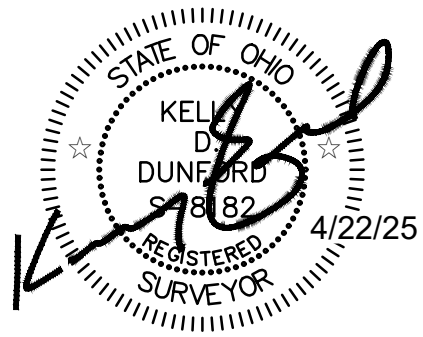




REVISIONS:

1.)

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Hamiel Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and
State of Ohio: And known as being Lot No. 9 in
the Hudson Preserve Subdivision, as
recorded in Doc. #56826538.

SITE NOTES:

- 1.) DEVELOPMENT WAS STILL UNDER CONSTRUCTION AT TIME OF TOPOGRAPHIC SURVEY.
- 2.) CONCRETE WASHOUT PIT TO BE INSTALLED AT ENTRANCE TO DEVELOPMENT.

LEGEND

- 998 - Ex. Contour
- 1002 - PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- TREE TO BE REMOVED
- PR. CONC. WASHOUT PIT, CONST. ENTRANCE & SILT FENCE
- PR. DRAINAGE DIRECTION/SWALE
- PR. WELL
- PR. DOWNSPOUT
- Ex. Utility Pole & Pedestals
- Ex. Mailbox
- Ex. San./Stm. MH.
- Ex. Stm. Inlet/Basins & Downspout Location
- Ex. Gas Valve & Shutoff
- Ex. Hyd., Valve/ Shutoff & Well
- Iron Pin Set
- Rebar or Iron Rod/Pin Fnd.
- Iron Pipe Fnd.
- Mon. Fnd.



Know what's below.
Call before you dig.

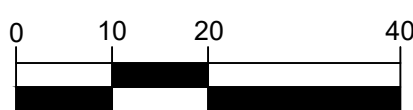
SURVEYED BY:

APEX LAND SURVEYING

KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcbglobal.net
www.apexlandsurveying.com

PROJ: 2020163

C9:
A=79.88'
R=70.00'
D=65°22'43"
CB=N 42°08'02" E
CH=75.61'
T=44.92'



SCALE: 1" = 20'

DATUM:

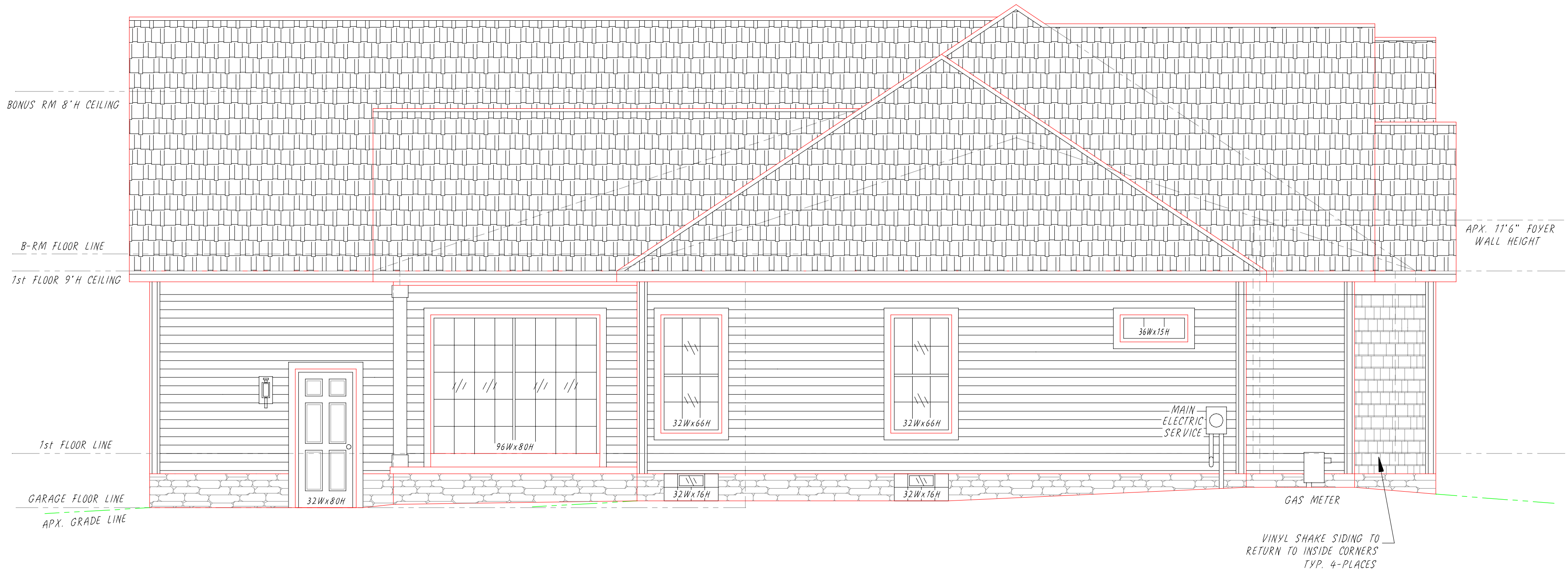
B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

