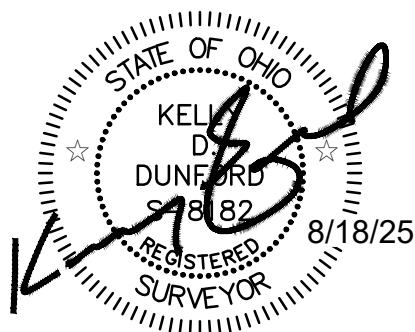




REVISIONS:

1.)

LEGEND

- 998 - Ex. Contour
- 1002 - PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- TREE TO BE REMOVED
- PR. CONC. WASHOUT PIT, CONST. ENTRANCE & SILT FENCE
- PR. DRAINAGE DIRECTION/SWALE
- PR. WELL
- PR. DOWNSPOUT
- Ex. Utility Pole & Pedestals
- Ex. Mailbox
- Ex. San./Stm. MH.
- Ex. Stm. Inlet/Basins & Downspout Location
- Ex. Gas Valve & Shutoff
- Ex. Hyd., Valve/ Shutoff & Well
- Iron Pin Set
- Rebar or Iron Rod/Pin Fnd.
- Iron Pipe Fnd.
- Mon. Fnd.

C11.1:
A=18.96'
R=230.00'
D=4°43'19"
CB=N 01°59'21" E
CH=18.95'
T=9.48'

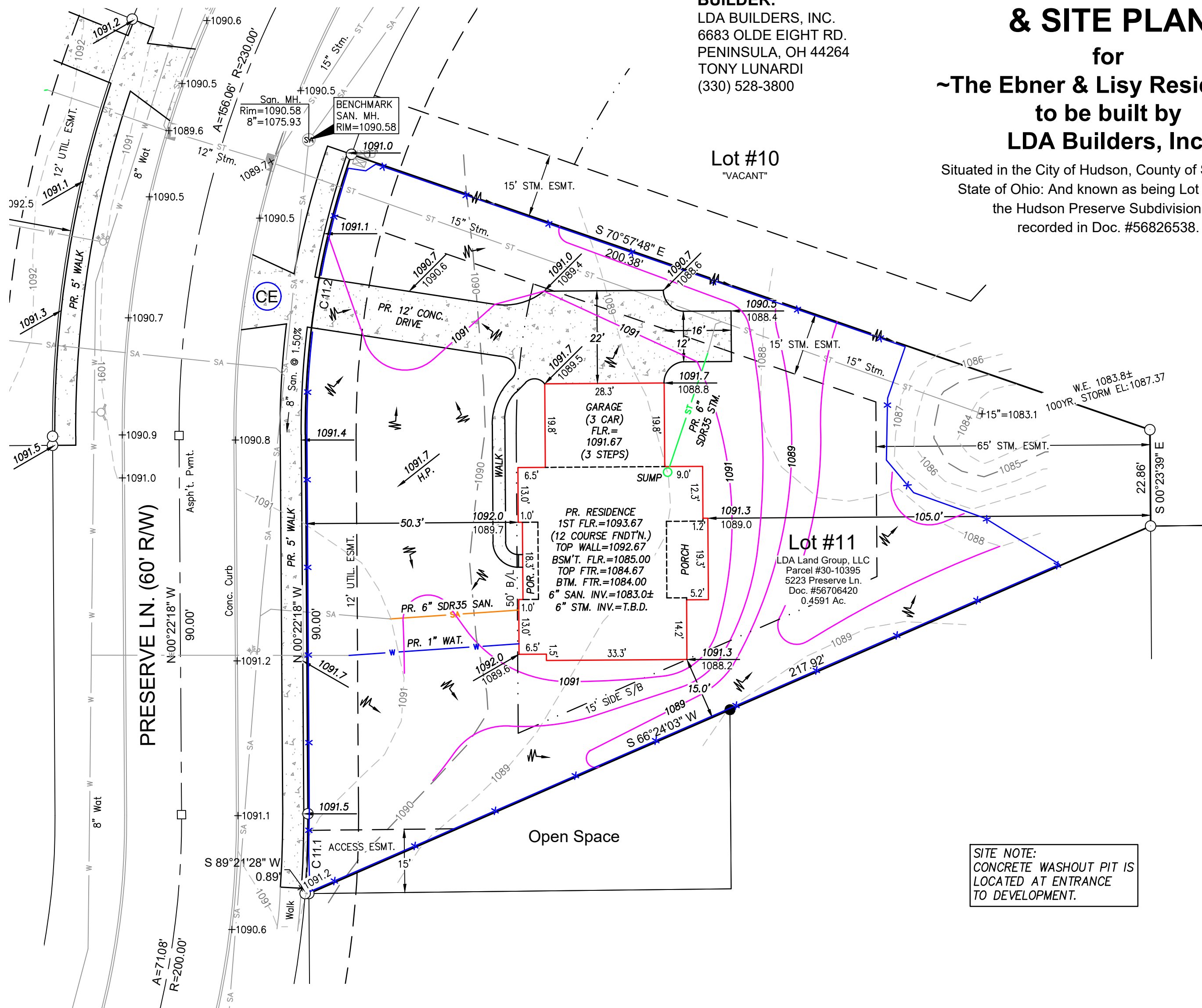
C11.2:
A=67.75'
R=200.00'
D=19°24'30"
CB=N 09°19'57" E
CH=67.42'
T=34.20'



SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS



BUILDER:
LDA BUILDERS, INC.
6683 OLDE EIGHT RD.
PENINSULA, OH 44264
TONY LUNARDI
(330) 528-3800

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Ebner & Lisy Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and
State of Ohio: And known as being Lot No. 11 in
the Hudson Preserve Subdivision, as
recorded in Doc. #56826538.

Lot #11
LDA Land Group, LLC
Parcel #30-10395
5223 Preserve Ln.
Doc. #56706420
0.4591 Ac.

SITE NOTE:
CONCRETE WASHOUT PIT IS
LOCATED AT ENTRANCE
TO DEVELOPMENT.

CONSTRUCTION NOTES:

- Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
- Silt fence must surround all excavation areas so that no silt escapes site.
- A construction entrance shall be constructed in the same location as the permanent drive, consisting of #1&2 aggregate and be a minimum of 70 feet long.
- All grades shall comply w/corresponding government office.
- Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
- Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
- All sewer connections must maintain a minimum slope of 1%.
- Footer drain & downspouts are to be tied into the storm drain. Refer to house plans for downspout locations.
- A foundation sump pump is required unless otherwise determined by contractor.
- The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



