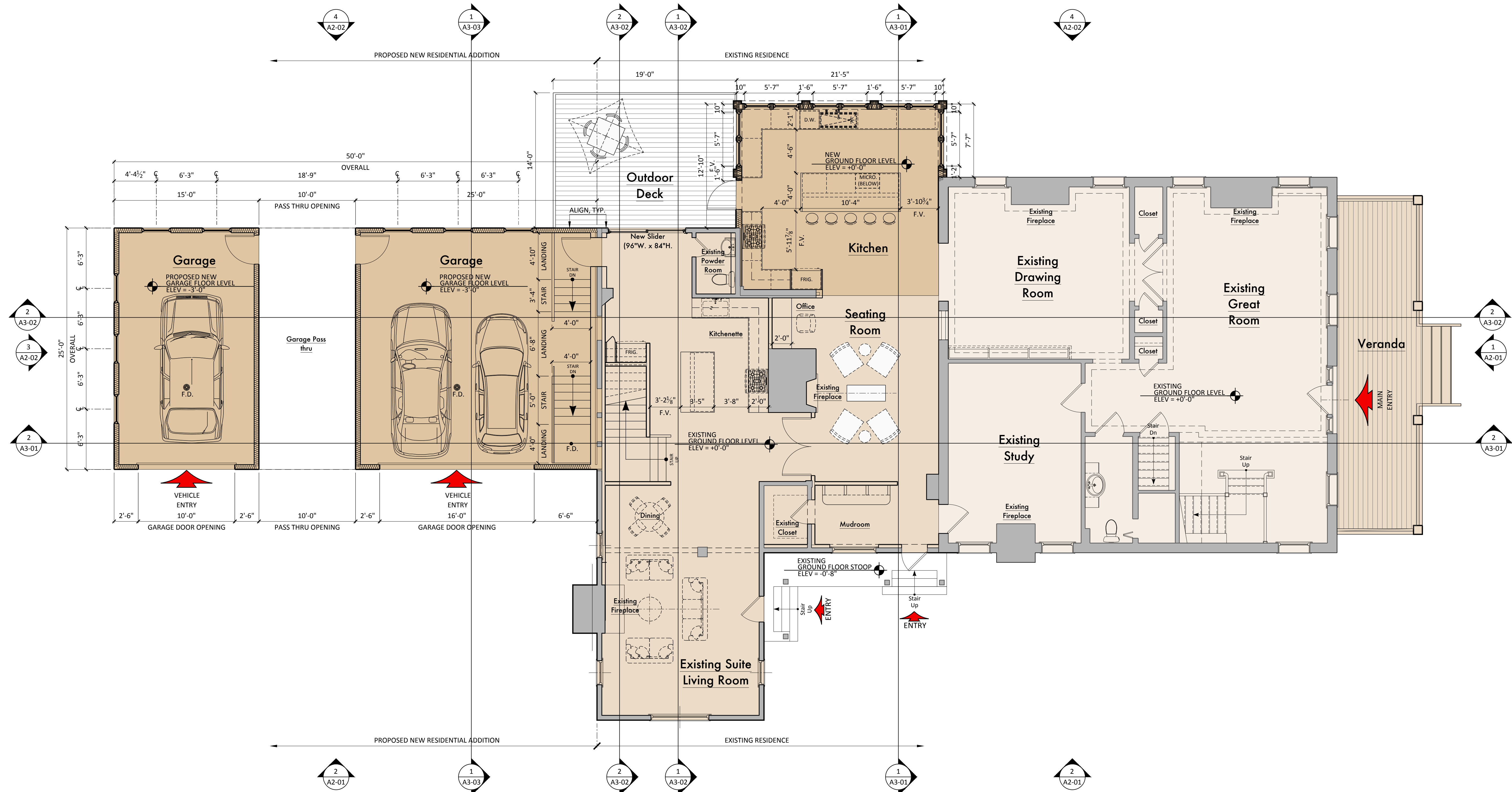
**CONSTRUCTION PLAN KEY**

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
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- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
- EGRESS

**CONSTRUCTION PLAN INFO**

LEVEL 1 (GROUND FLOOR AREA)

EXISTING AREA TO REMAIN	1,608 G.S.F.
RENOVATION AREA	1,345 G.S.F.
PROPOSED ADDITION (KITCHEN)	420 G.S.F.
<b>TOTAL</b>	<b>3,373 G.S.F.</b>
RENOVATED VERANDA	336 G.S.F.
PROPOSED ADDITION (GARAGE)	1,013 G.S.F.



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 ARCHITECTURE

**BROCK**  
 CONSTRUCTION  
 COMPANY

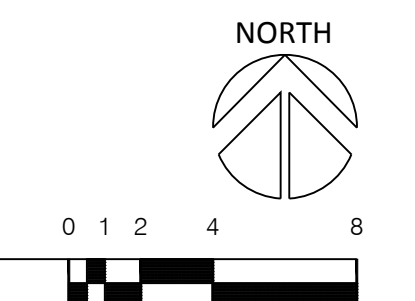
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TITLE:  
**GROUND FLOOR:  
 CONSTRUCTION  
 FLOOR PLAN**