CONSTRUCTION NOTES:

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. A construction entrance shall be constructed in the same location as the permanent drive, consisting of #1&2 aggregate and be a minimum of 70 feet long.
5. All grades shall comply w/corresponding government office.
6. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
7. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
8. All sewer connections must maintain a minimum slope of 1%.
9. Footer drain & downspouts are to be tied into the storm drain. Refer to house plans for downspout locations.
10. A foundation sump pump is required unless otherwise determined by contractor.
11. The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
12. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

BUILDER:

LDA BUILDERS, INC.
6683 OLDE EIGHT RD.
PENINSULA, OH 44264
TONY LUNARDI
(330) 528-3800



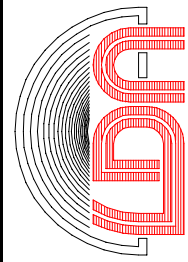
Left Side Elevation

CUSTOMER
Charles Hamiel

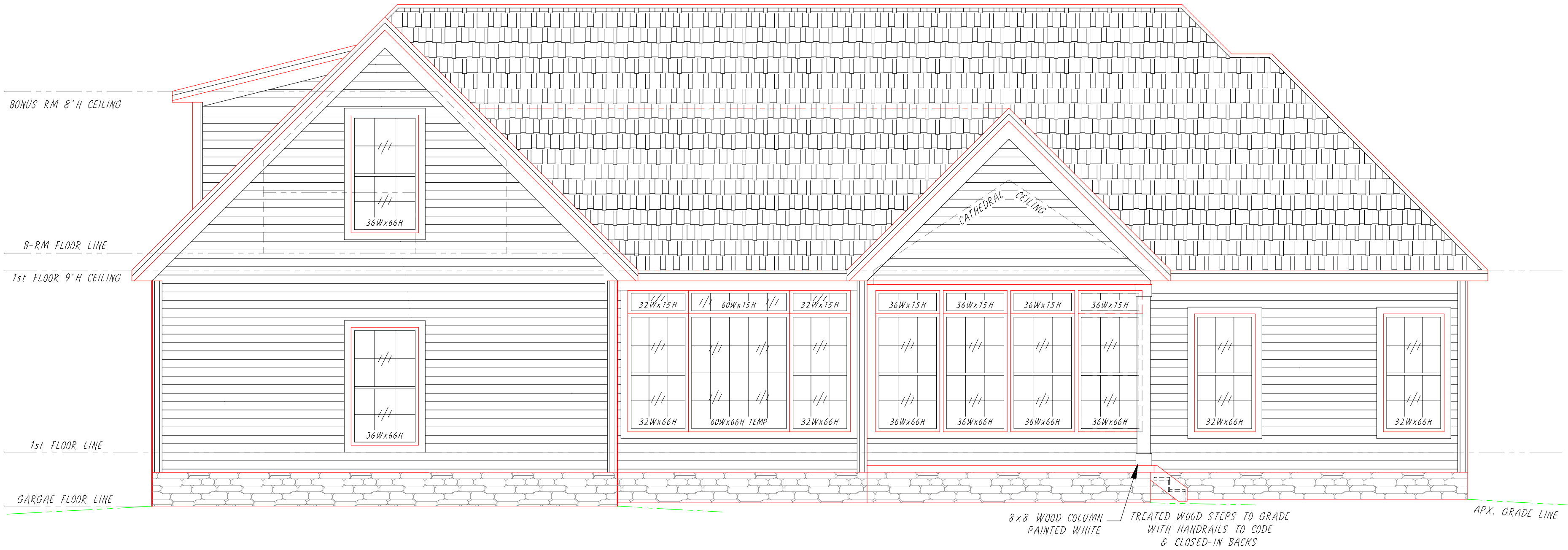
SCALE .25" = 1'
DATE 04/20/25
DRN CK'D
AP'VD 1/2

REVISIONS
1) PER HOMEOWNER REQUEST

BY
DATE
TL 05/23/25



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Clev(330) 528-3800 • Akron(330) 342-4240
TITLE DAKOTA, modified 1-STORY (3028 sq.ft.)
NO. 25-HF009-II
LEFT SIDE ELEVATION