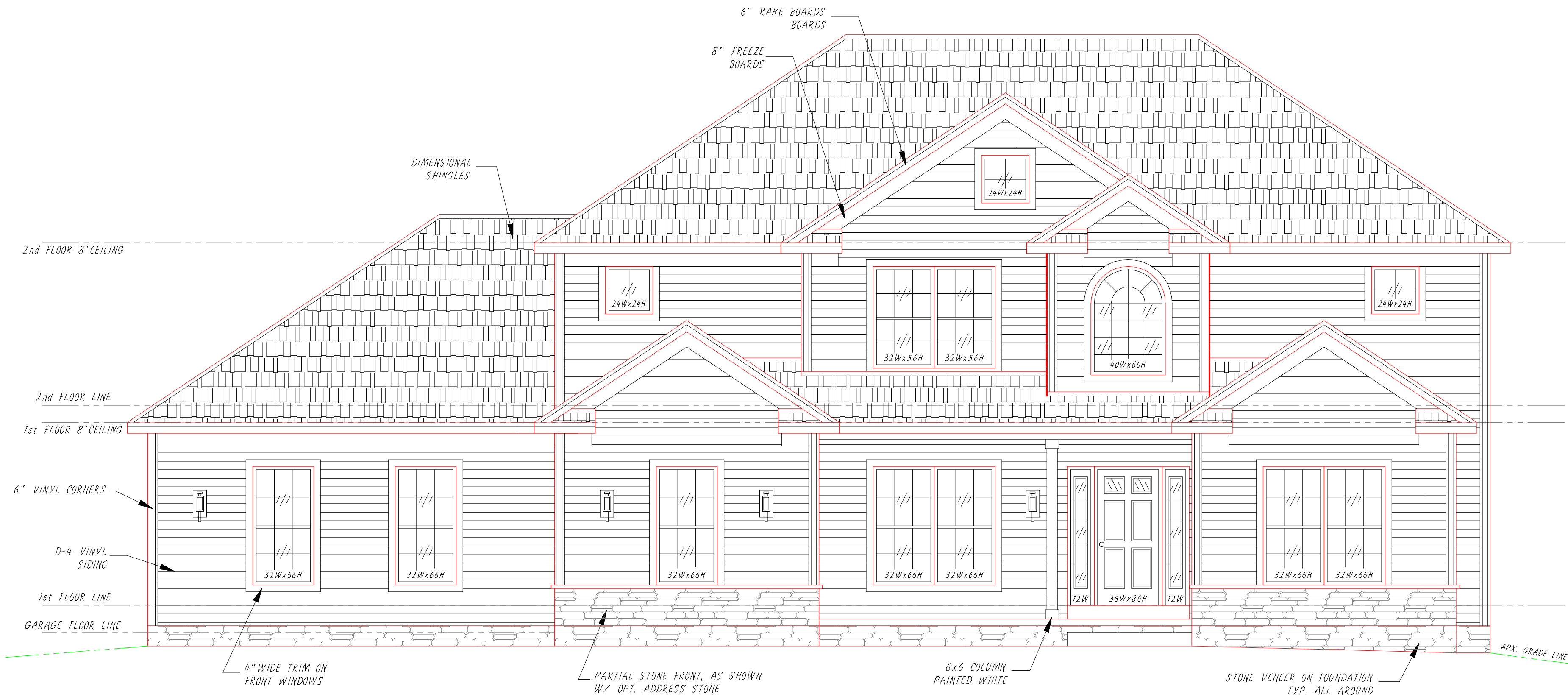
Know what's below.
Call before you dig.

SURVEYED BY:

**APEX LAND
SURVEYING**

KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

PROJ: 2020163

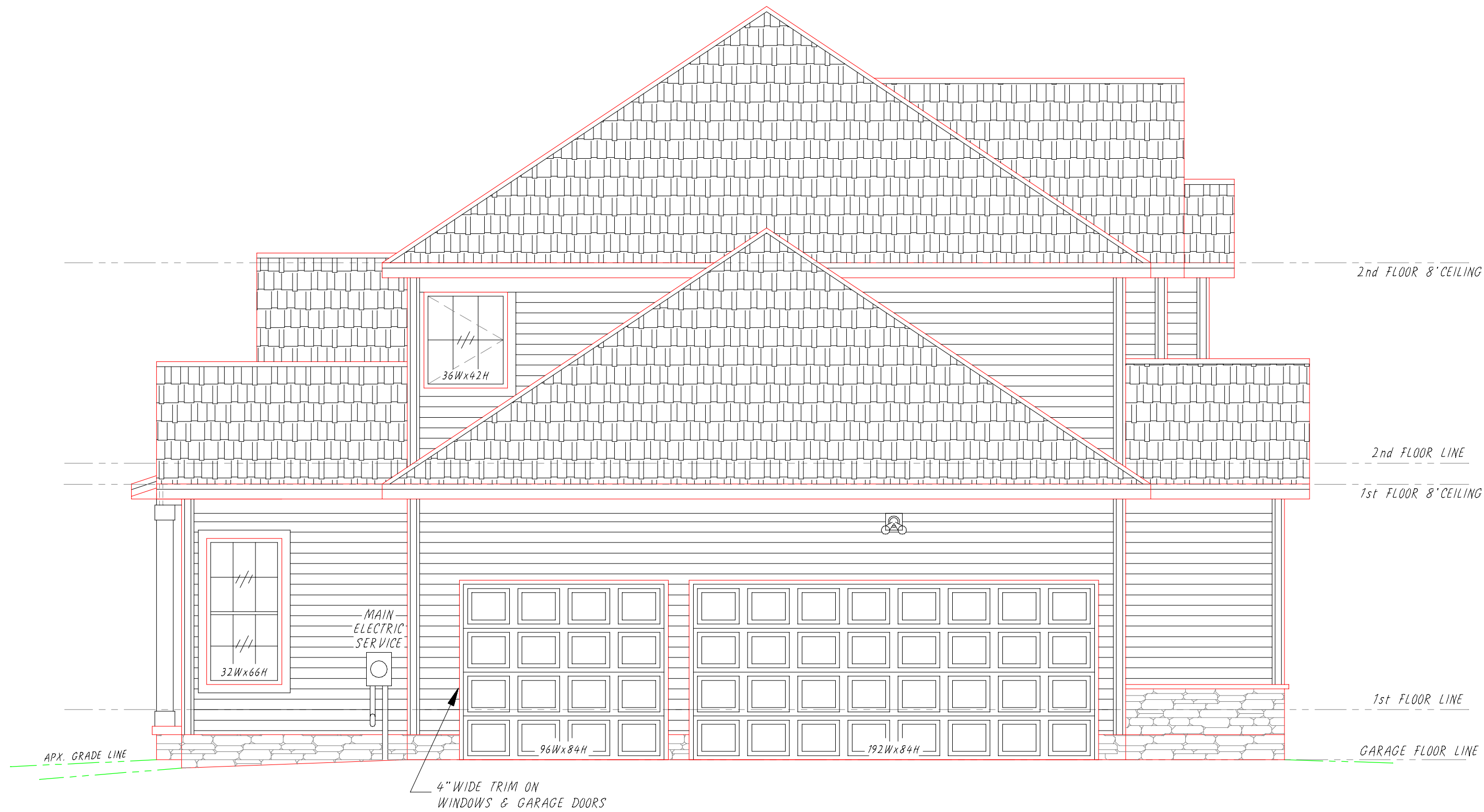


Front Elevation (S/L 11 - 5223 Preserve Lane)

PARCIE #30-10395
S/L 11 - 5223 Preserve Lane, Hudson, Ohio 44236
Lot Size - 176.71' Frontage x 217.92' Deep on the right, .4591 acres
Overall House Size - 66'Wx45'D, 2530 sq ft on lot
2800 Sq ft Living Area,
(1695 Sq ft on First floor & 1105 Sq ft on Second floor)
1695 Sq ft Basement and 573 Sq ft of Garage

HIP011

CUSTOMER	Scott Eloner & Samantha Lisý		
	LIDA BUILDERS INCORPORATED Boston Hts., Ohio U.S.A. * Phone/Fax Cleveland (330) 528-3800 * Akron (330) 342-4240 TITLE: SILVERLAKE II, modified 2 STORY (2790 sq.ft.) NO. 25-HPO11-10		
SCALE	.25" = 1'	DATE	07/12/25
DATE	07/12/25	BY	
DRN	/Z	REVISIONS	
AP'VD		DATE	



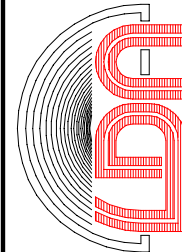
Left Side Elevation

CUSTOMER
Scott Eloner &
Samantha Lisy

SCALE .25" = 1'
DATE 07/12/25
DRN ZL
AP'VD

REVISIONS

BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleve(330) 528-3800 * Akron(330) 342-4240
TITLE SILVERLAKE II, modified 2 STORY (2790 sq.ft.) NO. 25-HP011-11
LEFT SIDE ELEVATION



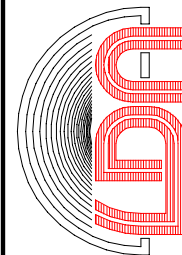
Rear Elevation

CUSTOMER
Scott Eloner &
Samantha Lisy

SCALE .25" = 1'
DATE 07/12/25
DRN ZL
AP'VD

REVISIONS

BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleve(330) 528-3800 • Akron(330) 342-4240
TITLE SILVERLAKE II, modified 2 STORY (2790 sq.ft.) NO. 25-HP011-12
REAR ELEVATION