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 - 03-02-26

SHEET:  
**A1-01**

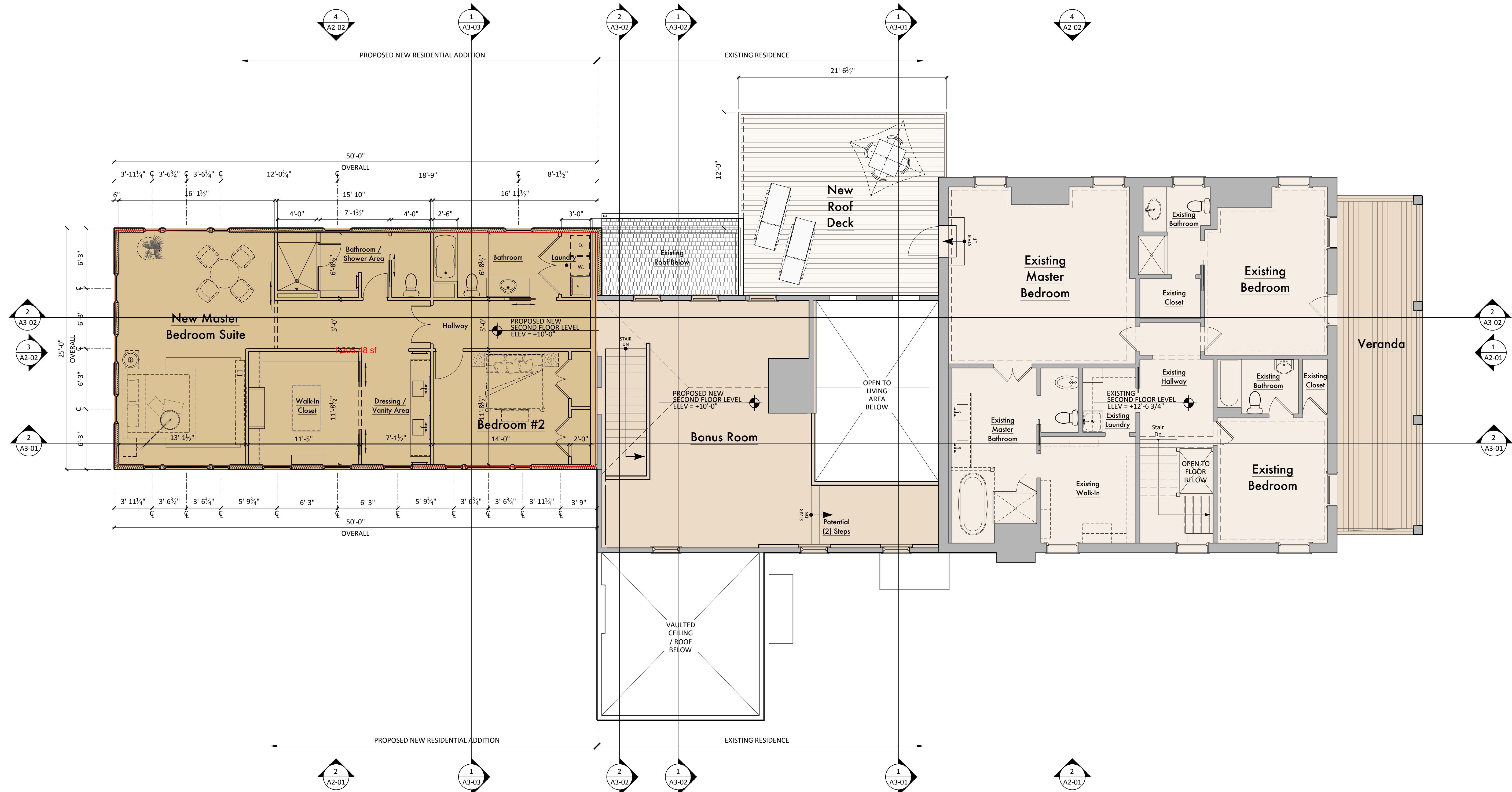
1  
 A1-01  
 GROUND FLOOR  
**CONSTRUCTION FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN & NOTES

CONSTRUCTION PLAN KEY	
	INDICATES EXISTING CONSTRUCTION TO REMAIN
	INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
	EGRESS

CONSTRUCTION PLAN INFO	
LEVEL 2 (SECOND FLOOR AREA)	
	EXISTING AREA TO REMAIN . . . . . 1,608 G.S.F.
	RENOVATION AREA . . . . . 697 G.S.F.
	PROPOSED ADDITION . . . . . 1,254 G.S.F.
	TOTAL: 3,559 G.S.F.
	RENOVATED VERANDA . . . . . 310 G.S.F.
	PROPOSED NEW ROOF DECK . . . . . 395 G.S.F.



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ARCHITECTURE

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CONSTRUCTION  
COMPANY

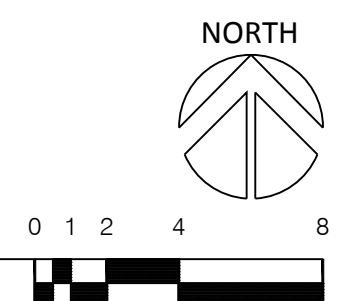
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TITLE:  
**SECOND FLOOR:  
CONSTRUCTION  
FLOOR PLAN**