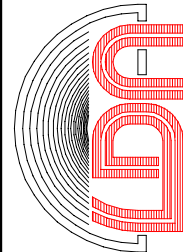
Rear Elevation

CUSTOMER
Charles Hamiel

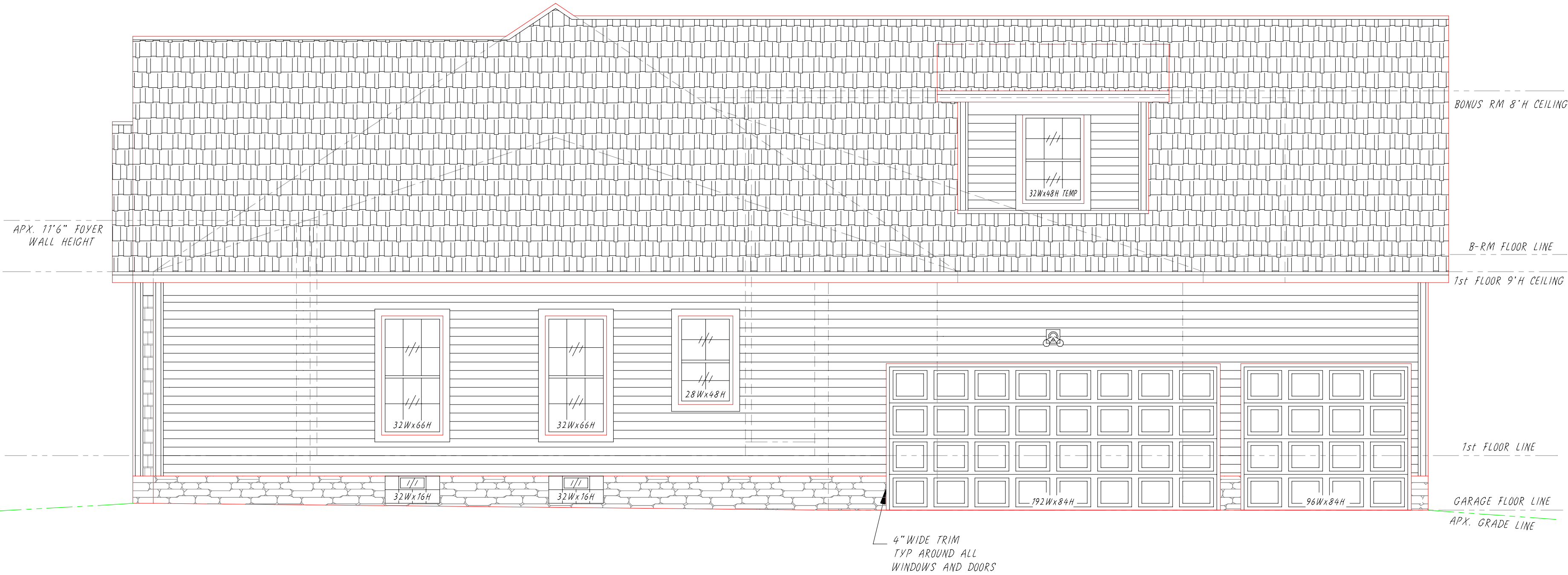
SCALE .25" = 1'
DATE 04/20/25
DRN Z
AP'VD

REVISIONS
1) PER HOMEOWNER REQUEST

BY
DATE
TL 05/25/25



ILIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleve(330) 528-3800 • Akron(330) 342-4240
TITLE DAKOTA, modified 1-STORY (3028 sq.ft.) NO. 25-HP009-12
REAR ELEVATION



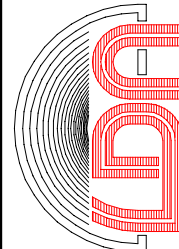
Right Side Elevation

CUSTOMER
Charles Hamiel

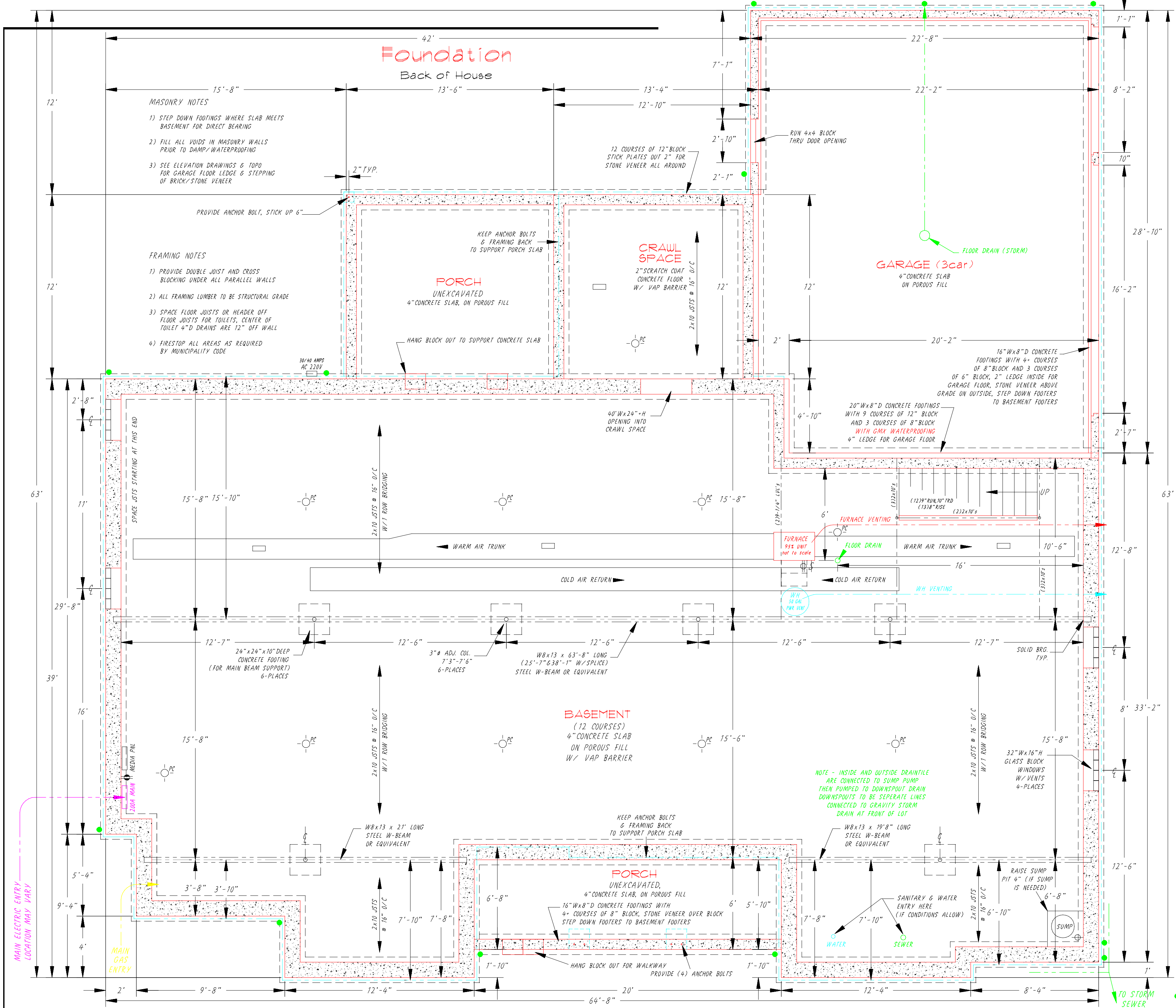
SCALE .25" = 1'
DATE 04/20/25
DRN Z CK'D
AP'VD