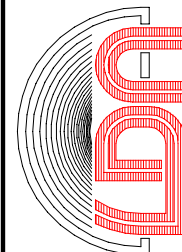
Right Side Elevation

CUSTOMER
Scott Eloner &
Samantha Lisy

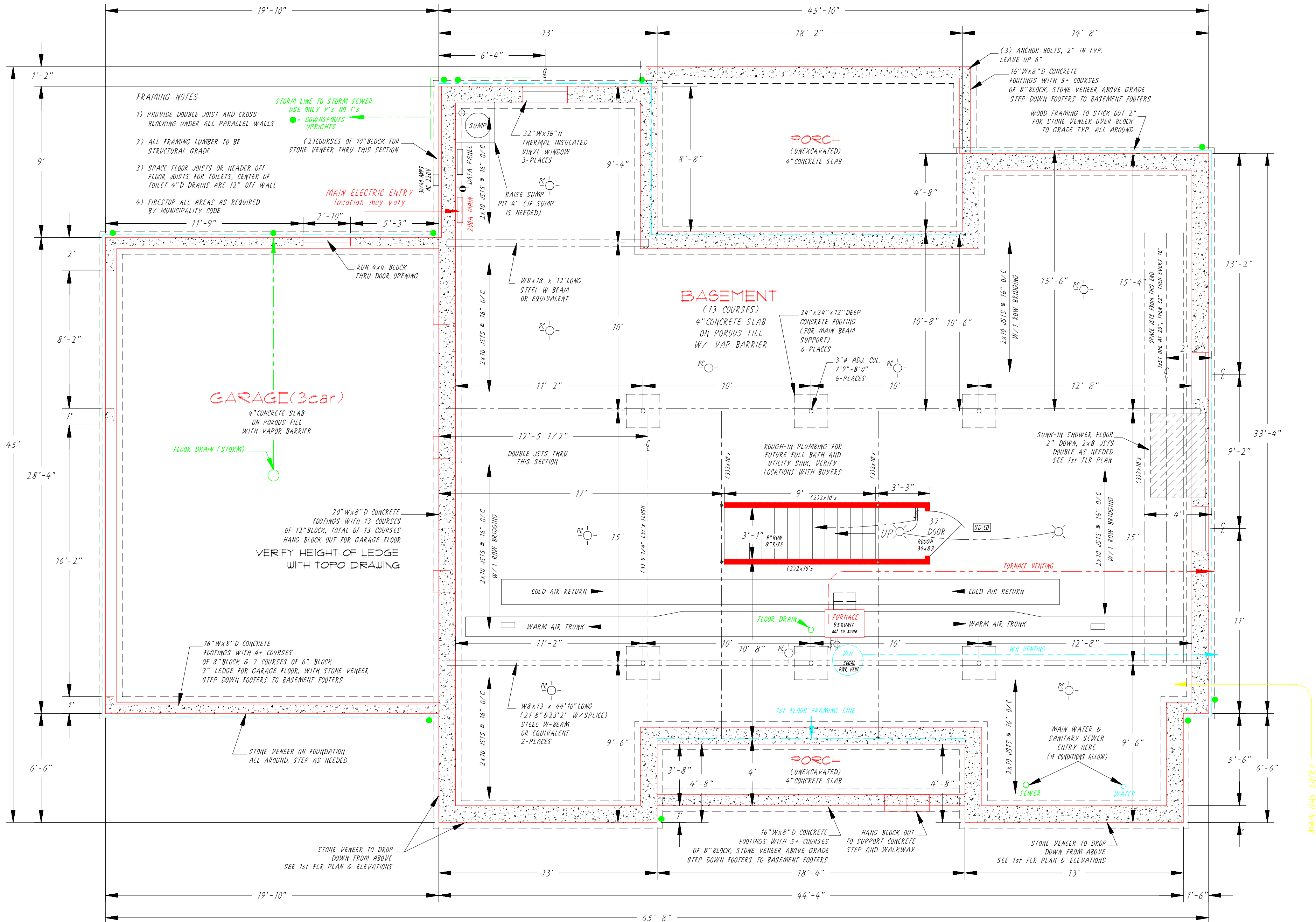
SCALE .25" = 1'
DATE 07/12/25
DRN Z CK'D
AP'VD

REVISIONS

BY DATE



ILDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleveland (330) 528-3800 * Akron (330) 342-4240
TITLE SILVERLAKE II, modified 2 STORY (2790 sq.ft.) NO. 25-HP011-13
RIGHT SIDE ELEVATION



FRAMING NOTES

- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
- 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
- 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4" D DRAINS ARE 12" OFF WALL
- 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE

STORM LINE TO STORM SEWER
USE ONLY V's NO T's
● DOWNSPOUTS UPRIGHTS

MAIN ELECTRIC ENTRY
location may vary

GARAGE (3 car)

FLOOR DRAIN (STORM)

BASEMENT

PORCH
(UNEXCAVATED)
4" CONCRETE SLAB

24"x24"x12" DEEP
CONCRETE FOOTING
(FOR MAIN BEAM
SUPPORT)
6-PLACES

3" Ø ADJ. COL.
7'9"-8'0"
6-PLACES

ROUGH-IN PLUMBING FOR
FUTURE FULL BATH AND
UTILITY SINK, VERIFY
LOCATIONS WITH BUYERS

SUNK-IN SHOWER FLOOR
2" DOWN, 2x8 JS
DOUBLE AS NEEDED
SEE 1st FLR PLAN

FURNACE VENTING

FURNACE
95% UNIT
not to scale

FLOOR DRAIN

WH
SIGNAL
PWR VENT

1st FLOOR FRAMING LINE

PORCH
(UNEXCAVATED)
4" CONCRETE SLAB

MAIN WATER &
SANITARY SEWER
ENTRY HERE
(IF CONDITIONS ALLOW)