ISSUE: - DATE: 03-02-26

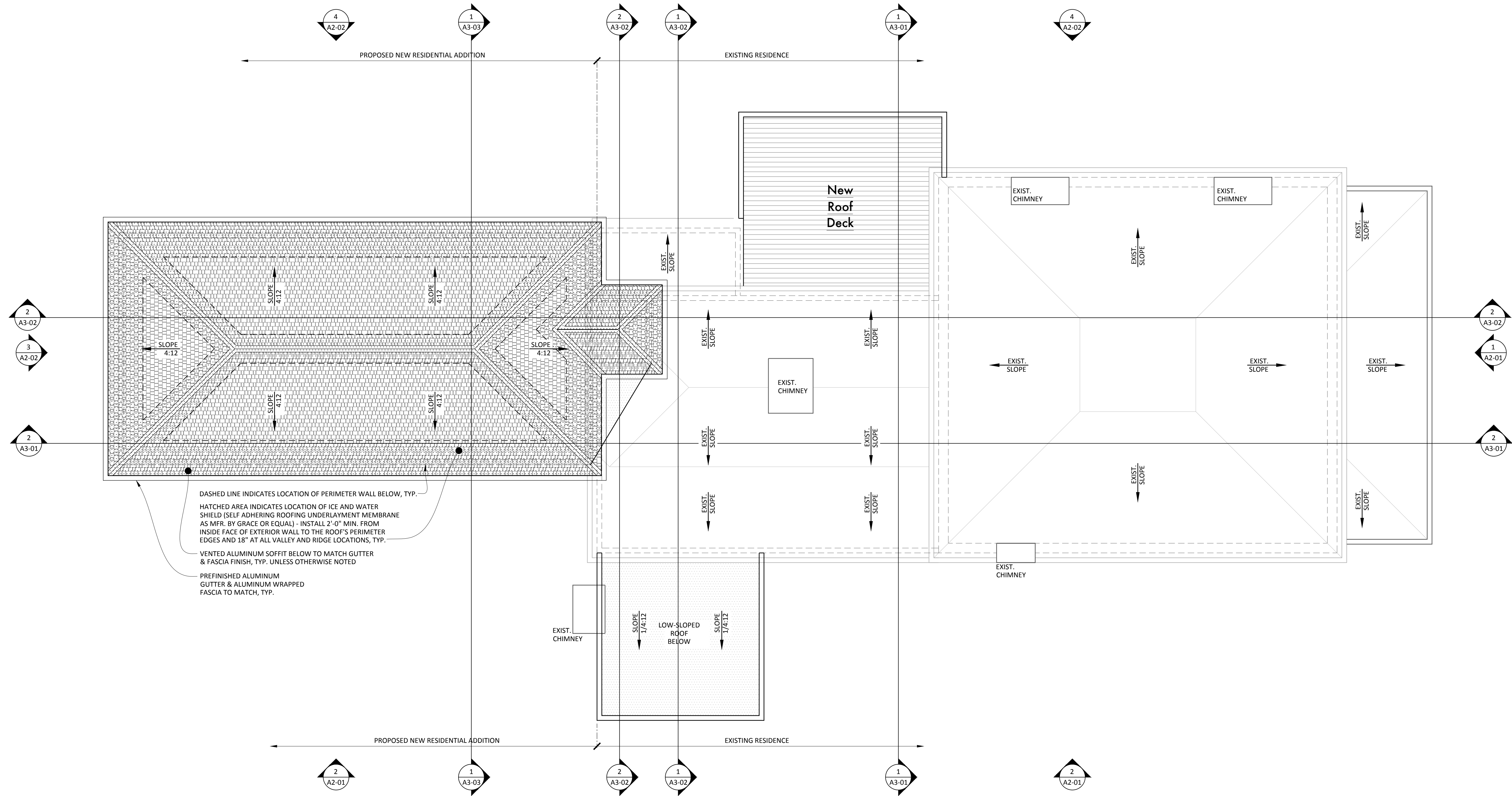
SHEET:  
**A1-02**

1  
A1-02 SECOND FLOOR  
CONSTRUCTION FLOOR PLAN  
SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN & NOTES

CONSTRUCTION PLAN KEY	
	INDICATES EXISTING CONSTRUCTION TO REMAIN
	INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
	EGRESS



DASHED LINE INDICATES LOCATION OF PERIMETER WALL BELOW, TYP.  
 HATCHED AREA INDICATES LOCATION OF ICE AND WATER SHIELD (SELF ADHERING ROOFING UNDERLAYMENT MEMBRANE AS MFR. BY GRACE OR EQUAL) - INSTALL 2'-0" MIN. FROM INSIDE FACE OF EXTERIOR WALL TO THE ROOF'S PERIMETER EDGES AND 18" AT ALL VALLEY AND RIDGE LOCATIONS, TYP.  
 VENTED ALUMINUM SOFFIT BELOW TO MATCH GUTTER & FASCIA FINISH, TYP. UNLESS OTHERWISE NOTED  
 PREFINISHED ALUMINUM GUTTER & ALUMINUM WRAPPED FASCIA TO MATCH, TYP.

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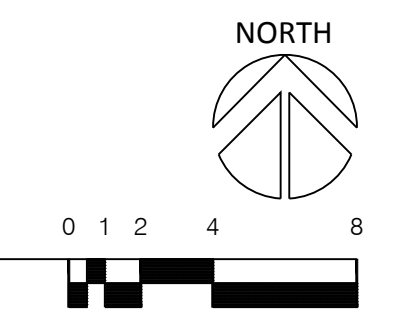
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 ARCHITECTURE

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 CONSTRUCTION  
 COMPANY

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TITLE:  
**ROOF:  
 CONSTRUCTION  
 FLOOR PLAN**  
 ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 - 03-02-26  
 SHEET:  
**A1-03**

1  
 A1-03  
 ROOF  
**CONSTRUCTION FLOOR PLAN**  
 SCALE: 3/16" = 1'-0"





EXISTING SECOND FLOOR LEVEL  
ELEV = +12'-6 3/4" - F.V.

PROPOSED NEW SECOND FLOOR LEVEL  
ELEV = +10'-0"

EXISTING SECOND FLOOR LEVEL  
ELEV = +8'-4 1/2" - F.V.

EXISTING GROUND FLOOR LEVEL  
ELEV = +0'-0"

PROPOSED NEW GARAGE FLOOR LEVEL  
ELEV = -3'-0"

EXISTING BASEMENT LEVEL  
ELEV = -7'-4 1/2"

2 EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH GENERAL NOTES:

IT IS THE DESIGN INTENT THAT ALL PROPOSED NEW EXTERIOR FINISHES, COLORS, ETC. THAT ARE LOCATED AT ALL PROPOSED NEW CONSTRUCTION AREAS ARE TO MATCH THE EXISTING EXTERIOR FINISHES, COLORS, ETC. LOCATED ON THE ADJACENT EXISTING RESIDENCE. ALL EXISTING EXTERIOR CONSTRUCTION IS SCHEDULED TO REMAIN 'AS-IS'.

1. ALL PROPOSED NEW SIDING IS TO MATCH EXISTING ADJ. SIDING (COLOR, COURSING, ETC.)
2. ALL PROPOSED NEW TRIM IS TO MATCH EXISTING ADJ. TRIM UNLESS OTHERWISE NOTED

ALL EXISTING MASONRY CONSTRUCTION (CHIMNEY AREAS) ARE TO BE CLEANED AND ANY LOOSE OR DETERIORATED MORTAR IS TO BE REMOVED. REPLACE ANY DAMAGED OR MISSING MASONRY. RE-POINTED AS REQUIRED AND RE-PAINT WHITE.

ALL RAILING AS ILLUSTRATED TO BE PRE-MANUFACTURED / PRE-FINISHED COMPOSITE RAILING ASSEMBLY SUCH AS 'SELECT COMPOSITE T-RAIL' AS MFR'D BY TREX OR ARCH. APPROVED EQUAL.

- WITH SQUARE COMPOSITE PICKETS / BALUSTER KIT
- COLOR OF ALL COMPONENTS TO BE WHITE

REFER TO SHEET A4-00 FOR ADDITIONAL INFO.



EXISTING SECOND FLOOR LEVEL  
ELEV = +12'-6 3/4" - F.V.

PROPOSED NEW SECOND FLOOR LEVEL  
ELEV = +10'-0"

EXISTING SECOND FLOOR LEVEL  
ELEV = +8'-4 1/2" - F.V.

EXISTING GROUND FLOOR LEVEL  
ELEV = +0'-0"

PROPOSED NEW GARAGE FLOOR LEVEL  
ELEV = -3'-0"

EXISTING BASEMENT LEVEL  
ELEV = -7'-4 1/2"

1 EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"

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CLEVELAND  
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ARCHITECTURE

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CONSTRUCTION  
COMPANY

The  
Connor's  
Residence

Renovation

5 Thirty Acres Street  
Hudson, Ohio 44236

Interior & Exterior  
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expanded Kitchen, Living  
Areas, Bedrooms &  
Garages

TITLE:  
EXTERIOR ELEVATIONS

ISSUE: - DATE: 03-02-26

SHEET:  
**A2-01**



4 EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



EXTERIOR FINISH GENERAL NOTES:

IT IS THE DESIGN INTENT THAT ALL PROPOSED NEW EXTERIOR FINISHES, COLORS, ETC. THAT ARE LOCATED AT ALL PROPOSED NEW CONSTRUCTION AREAS ARE TO MATCH THE EXISTING EXTERIOR FINISHES, COLORS, ETC. LOCATED ON THE ADJACENT EXISTING RESIDENCE. ALL EXISTING EXTERIOR CONSTRUCTION IS SCHEDULED TO REMAIN 'AS-IS':

1. ALL PROPOSED NEW SIDING IS TO MATCH EXISTING ADJ. SIDING (COLOR, COURSING, ETC.)
2. ALL PROPOSED NEW TRIM IS TO MATCH EXISTING ADJ. TRIM UNLESS OTHERWISE NOTED

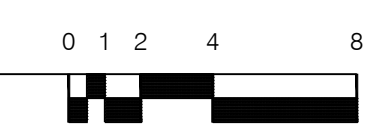
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ALL RAILING AS ILLUSTRATED TO BE PRE-MANUFACTURED / PRE-FINISHED COMPOSITE RAILING ASSEMBLY SUCH AS 'SELECT COMPOSITE T-RAIL' AS MFR'D BY TREX OR ARCH. APPROVED EQUAL. WITH SQUARE COMPOSITE PICKETS / BALUSTER KIT. COLOR OF ALL COMPONENTS TO BE WHITE.