REVISIONS
1) PER HOMEOWNER REQUEST

BY DATE
TL 05/25/25



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleve(330) 528-3800 * Akron(330) 342-4240
TITLE **DAKOTA, modified 1-STORY (3028 sq.ft.)** NO. **25-HP009-13**
RIGHT SIDE ELEVATION

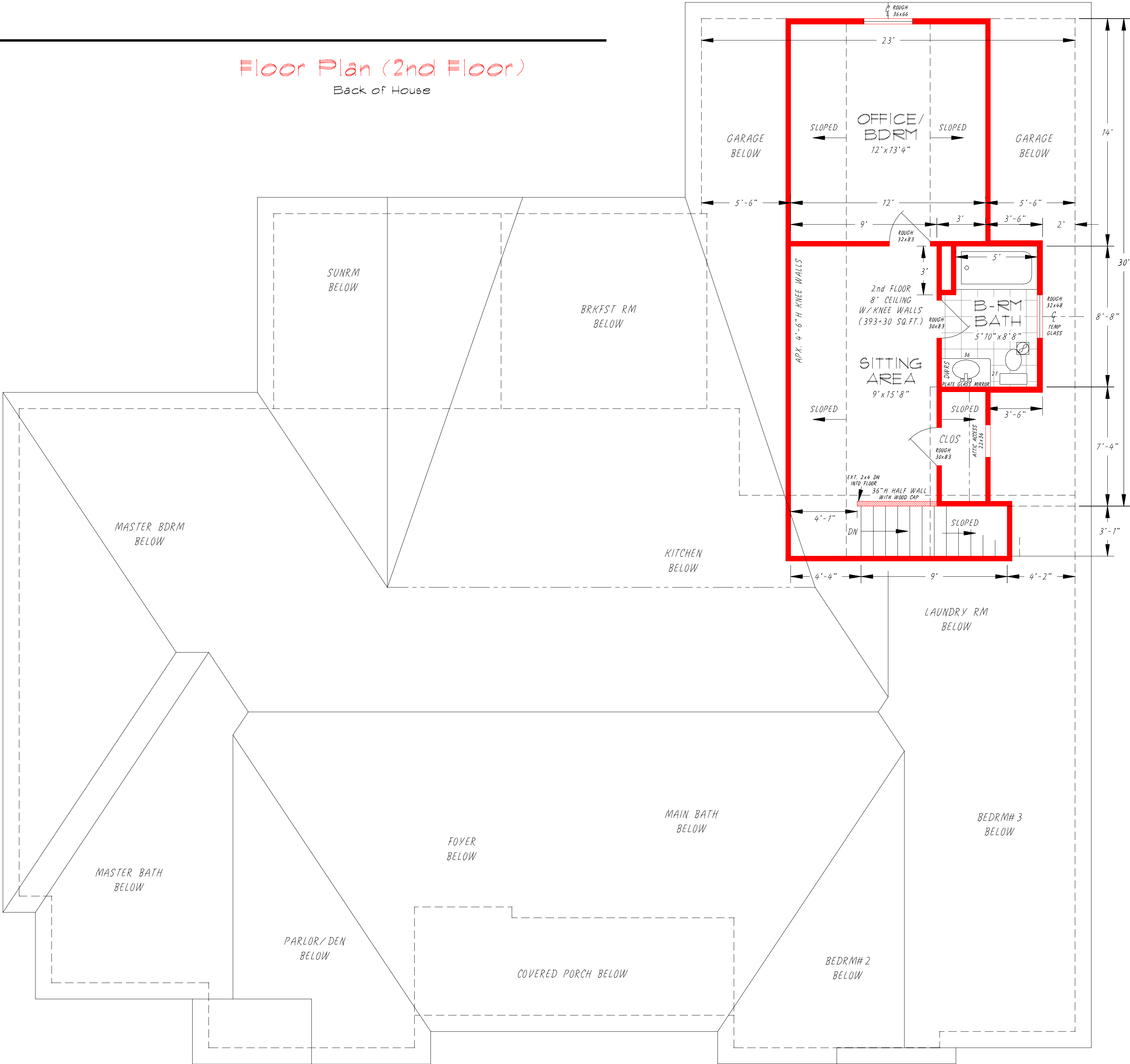


ILIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
TITLE DAKOTA, modified 1-STORY (3028 sq.ft.)
25-HP009-22
FOUNDATION PLAN