SEWER

WATER

MAIN GAS ENTRY

MASONRY NOTES

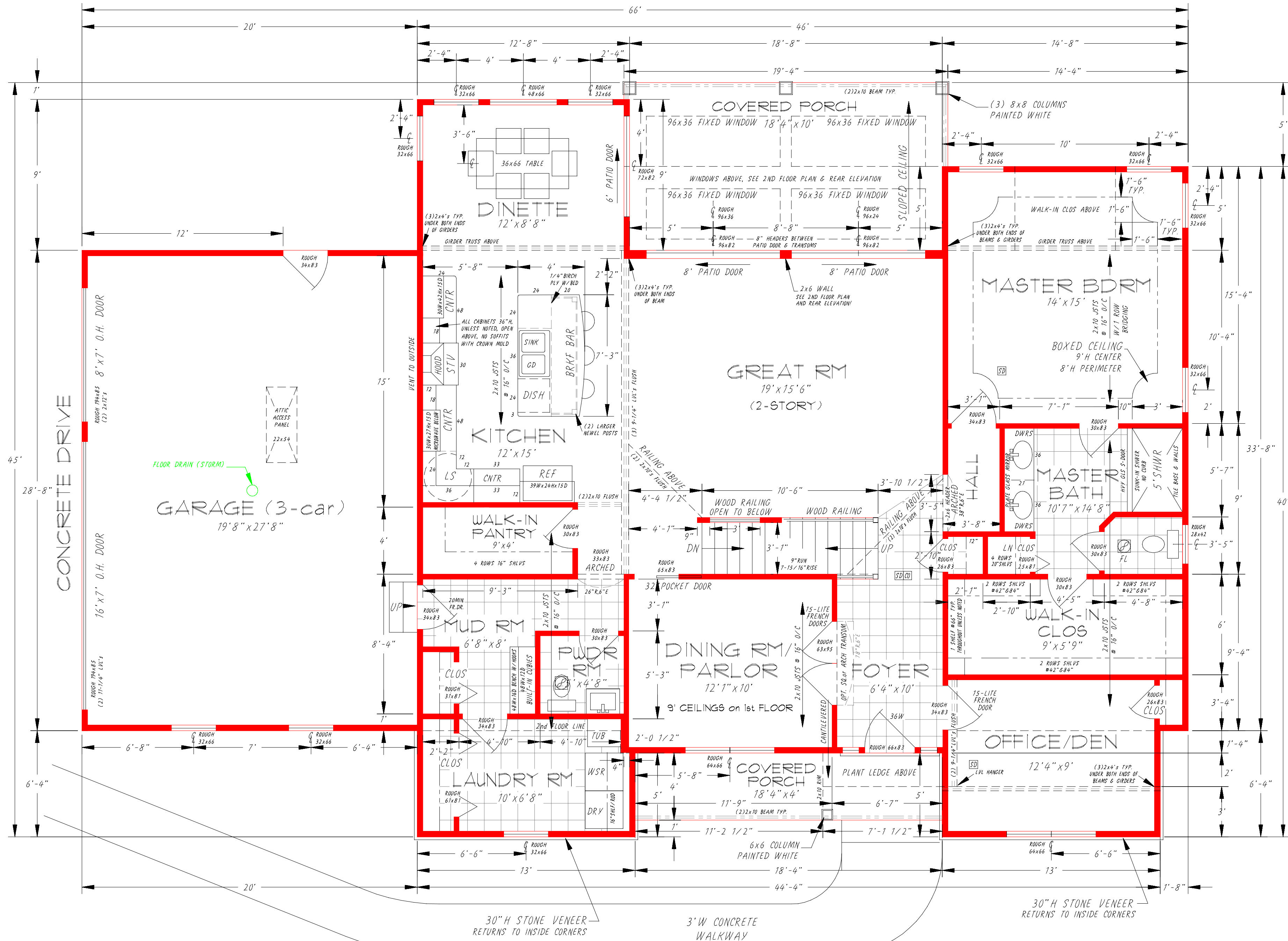
- 1) STEP DOWN FOOTINGS WHERE SLAB MEETS BASEMENT FOR DIRECT BEARING
- 2) FILL ALL VOIDS IN MASONRY WALLS PRIOR TO DAMP/WATERPROOFING
- 3) SEE ELEVATION DRAWINGS & TOPO FOR GARAGE FLOOR LEDGE & STEPPING OF BRICK/STONE VENEER

Foundation
Front of House

ILIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
TITLE: SILVERLAKE II, modified 2 STORY (2790 sq.ft.)
NO. 25-HP011-22
FOUNDATION PLAN

SCALE	DATE	BY	DATE	REVISIONS	APPROVED
1/8" = 1'	07/12/25				
DRN	7/2				
APVD					

Scott Eloner &
Samantha Lisy



Floor Plan (1st Floor)
Front of House

LDIA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland (330) 528-3800 • Akron (330) 342-4240
No.

DATE
BY
REVISIONS
SCALE
DATE
DRN
AP'VD

07/12/25
/Z
08/16/25
7L

CUSTOMER
Scott Eloner &
Samantha Lisy

TITLE
SILVERLAKE II, modified 2 STORY (2790 sq.ft.)
FLOOR PLAN (1st Floor)

25-HP011-23

2) CHANGES PER BUYER REQUEST

ELECTRICAL NOTES

ALL ELECTRICAL WIRING TO BE INSTALLED PER N.E.C. & LOCAL CODES

- SINGLE POLE SWITCH
- 3 WAY SWITCH
- 4 WAY SWITCH
- SINGLE OUTLET
- DUPLEX OUTLET
- HALF SWITCHED DUPLEX OUTLET
- GFI OUTLET
- WEATHERPROOF GFI OUTLET
- FLOOR OUTLET
- 220V OUTLET

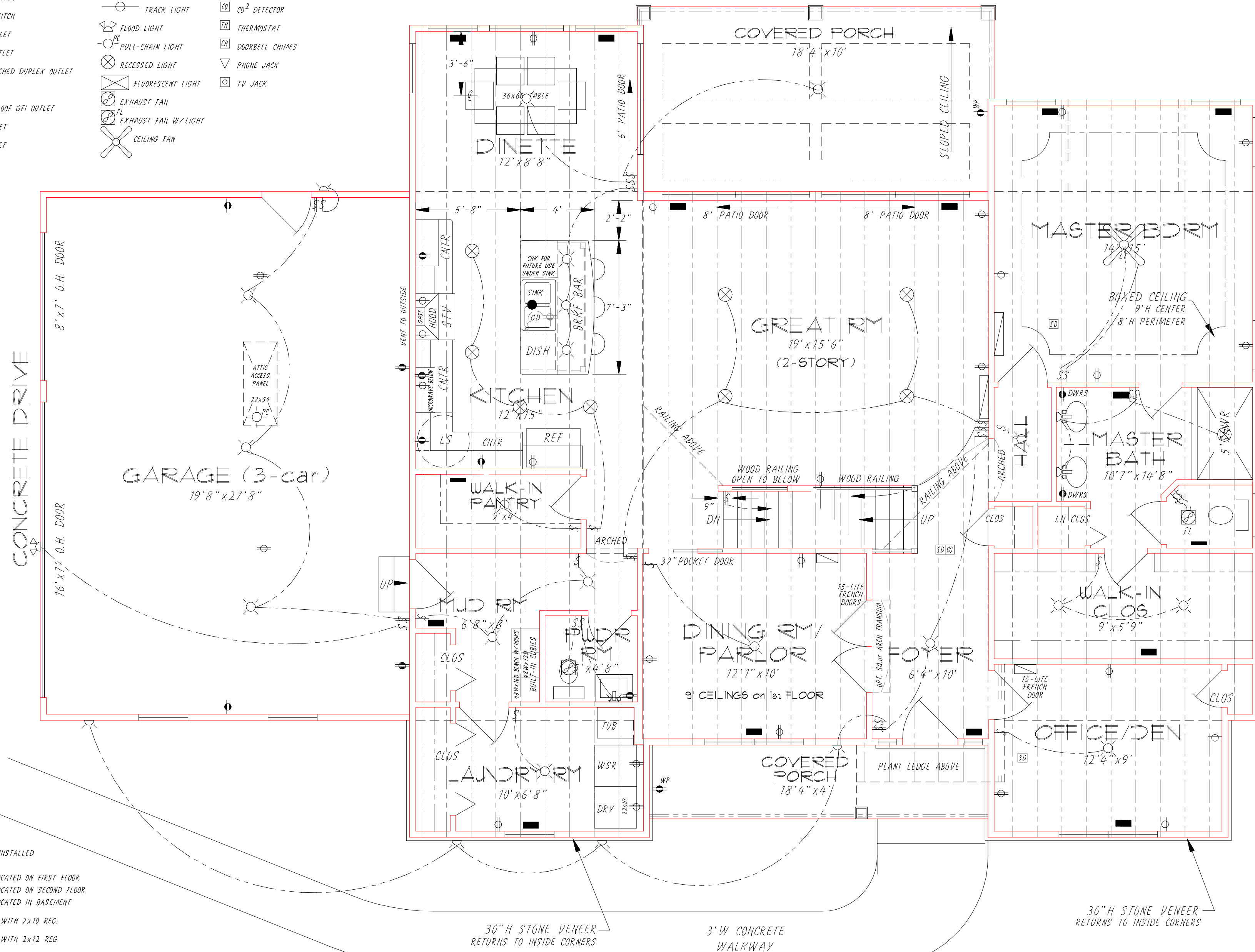
- AC 220V AC DISCONNECT 40 AMPS
- CEILING LIGHT
- WALL LIGHT
- TRACK LIGHT
- FLOOD LIGHT
- PULL-CHAIN LIGHT
- RECESSED LIGHT
- FLUORESCENT LIGHT
- EXHAUST FAN
- FL EXHAUST FAN W/LIGHT
- CEILING FAN