REFER TO SHEET A4-00 FOR ADDITIONAL INFO.



3 EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



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CLEVELAND  
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ARCHITECTURE

**BROCK**  
CONSTRUCTION  
COMPANY

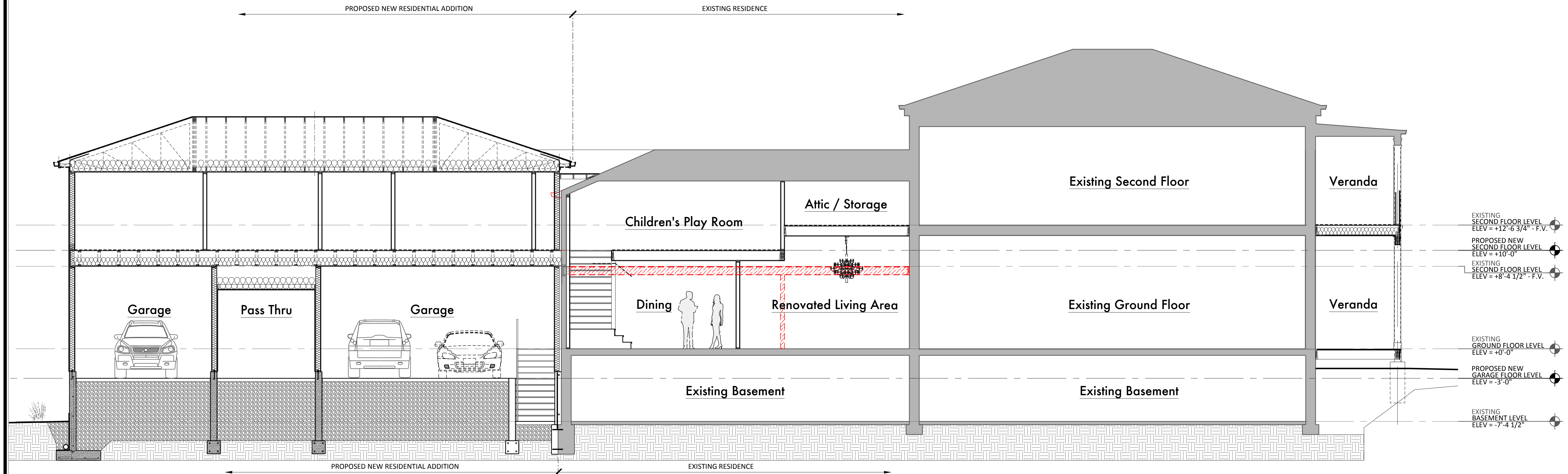
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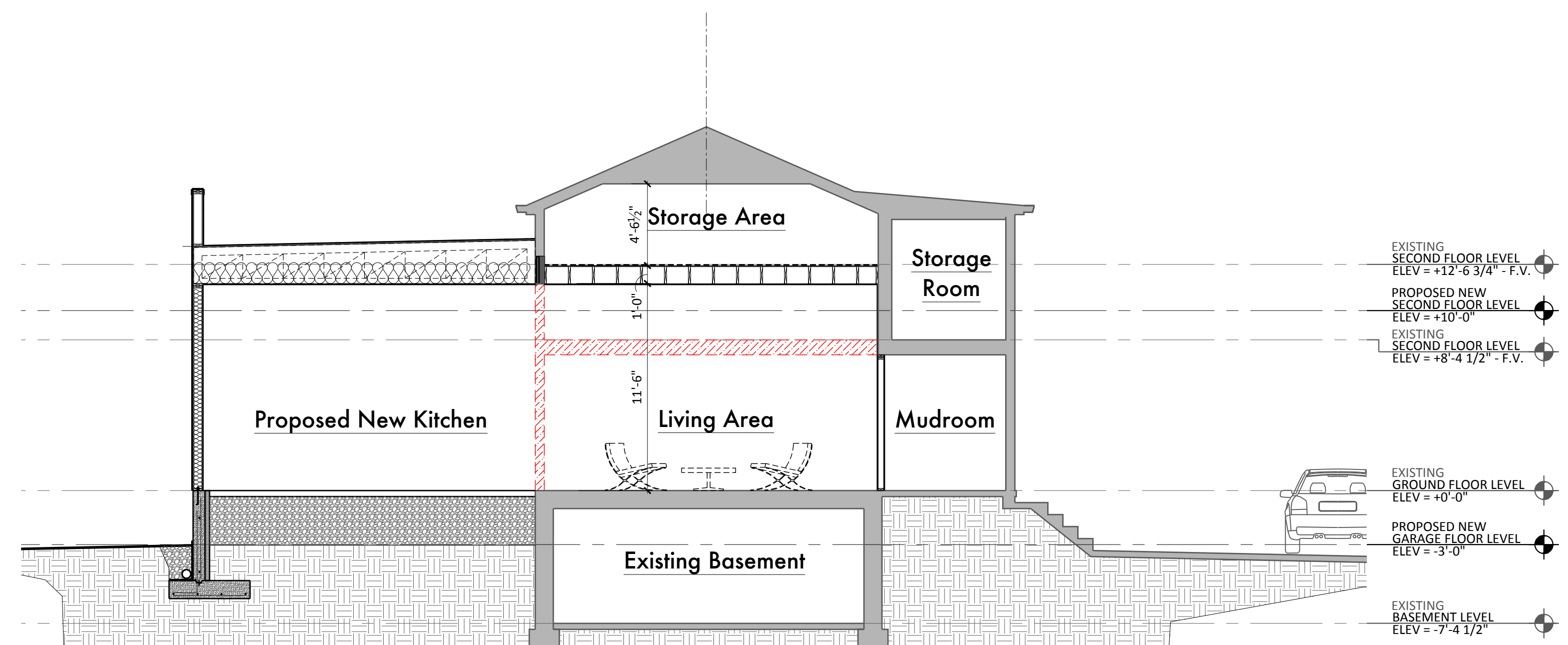
TITLE:  
EXTERIOR ELEVATIONS