SCALE	DATE	BY	DATE	REVISIONS	CUSTOMER
25' = 1'	04/2025	DRN	04/2025	1) PER HOMEOWNER REQUEST	Charles Hamiel
		APVD			

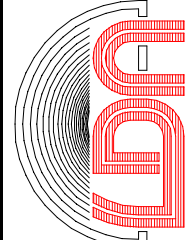
Floor Plan (2nd Floor)

Back of House

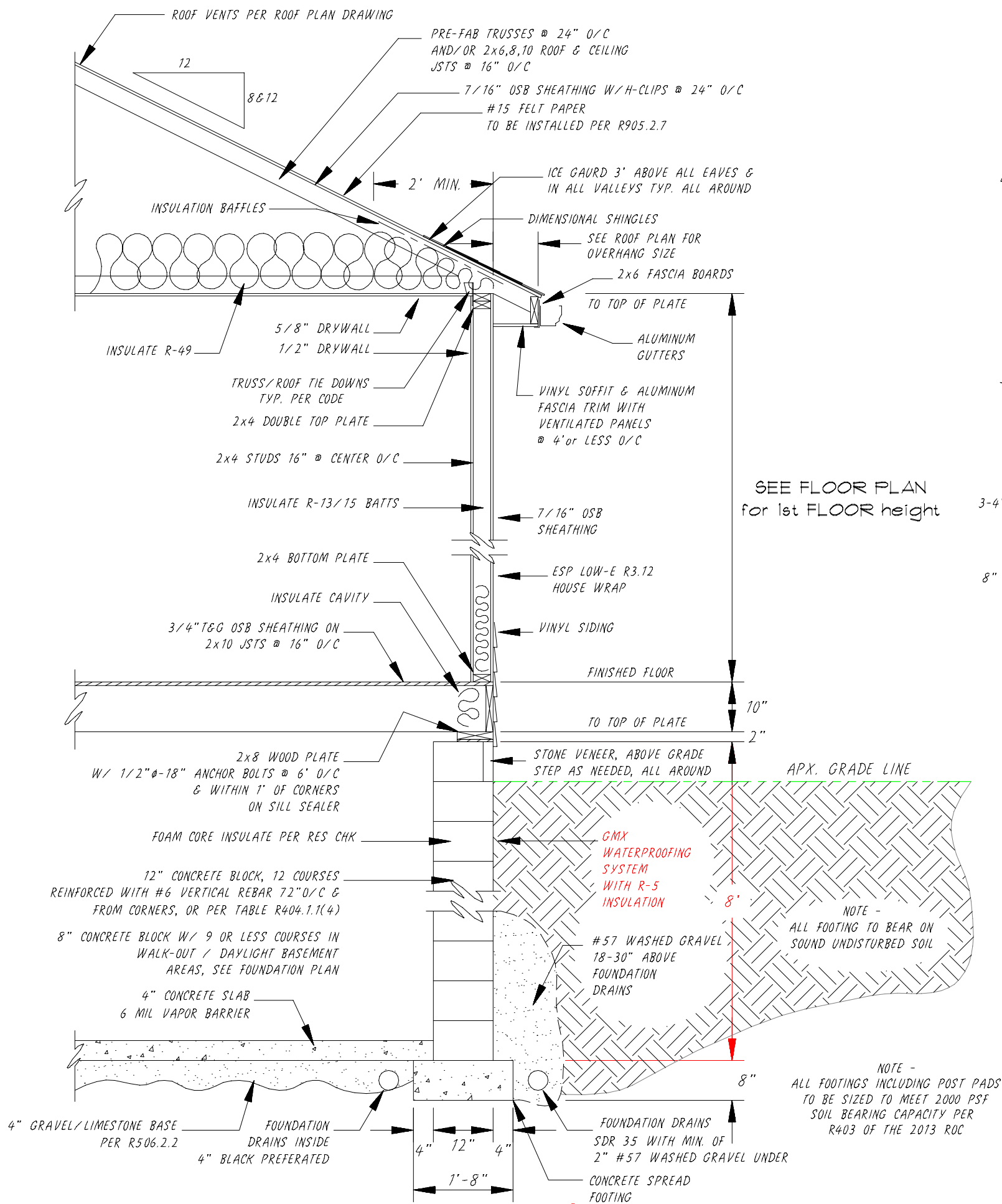


Charles Hamiel	SCALE		REVISIONS			IDA BUILDERS INCORPORATED Boston Hts., Ohio U.S.A. * Phone/Fax Cleveland(330) 528-3800 * Akron(330) 342-4240	TITLE	NO.	25-HF009-24	
	.25" = 1'									DAKOTA, modified 1-STORY (3028 sq.ft.) FLOOR PLAN (2nd Floor)
	DATE		04/2025							
	DIR'N		CR'D							
	AP'VD		/Z							
		1) PER HOMEOWNER REQUEST		TL	05/25/25					