- LT CEILING FAN W/LIGHT
- SD SMOKE DETECTOR (IONIZATION & PHOTO-ELECTRIC ACTIVATED)
- CO² DETECTOR
- TH THERMOSTAT
- CH DOORBELL CHIMES
- PHONE JACK
- TV JACK

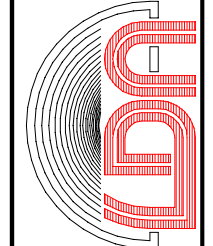
HVAC NOTES

ALL HVAC TO BE INSTALLED PER LOCAL CODES

- SUPPLY LOCATED ON FIRST FLOOR
- SUPPLY LOCATED ON SECOND FLOOR
- SUPPLY LOCATED IN BASEMENT
- 4" RND DUCT WITH 2x10 REG.
- 6" RND DUCT WITH 2x12 REG.
- 6" RND DUCT WITH 4x10 REG.
- 7" RND DUCT WITH 4x12 REG.
- 6" RND DUCT WITH 2x12 TOE KICK REG.
- 4x10 REG. LOCATED IN DUCT
- RETURN AIR ONE JOIST SPACE
- RETURN AIR TWO JOIST SPACES



Floor Plan (1st Floor)
Front of House

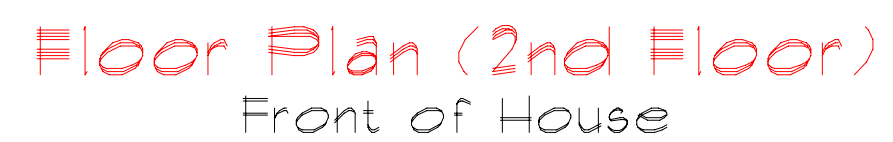


LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax Cleveland(330) 528-3800 • Akron(330) 342-4240
NO.
TITLE
SYLVERLAKE II, modified 2 STORY (2790 sq.ft.)
25-HP011-23
ELEC & HVAC LAYOUT
FLOOR PLAN (1st Floor)

SCALE	REVISIONS	BY	DATE
1/8" = 1'			
DATE			
DRN			
AP'VD			

CUSTOMER
Scott Eloner &
Samantha Lisy

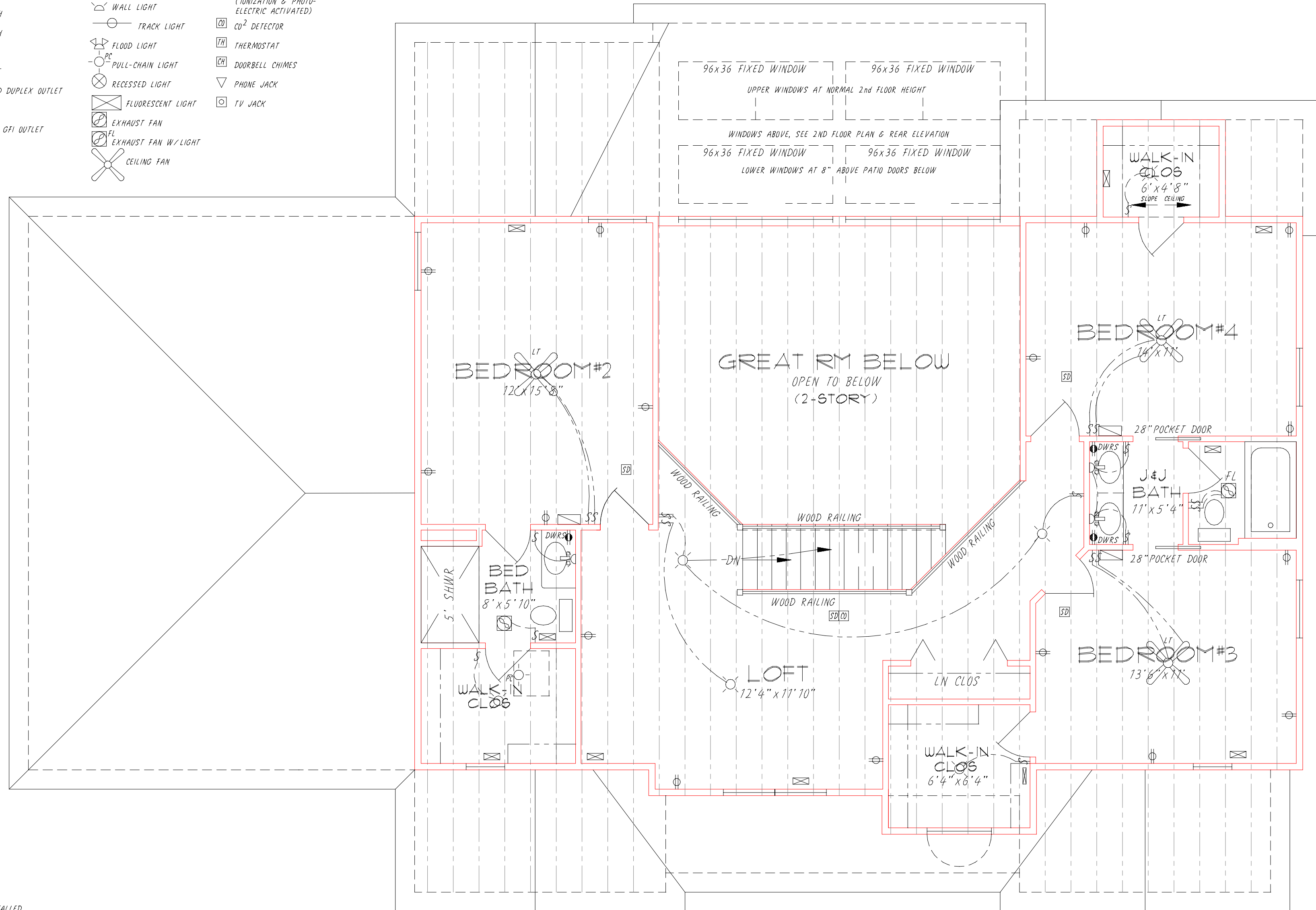
1) CHANGES PER BUYER REQUEST



00 * Akron(330) 342-42
No. 25-HP011-24

ALL ELECTRICAL WIRING TO BE INSTALLED
PER N.E.C. & LOCAL CODES

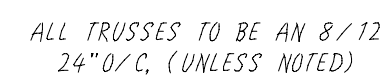
-  CEILING FAN W/LIGHT
 SMOKE DETECTOR
 (IONIZATION & PHOTO-ELECTRIC ACTIVATED)
 CO² DETECTOR
 THERMOSTAT
 DOORBELL CHIMES
 PHONE JACK
 TV JACK