ISSUE: - DATE: 03-02-26

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**A2-02**



2 EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



1 OVERALL BUILDING SECTION  
SCALE: 3/16" = 1'-0"



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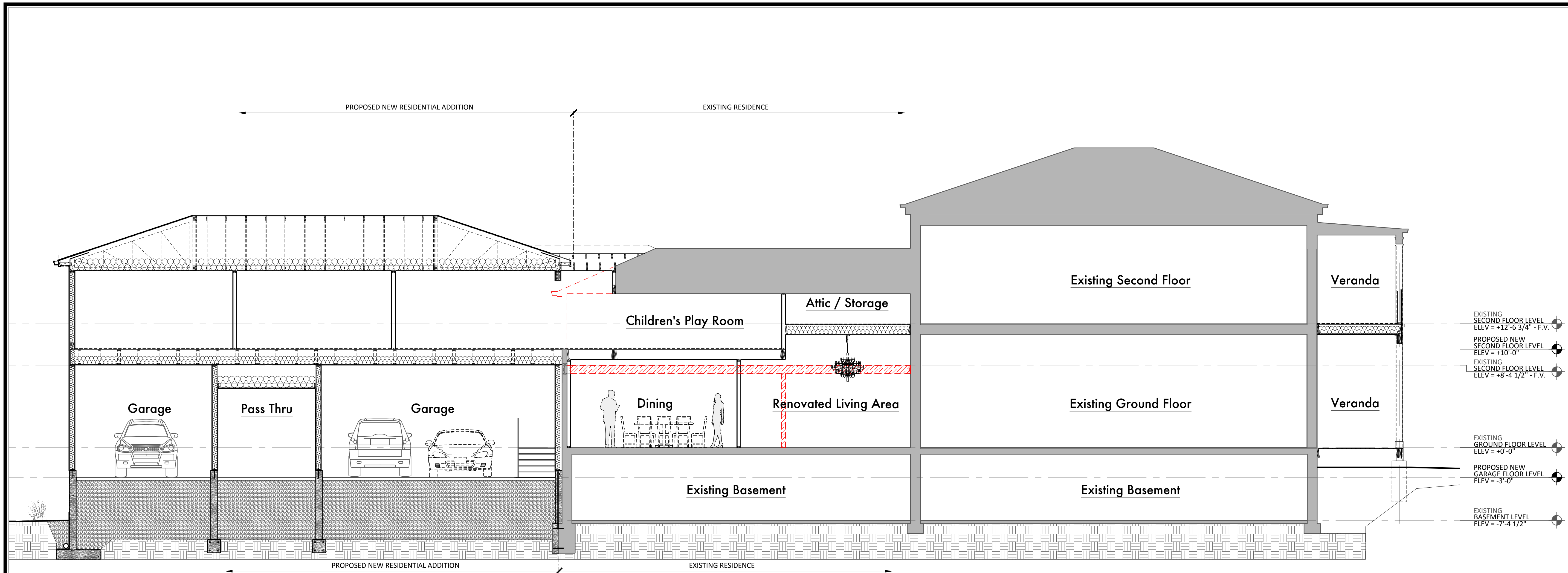
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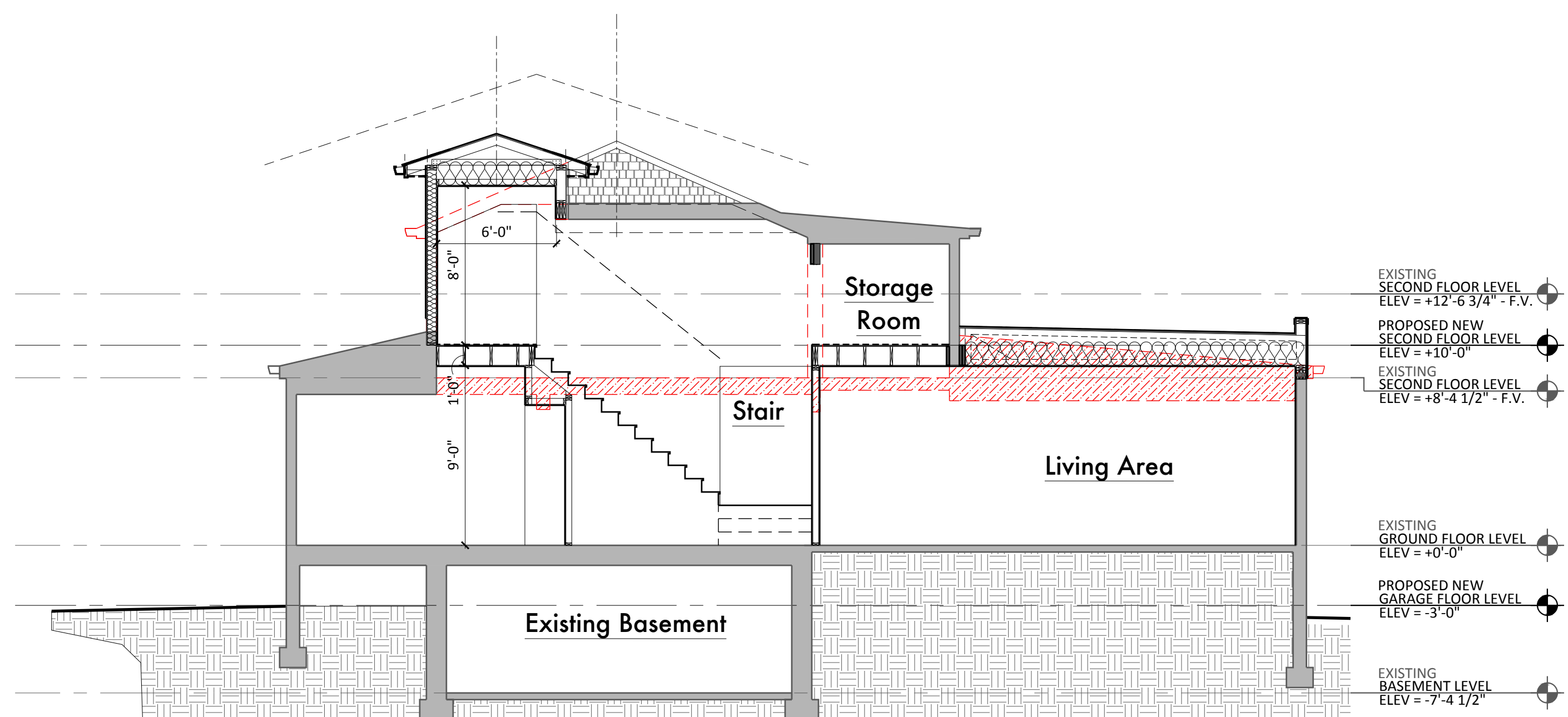
TITLE:  
OVERALL BUILDING  
SECTIONS