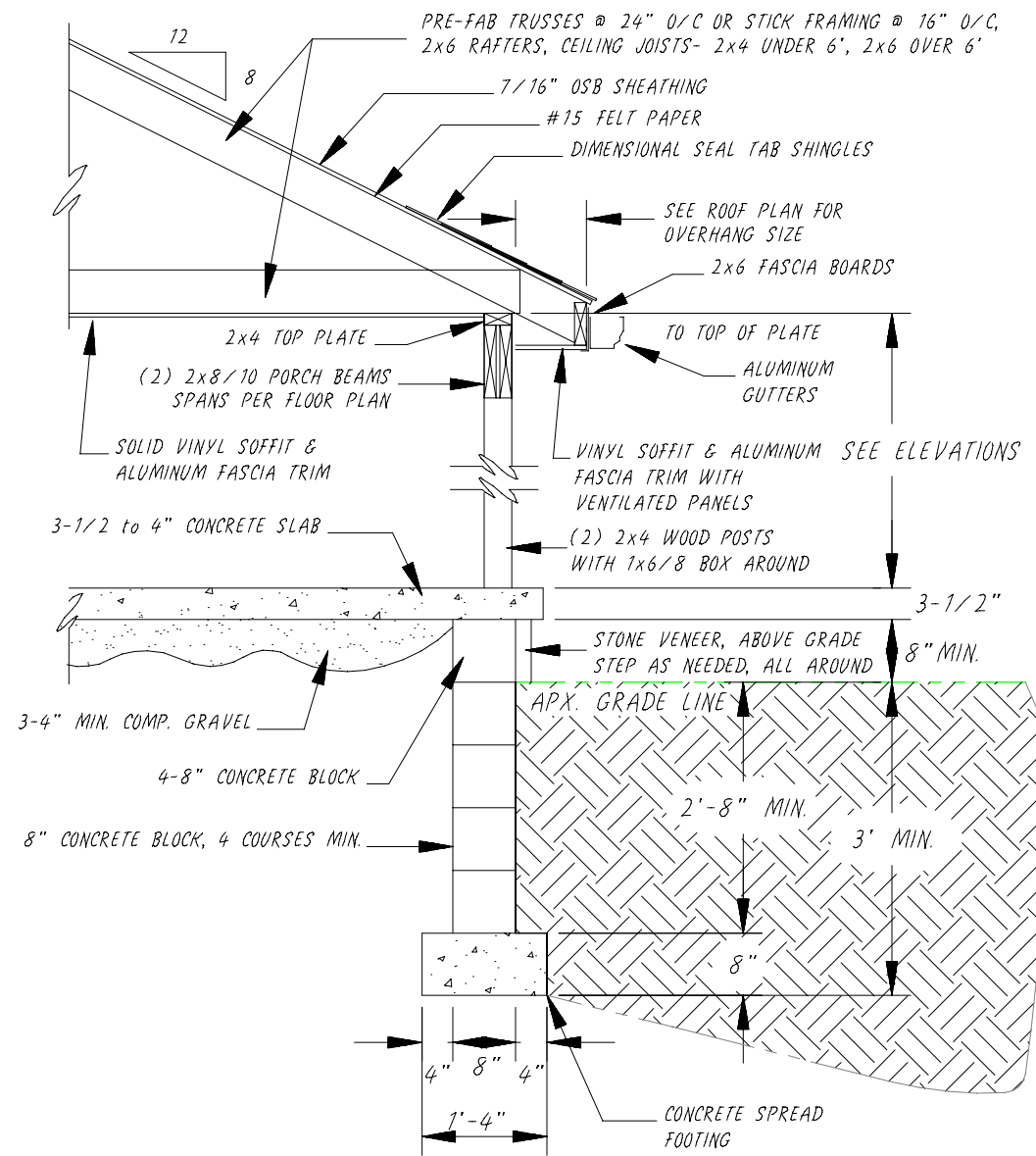
ILIDA BUILDERS



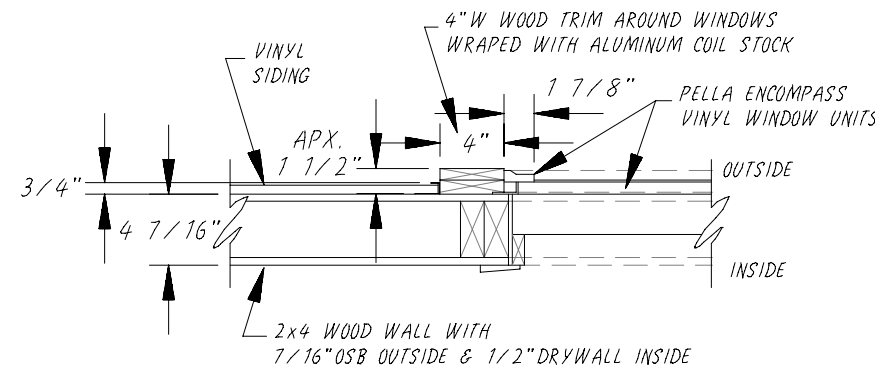
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Clevel(330) 528-3800 • Akron(330) 342-4240
TITLE DRAFT, modified 1-STORY (3028 sq.ft.)
NO. 25-HF009-24
FLOOR PLAN (2nd Floor)