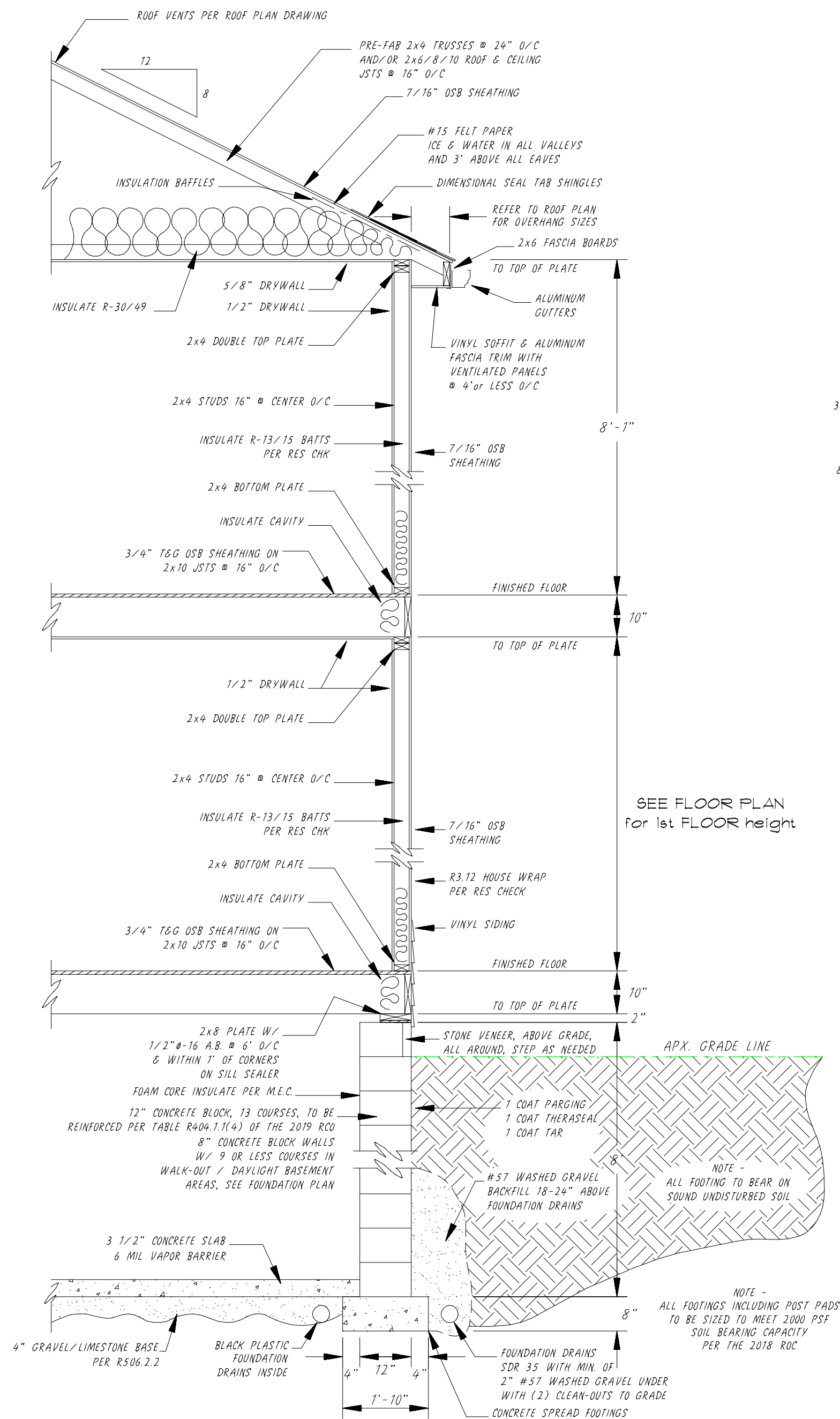


ALL HVAC TO BE INSTALLED
PER LOCAL CODES

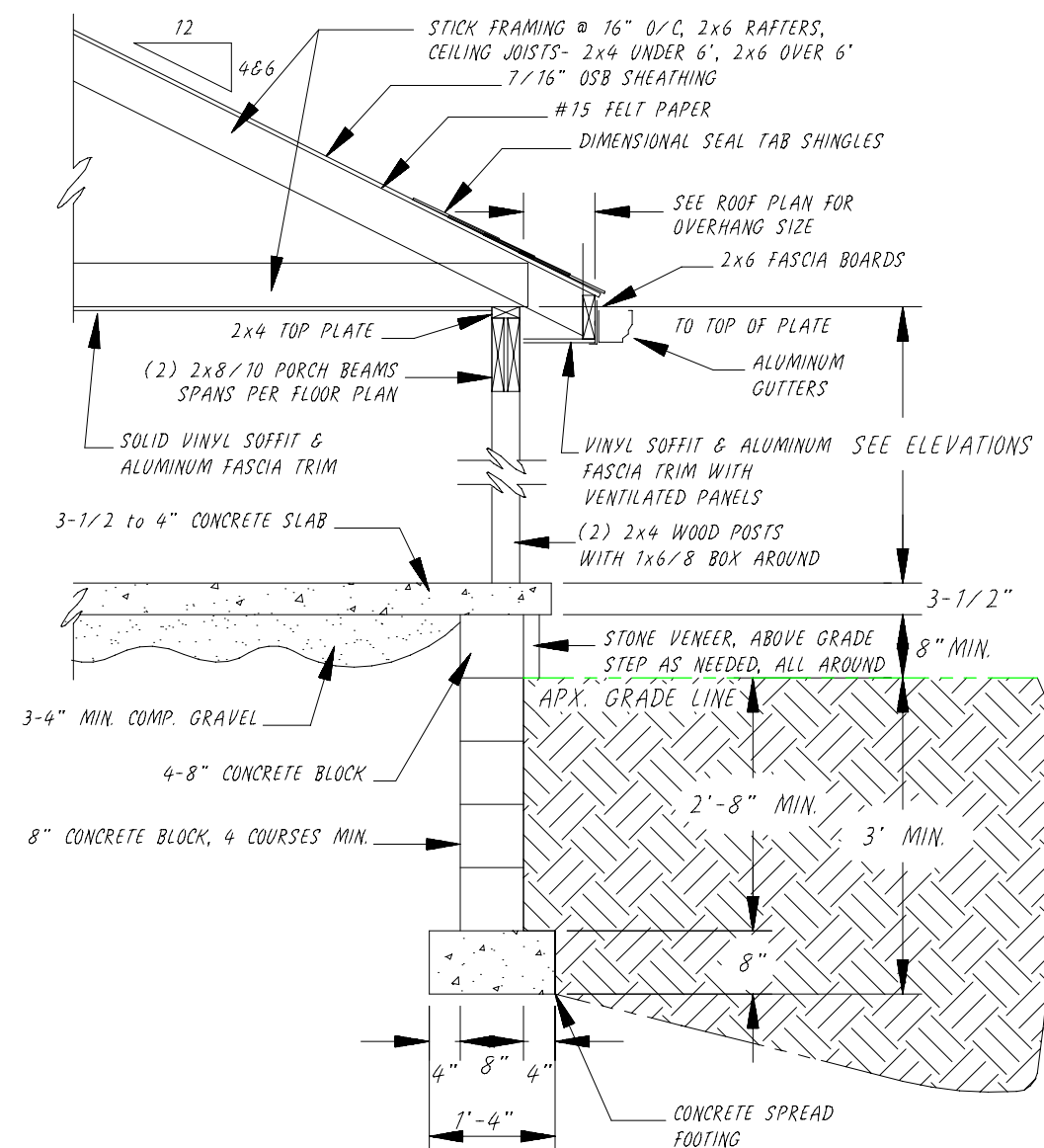
-  - SUPPLY LOCATED ON FIRST FLOOR
-  - SUPPLY LOCATED ON SECOND FLOOR
-  - SUPPLY LOCATED ON BASEMENT
-  4" RND DUCT WITH 2x10 REG.
-  6" RND DUCT WITH 2x12 REG.
-  6" RND DUCT WITH 4x10 REG.
-  7" RND DUCT WITH 4x12 REG.
-  6" RND DUCT WITH 2x12 TUE KICK REG.
-  = 4X10 REG. LOCATED IN DUCT
-  = RETURN AIR ONE JOIST SPACE
-  = RETURN AIR TWO JOIST SPACES