ISSUE: - DATE: 03-02-26

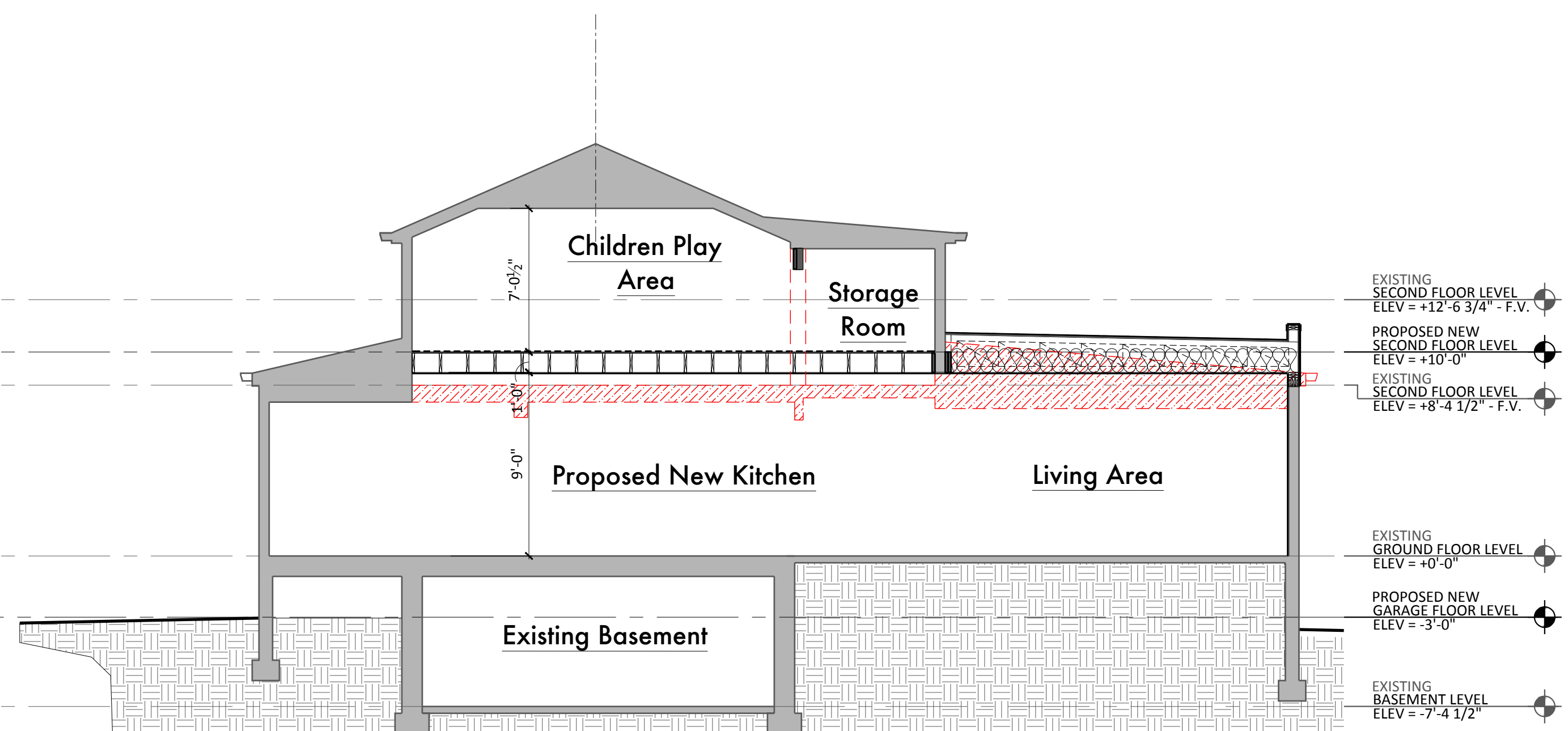
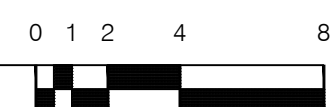
SHEET:  
**A3-01**



2 OVERALL BUILDING SECTION  
SCALE: 3/16" = 1'-0"



3 OVERALL BUILDING SECTION  
SCALE: 3/16" = 1'-0"



1 OVERALL BUILDING SECTION  
SCALE: 3/16" = 1'-0"



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CLEVELAND  
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TITLE:  
 OVERALL BUILDING  
 SECTIONS

ISSUE: \_\_\_\_\_ DATE: \_\_\_\_\_  
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**A3-02**

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**BROCK**  
 CONSTRUCTION  
 COMPANY

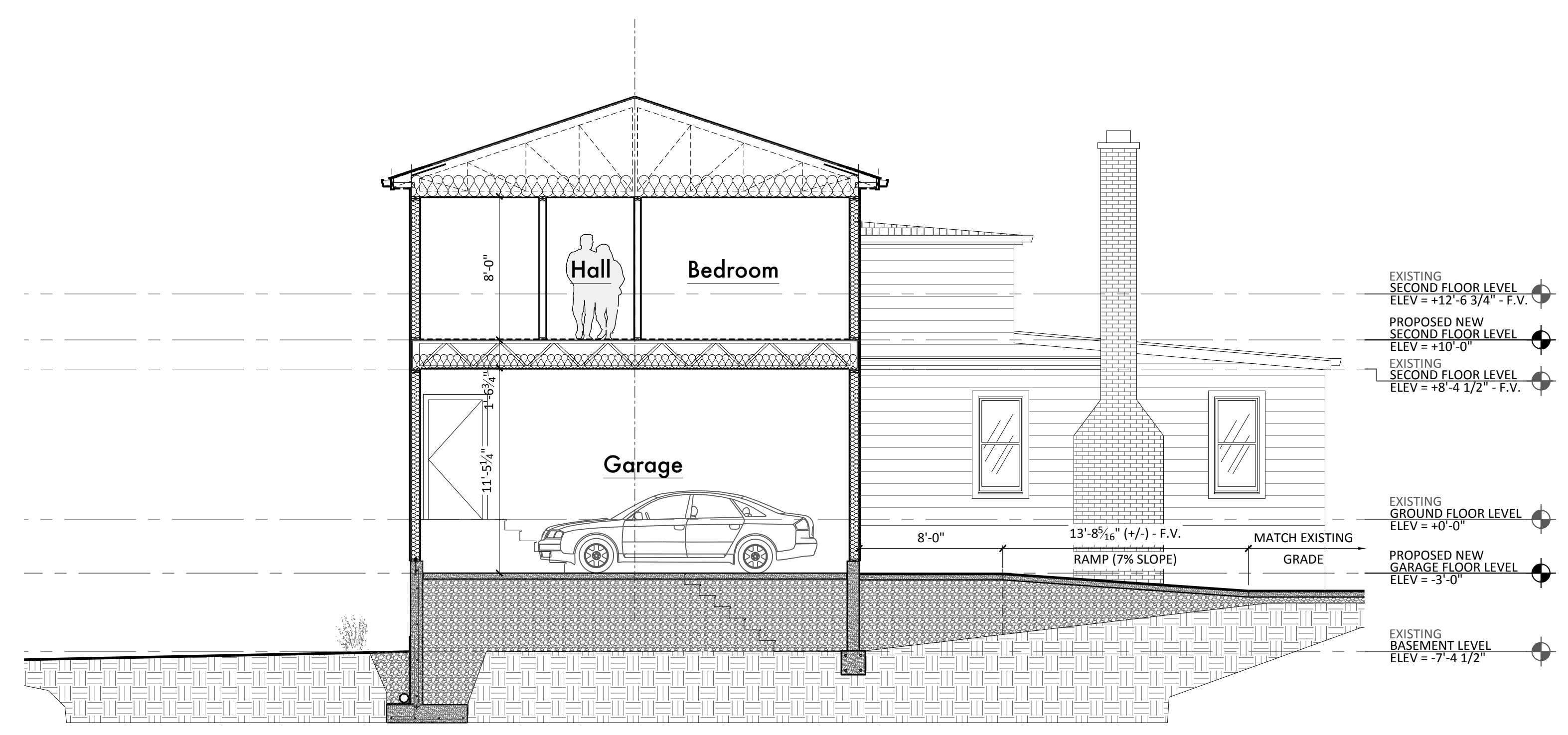
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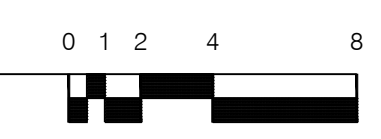
TITLE:  
**OVERALL BUILDING SECTIONS**