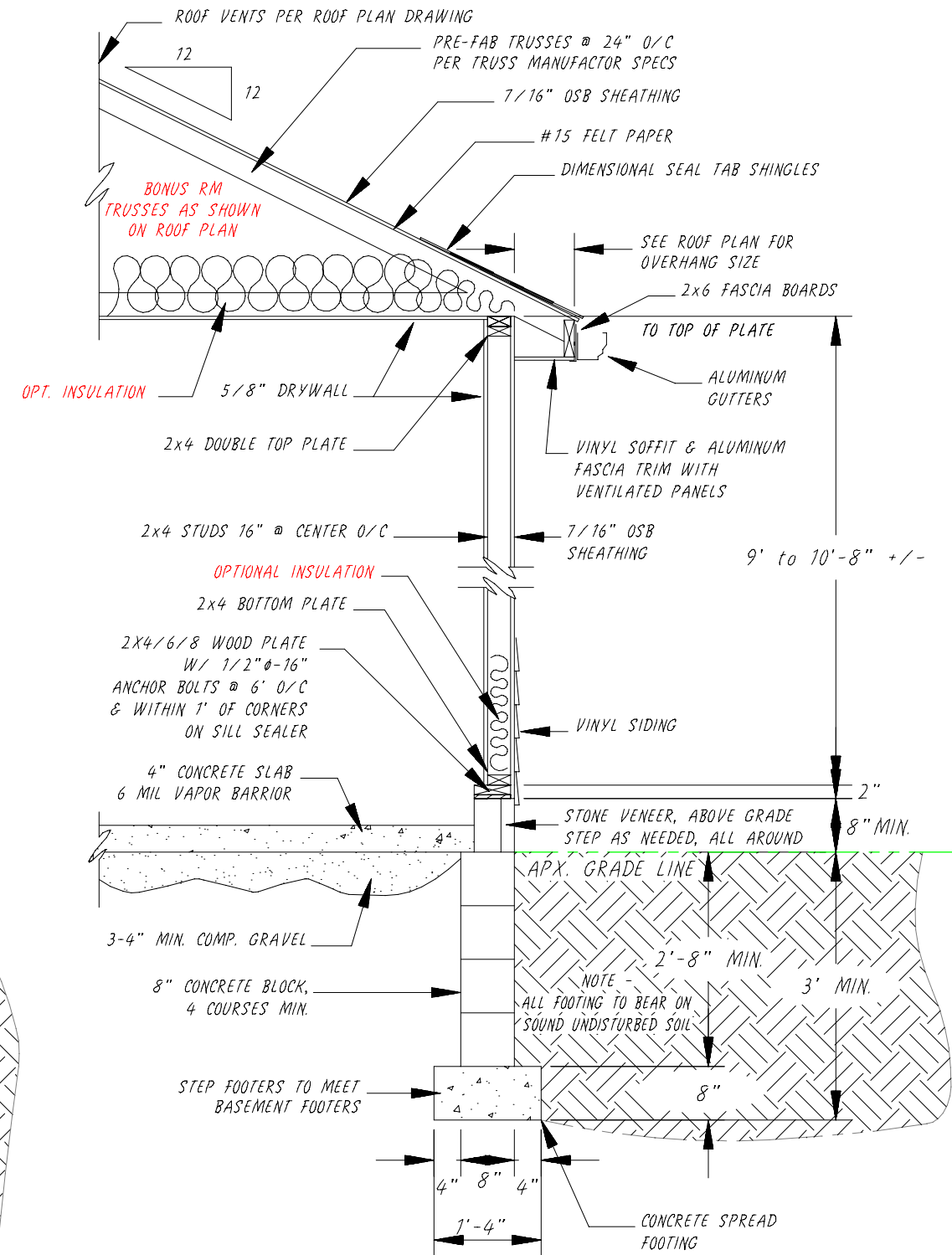
Main House Wall Cross Section View



Typical Porch Cross Section View



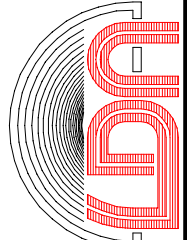
Typical Window Section View
(Scale 1" = 1')



Garage Wall Cross Section View

CONSTRUCTION NOTES (2019 CODE)

- 1) ALL ROOF PITCHES TO BE A 12/12 SIDE TO SIDE & AN 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES & CANTILEVERS
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
- 4) BLOCK WALLS TO REINFORCED PER TABLE R404.1.1(4) OF THE 2019 ROC AND HAVE HORIZONTAL DURAWALL EVERY APX. 3 COURSES
- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
- 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18' AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2019 ROC.
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2019 ROC, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.5
- 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R309.1 OF THE 2019 ROC.