Floor Plan (2nd Floor)
Front of House

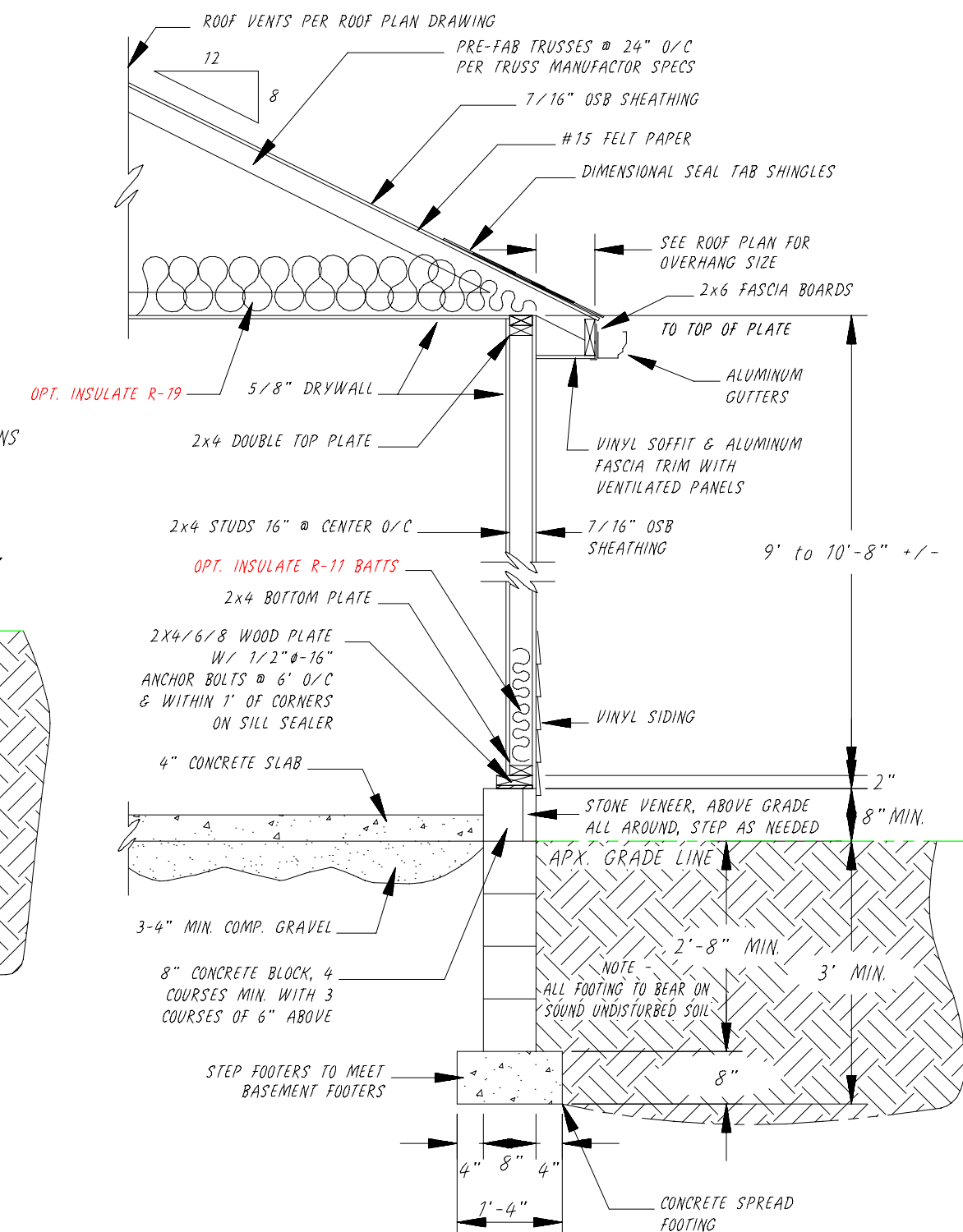




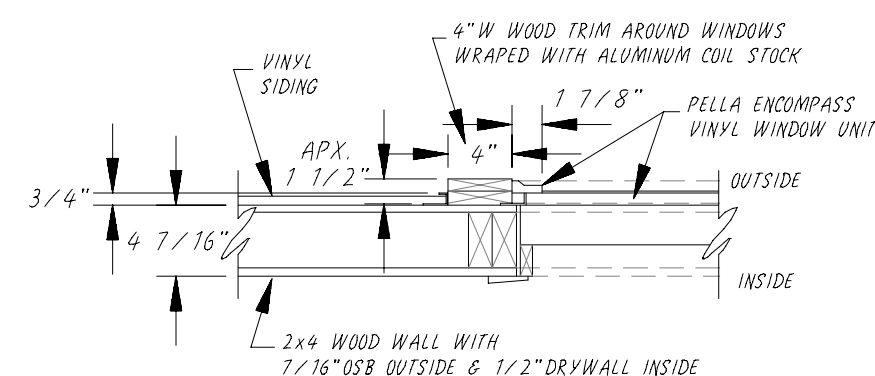
Main House Wall Cross Section View



Typical Porch Cross Section View



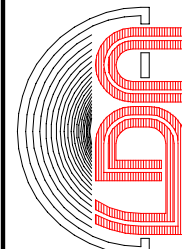
Garage Wall Cross Section View



Typical Window Section View
(Scale 1" = 1')

CONSTRUCTION NOTES (2019 CODE)

- 1) ALL ROOF PITCHES TO BE AN 8/12 SIDE TO SIDE & AN 8/12 FRONT TO BACK, UNLESS NOTED, INCLUDING GARAGES, PORCHES AND CANTILEVERS
- 2) ALL PARALLEL WALLS TO HAVE DOUBLE JOISTS AND CROSS BLOCKING UNDER THEM
- 3) GARAGE WALLS, BETWEEN GARAGE & HOUSE, AND GARAGE CEILING TO HAVE 5/8" FIRECODE DRYWALL
- 4) BLOCK WALLS TO BE REINFORCED PER TABLE R404.1.1(4) OF THE 2019 RCO AND HAVE HORIZONTAL DURAWALL EVERY APX. 3 COURSES
- 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S WITH 7/16" OSB CENTER, OR LARGER AS INDICATED ON FLOOR PLANS
- 6) ALL ROOF STICK FRAMING & OVERBUILDS TO BE A MIN. OF 2x6 FOR SPANS UNDER 14', A MIN. OF 2x8 FOR SPANS 14' TO 18', AND INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS AND 2x4 COLLAR TIES
- 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION R802.10.5 OF THE 2019 RCO
- 8) ALL DEAD AND LIVE LOADS TO BE PER THE 2018 RCO, AND MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS TO BE PER TABLE R301.5
- 9) THE MAIN DOOR BETWEEN THE HOUSE AND GARAGE IS TO COMPLY WITH SECTION R309.1 OF THE 2019 RCO.



DATE	BY	REVISIONS
07/12/25		
DATE	BY	REVISIONS
07/12/25		
DATE	BY	REVISIONS
07/12/25		

CUSTOMER
Scott Eloner & Samantha Lisý

LIDA BUILDERS INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clev(330) 528-3800 * Akron(330) 342-4240
NO.
TITLE
SYLVERLAKE II, modified 2 STORY (2790 sq.ft.)
25-HP011-29
CROSS SECTION VIEW & DETAILS

Lot 11– 5223 Preserve Lane
(Subject Lot)

Galaxy A32 5G



Lot 10 – 1st lot to the left, north

Galaxy A32 5G



Lot 9 - 5247 Preserve Lane,
2nd lot to the left, north

Galaxy A32 5G



Lot 8 - 5259 Preserve Lane,
3rd lot to the left, north

Galaxy A32 5G



Lot 3 – 5224 across the street, west

Galaxy A32 5G

A photograph showing a residential lot across a street. The lot is mostly bare earth with some sparse vegetation. It is surrounded by mature trees with green and some yellowing leaves, suggesting autumn. The sky is clear blue with a few wispy clouds. The sun is visible in the upper left, creating a lens flare. In the foreground, there is a dark asphalt road with shadows from trees off-camera. On the right side of the lot, there is a stack of white materials, possibly lumber or siding.