ISSUE: - DATE: 03-02-26

SHEET:  
**A3-03**



1 OVERALL BUILDING SECTION  
 SCALE: 3/16" = 1'-0"



EXTERIOR PRODUCT & FINISH LEGEND

ROOFING



RF-1

MATERIAL: ASPHALT SHINGLE  
MFR: GAF  
STYLE/TYPE: TIMBERLINE HDZ  
COLOR: PEWTER GRAY

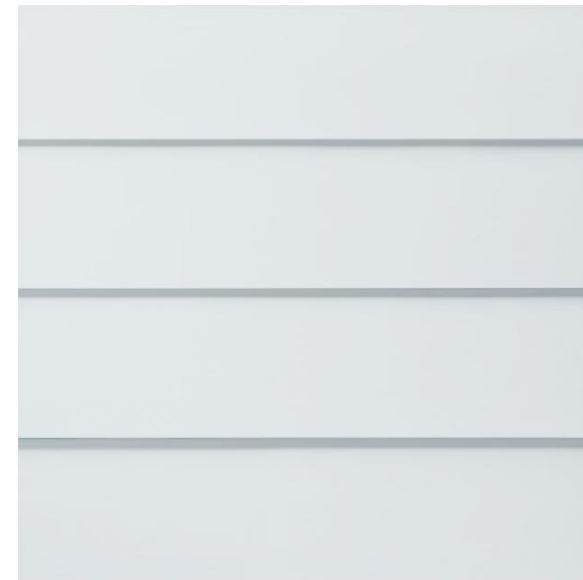
- NOTES:
- ALL SHINGLES TO BE INSTALLED PER MANUFACTURER'S STANDARD WRITTEN RECOMMENDATIONS OVER 30# FELT/UNDERLAYMENT.
  - AT ALL REQUIRED LOCATIONS INCLUDE SELF-ADHERE, SELF-SEALING UNDERLAYMENT (SUCH AS ICE & WATER SHIELD AS MFR'D BY GRACE).
  - PROVIDE & INSTALL ALL REQUIRED RIDGE VENTS, FLASHINGS, VALLEY FLASHINGS, DRIP EDGES, ETC. TO ACHIEVE MANUFACTURER'S WARRANTY.
  - AT ALL LOCATIONS WHERE ROOF IS LOCATED DIRECTLY OVER CONDITIONED SPACE, THEN INCLUDE AN AIR & VAPOR BARRIER DIRECTLY OVER WOOD SHEATHING.

RF-2

MATERIAL: EPDM SINGLE PLY ROOF MEMBRANE (SELF-ADHERED)  
MFR: FIRESTONE, CARLISLE OR ARCH. APPROVED EQUAL  
STYLE/TYPE: RUBBERGARD EPDM SA - FULLY ADHERED AS MFR'D BY FIRESTONE SURE-SEAL EPDM - FULLY ADHERED AS MFR'D BY CARLISLE  
THICKNESS: 60 MIL  
COLOR: BLACK

- NOTES:
- MEMBRANE ROOFING TO BE INSTALLED DIRECTLY OVER CONT. POLYISO INSULATION OVER SHEATHING. INSTALL PER MFR.'S STANDARD INSTRUCTION WITH ALL APPROVED COMPONENTS, FLASHINGS, ETC. AS REQUIRED TO ACHIEVE MFR.'S STANDARD WARRANTY.
  - ALL ROOF POLYISO INSULATION (4-1/2", R-25 MIN.) TO BE INSTALLED CONT. ABOVE DECK AND TO BE INSTALLED WITH COVERBOARD AND IN MULTIPLE LAYERS WITH ALL JOINTS STAGGERED TO MINIMIZE THERMAL BRIDGING.
  - AT ALL LOCATIONS WHERE ROOF IS LOCATED DIRECTLY OVER CONDITIONED SPACE, THEN ALL ROOF INSULATION IS TO BE INSTALLED OVER AN AIR & VAPOR BARRIER DIRECTLY OVER WOOD SHEATHING (ALL LOCATIONS WITH EXCEPTION OF EXTERIOR CANOPIES.)