REVISIONS	DATE	BY

CUSTOMER	Charles Hamiel
SCALE	1/4" = 1'
DATE	04/20/25
DRN	/Z
APP'D	



3001987

3002980

76

3002979

Norton Rd

NORTON RD

KE DR

5617559

LOT 6
3010390
5260

LOT 7
3010391
5272

LOT 5
3010389
5248

3001674 300

LOT 4
3010388
5236

LOT 8
3010392
5259

LOT 3
3010387
5224

LOT 9 *
3010393
5247

Subject Lot

LOT 2
3010386
5210

LOT 10
3010394
5235

LOT 11
3010395
5223

LOT 1
3010385
1861

3002143
1887

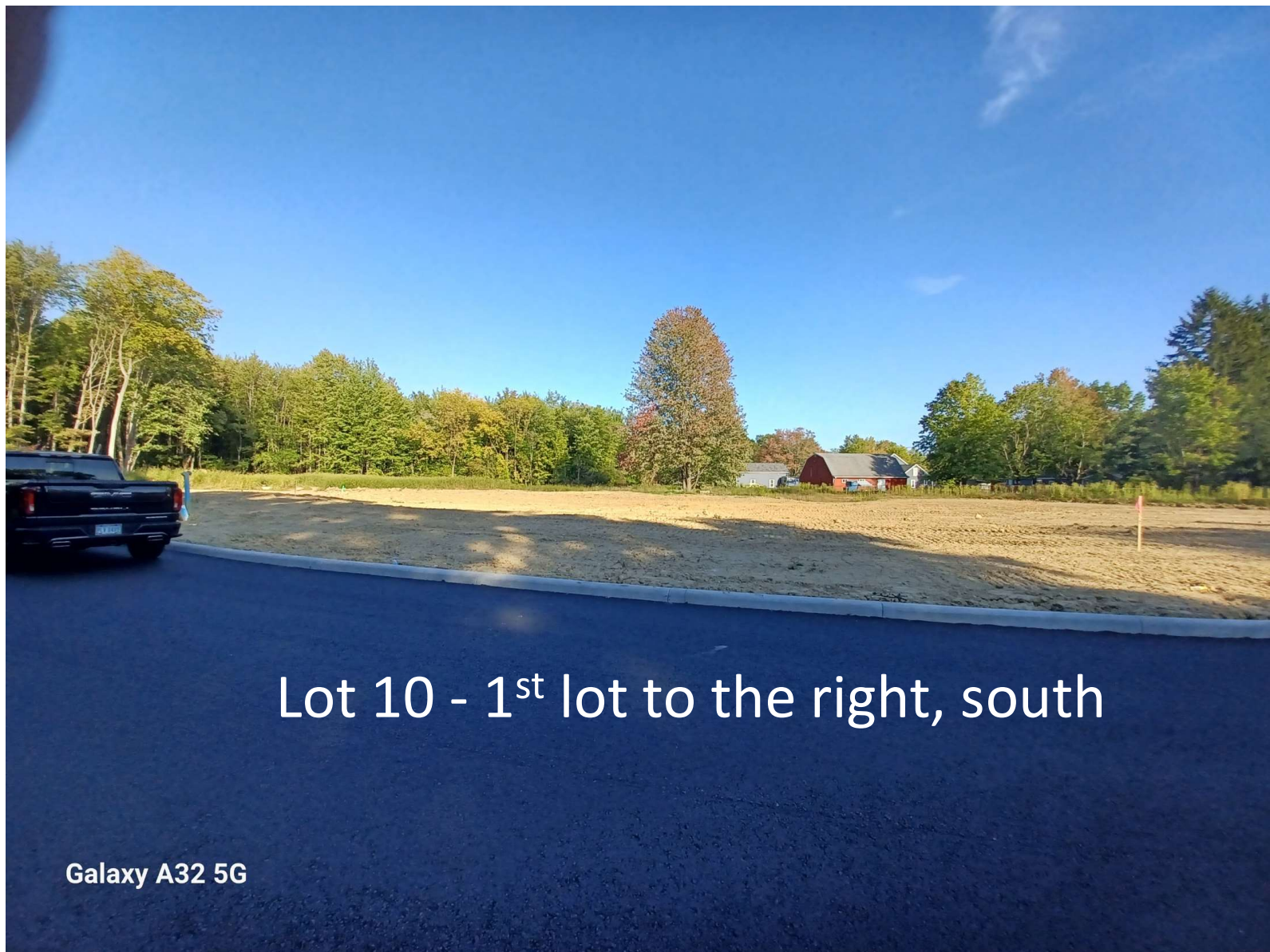
3010365

3010366

Norton Rd

Lot 9 - 5247 Preserve
Lane (Subject Lot)

Galaxy A32 5G



Lot 10 - 1st lot to the right, south

Galaxy A32 5G



Lot 11 – 2nd lot to the right, south

Galaxy A32 5G



Galaxy A32 5G

Lot 8 - 5259 Preserve Lane,
1st lot to the left, north



Lot 7 – 5272 Preserve Lane,
2nd lot to the left, northwest

Galaxy A32 5G

Mullet



Lot 6 – 3rd lot to the left,
across the street, west

Galaxy A32 5G







Lot 3 – 5224 Preserve Lane,
across the street, southwest

Galaxy A32 5G