Lot 2 – across the street, southwest

Galaxy A32 5G



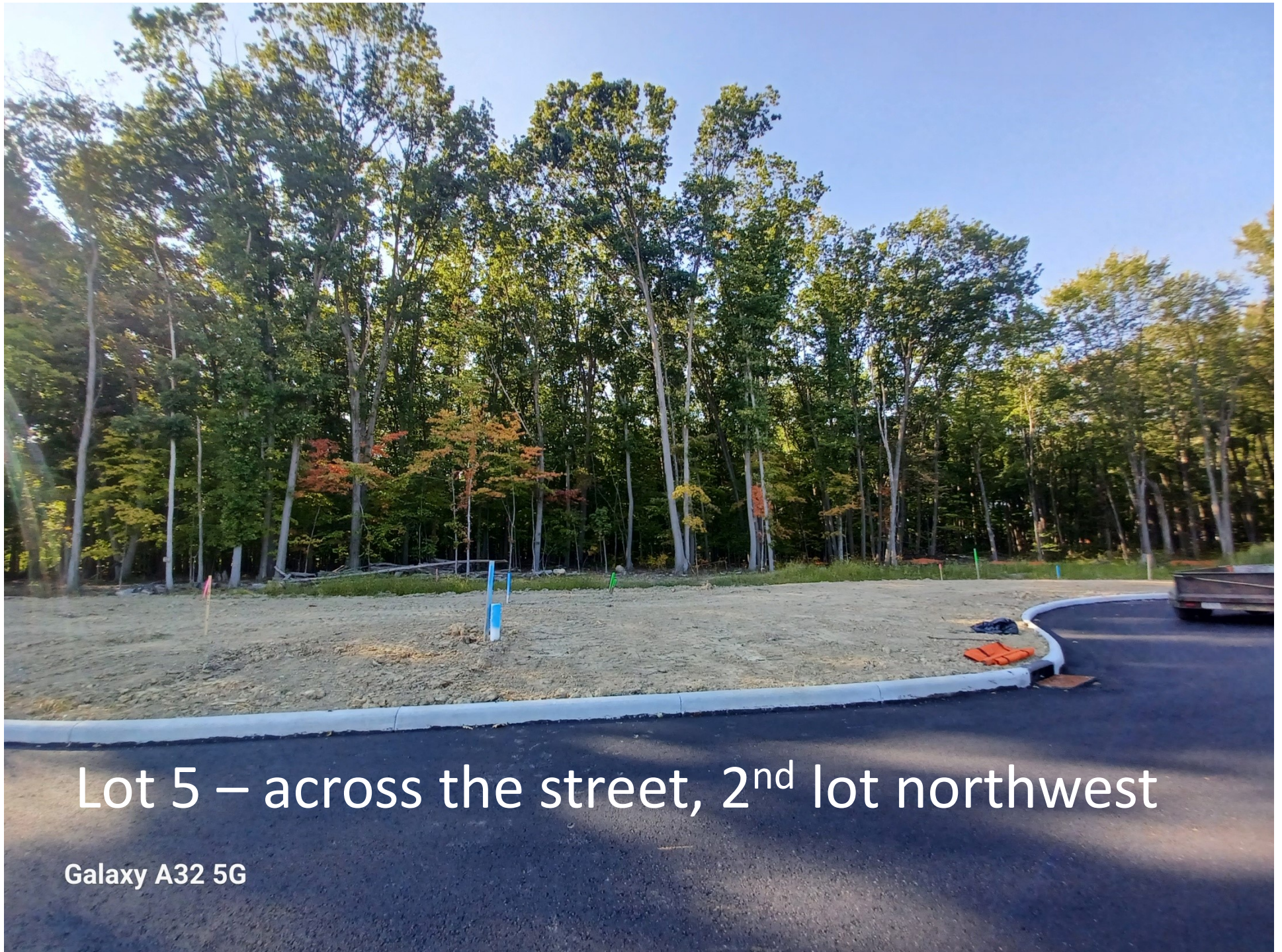
Lot 1 – across the street, 2nd lot southwest

Galaxy A32 5G



Lot 4 – across the street, northwest

Galaxy A32 5G



Lot 5 – across the street, 2nd lot northwest

Galaxy A32 5G



LOT 6
3010390

LOT 7
3010391

S260

S272

3001987

LOT 5
3010389

3002980

S248

3001674

300

LOT 4
3010388

S236

LOT 8
3010392

S259

LOT 3
3010387

S224

LOT 9
3010393

S247

LOT 10
3010394

S235

LOT 2
3010386

S210

PRESERVE LANE

LOT 11
3010395

S223

76

3002979

LOT 1
3010385

1861

3010365

3002143

1887

3010366

Norton Rd

NORTON RD

AKE DR

Norton Rd

5617559

REGIONAL INCOME TAX AGENCY

CITY OF HUDSON
MUNICIPAL INCOME TAX

REGISTRATION OF CONTRACTORS

PROPERTY ADDRESS: 5223 Preserve Lane, Hudson, OHDATE: 8/10/25

APPLICATION #:

AMT. OF CONTRACT: 387,079

ZONING PERMIT #:

CONTRACTOR NAME: LDA Builders, IncADDRESS: 6683 Olden Rd.CITY: Bowling, OH 44204 PHONE: (330) 528-3800FED. I.D. # OR S.S. #: 34-1760118

TYPE	SUB- CONTRACTORS	ADDRESS	SOCIAL SECURITY # OR FED. TAX I.D. #	CONTRACT AMOUNT	ESTIMATED WAGES
CARPENTRY	Mullet Construction	5183 Aurora Rd. Mechanicsburg, OH 44651	291-84-6583		
MASONRY	Dave Miller Masonry	473 Stratford Rd. Delaware, OH 45013			
EXCAVATION	Bontrager	11087 Cleveland Ave. N.W. Uniontown, OH	20-356 0639		
SEPT. TANK/SEWER	NIA	NIA	NIA	NIA	NIA
HOT ROOFING	NIA	NIA	NIA	NIA	NIA
PLUMBING	Hershberger	15325 Georgia Rd. Middlefield, OH 44062	271-74-8270		
SHEET METAL	NIA	NIA	NIA	NIA	NIA
ELECTRICAL	Northern Ohio Electric	5457 Hartbeck Rd. Valley City, OH 44280	463620490		
REFRIGERATION	NIA	NIA	NIA	NIA	NIA
AIR CONDITION.	A New Image Heating & Cooling	4463 Renaissance Parkway Warrensville Hts., OH 44128	34-1681284		
WARM AIR HEAT.	Same as above				
STEAM VAPOR	NIA	NIA	NIA	NIA	NIA
HOT WATER	Hershberger	(Same as above plumbing)			
DRYWALL/PLAST.	Lenwood, Inc	P.O. Box 3160198 Strongsville, OH 44136	34-1521909		
DEMOLITION	NIA	NIA	NIA	NIA	NIA
LANDSCAPING	NIA	NIA	NIA	NIA	NIA
PAINTING/DÉCOR.	Viole He Painting	3946 Crestview Ave. Warren, OH 44484	278-70-0490		
OTHER	Dave Spellman	3156 Summit Rd. Ravenna, OH 44266	34-1906766		
TOTAL					



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

Residential Landscaping Requirements

To be completed at application for new house construction

The following information must be submitted at application for new residential construction. The Land Development Code requires the planting (or preservation) of up to three trees within the site limits of disturbance. The total number of trees required will be determined by a review of the approved site plan and noted as a condition on the zoning certificate.

I, Samantha Lisy accepts responsibility for the
Owner or Applicant (Please Type or Print)

planting of trees as noted within the conditions of the Zoning Certificate for the house construction at:

5223

Street # or S/L #

Preserve Lane

Street Name

as required by Land Development Code Section 1207.04(j)(1). Tree planting must be completed within **18 months** from the start of construction and **24 months** from the issuance of the Zoning Certificate.

SAM Lisy

Signature of Applicant or Owner

8/18/2005

Date

□ □ □ □

This tree planting responsibility is not transferable unless the City of Hudson receives the form below executed by the property owner or purchaser.

I, _____ accept the above stated responsibility for
Owner or Purchaser (Please Type or Print)

planting trees within the time period specified or otherwise approved by the City.

Signature of Owner or Purchaser

Date

FAILURE TO FULFILL THE REQUIREMENTS AS ENUMERATED HEREIN WILL RESULT IN CIVIL AND/OR CRIMINAL LIABILITY TO THE PERSON OR ENTITY SIGNING THIS ACKNOWLEDGEMENT PURSUANT TO THE MANDATES OF THE HUDSON LAND DEVELOPMENT CODE