WALL CLADDING:



CLAD-1 BASE BID

MATERIAL: ALUMINUM SIDING  
MFR: ALSIDE OR ARCH. APPROVED EQUAL  
STYLE/TYPE: 8" LAP SIDING - SMOOTH (TO MATCH EXISTING)  
COLOR: WHITE TO MATCH EXISTING

- NOTES:
- INSTALL PER MFR'S STANDARD WRITTEN INSTRUCTION WITH ALL MFR. APPROVED COMPONENTS, FLASHINGS, ETC. TO ACHIEVE STANDARD WARRANTY (ALSO SEE NOTES ABOVE)

TYPICAL EXTERIOR WALL / BUILDING ENVELOPE ASSEMBLY GENERAL NOTES:

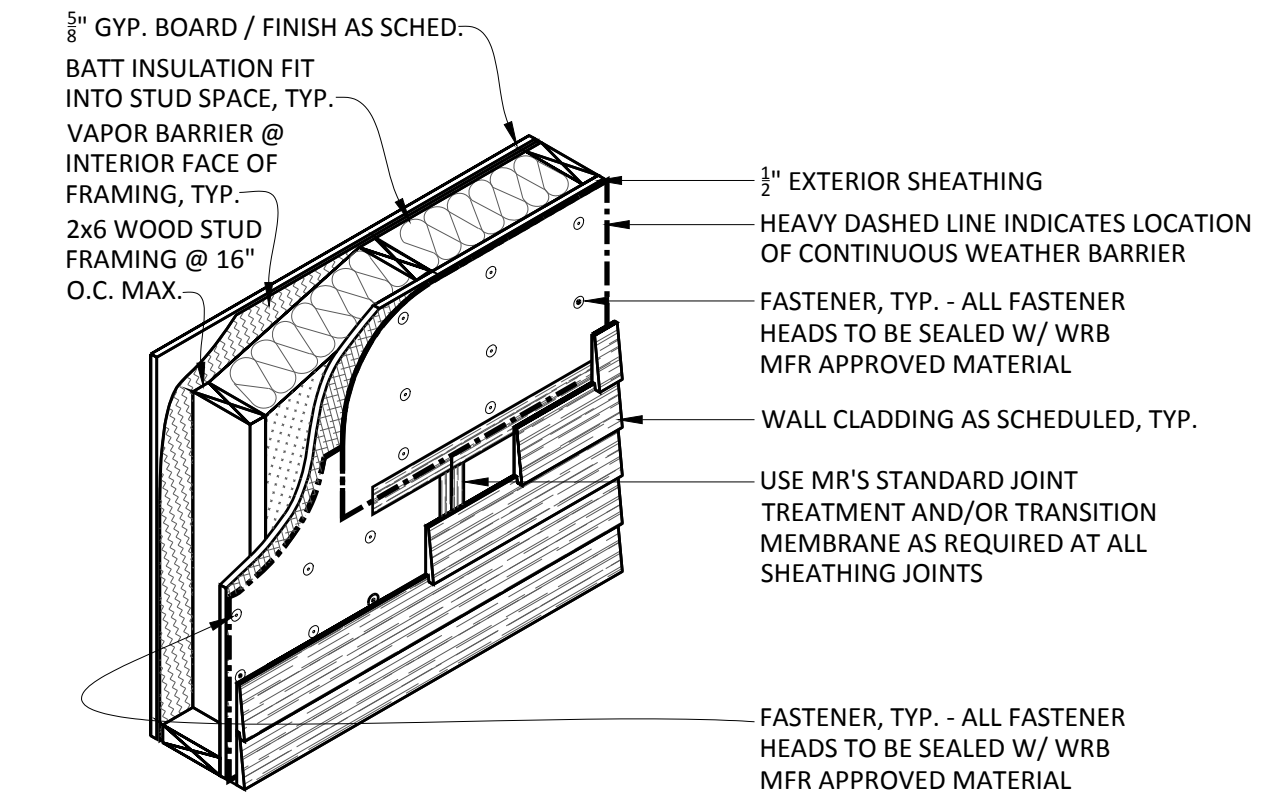
\*ALL DRAWINGS, DETAILS & NOTES SHOWN HERE WITHIN DESCRIBE & ILLUSTRATE A DESIGN INTENT ADDRESSING PERFORMANCE & AESTHETIC CRITERIA OF THE EXTERIOR ENVELOPE ASSEMBLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DETAILED SHOP DRAWINGS THAT MEET OR EXCEED THAT DESIGN INTENT PRIOR TO INSTALLATION.

TYPICAL BLDG. ENVELOPE ASSEMBLY:

ALL WALL COMPONENTS TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

- EXTERIOR CLADDING: REFER TO FINISH SCHEDULE
- WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER (PREFERRED FLUID-APPLIED CONTINUOUSLY) DIRECTLY OVER EXTERIOR SHEATHING. W.R.B. TO BE APPLIED PER MFR'S STANDARD INSTRUCTION WITH ALL APPROVED COMPONENTS, FLASHINGS, ETC. TO ACHIEVE MFR.'S STANDARD WARRANTY.
  - AIRLOCK-FLEX VP AS MFR'D BY POLYGUARD
  - R-GUARD AS MFR'D BY PROSOCCO
  - OR INTEGRAL W.R.B. FACTORY APPLIED DIRECTLY TO SHEATHING PRODUCT SUCH AS 'ZIP' SYSTEM SHEATHING AS MFR'D BY HUBERWOOD. INSTALLED ALL SEAMS PER MFR'S STANDARD RECOMMENDATIONS W/ APPROVED TAPE / FLASHING PRODUCTS / ETC.
- EXTERIOR SHEATHING: EXTERIOR RATED WOOD STRUCTURAL PANEL (1/2" MIN. THICK OSB)
- WALL FRAMING: NOM. 2x6 WOOD STUDS @ 16" O.C. MAX. (UNLESS OTHERWISE NOTED)
- CAVITY INSULATION: FIBER GLASS INSULATION (6" THICK, R-21 MIN.) FIT INTO STUD SPACE
- VAPOR BARRIER: (LOCATED @ INTERIOR FACE OF FRAMING) CONTINUOUSLY REINFORCED POLYETHYLENE SHEET (6 MIL. MIN.) WITH ALL JOINTS TAPED OR AS INTEGRAL FACING OF BATT INSULATION INSTALLED PER N.A.I.M.A. STANDARD RECOMMENDATIONS

ISOMETRIC DIAGRAM:



TRIM



TRIM-1

MATERIAL: COMPOSITE TRIM  
MFR: AZEK, FYPON OR ARCH. APPROVED EQUAL  
STYLE/TYPE: -  
SIZE: 3/4" THICK (SIZE VARIES - REFER TO DRAWINGS)  
COLOR: PAINT (T.B.D.) BY OWNER

- NOTES:
- VERIFY EXACT SIZE & LOCATION WITH OWNER
  - ALL WINDOW TRIM TO BE 3.5" WIDE INSTALLED ALONG ALL 4 SIDES OF EXTERIOR WINDOWS, TYP.

SEAL:

ISSUED: \_\_\_\_\_  
DATE: 03-02-26  
Issued for: Architectural Review Board

CLEVELAND  
**DRAW**  
ARCHITECTURE

**BROCK**  
CONSTRUCTION  
COMPANY

The  
Connor's  
Residence

Renovation

5 Thirty Acres Street  
Hudson, Ohio 44236

Interior & Exterior  
Renovations to  
accommodate an  
expanded Kitchen, Living  
Areas, Bedrooms &  
Garages

TITLE:  
EXTERIOR FINISH  
SCHEDULE

ISSUE: \_\_\_\_\_ DATE: 03-02-26  
-

SHEET:  
**A4-00**





