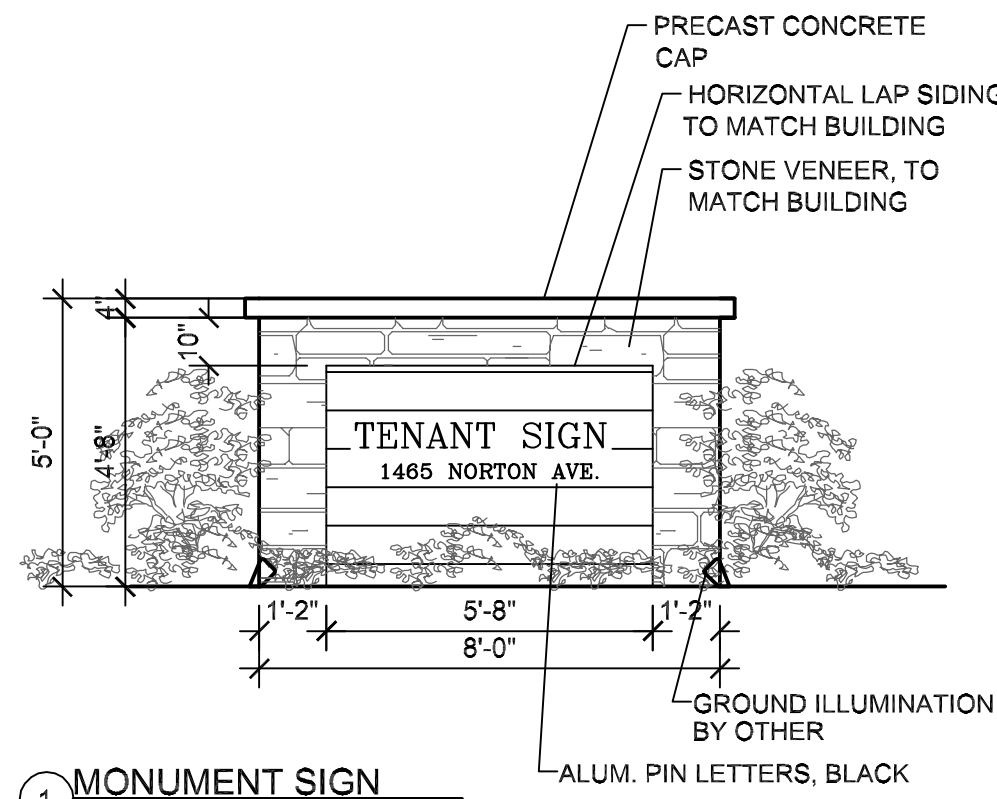
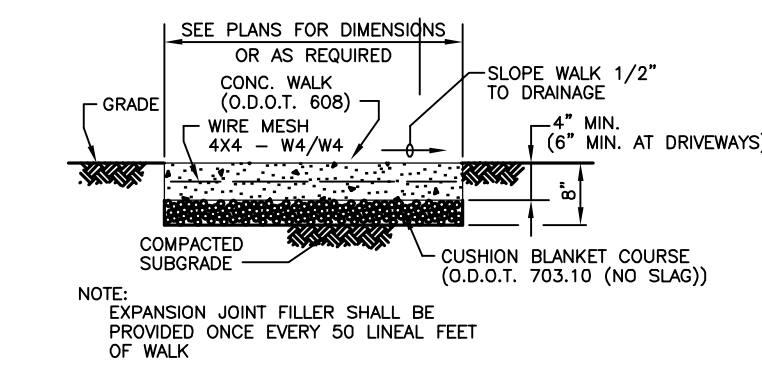


ZONING REGULATIONS

CITY OF HUDSON
EXISTING SITE ZONED: 9- DARROWVILLE ROAD COMMERCIAL CORRIDOR
SITE AREA: 2.1336 AC 92,939 SQ FT.
BUILDING AREA:
PROPOSED: 5,000 SQ FT.
PARKING AND SIDEWALK AREA: 13,806 SQ FT
20% TOTAL SITE COVERAGE
5% BUILDING COVERAGE
PERMITTED USE: PROFFESIONAL OFFICES
MIN LOT SIZE 1 ACRE
MIN LOT WIDTH: 200'
MAX FLOOR AREA: 50:1
MAX HEIGHT: 35'
BUILDING SETBACKS:
FRONT YARD SETBACK: 20'
SIDE YARD SETBACK: 10'-0"
REAR YARD SETBACK: 10'-0"
PARKING SPACES REQUIRED:
PARKING REQUIRED: 30 SPACES: 31 SPACES PROVIDED
PARKING SETBACKS:
FRONT YARD SETBACK: 20'
SIDE YARD SETBACK: 10'-0"
REAR YARD SETBACK: 50'-0"
2 WAY DRIVE: 18'-0" MIN.
PARKING STALL: 9'-0" X 23'-0" MIN.

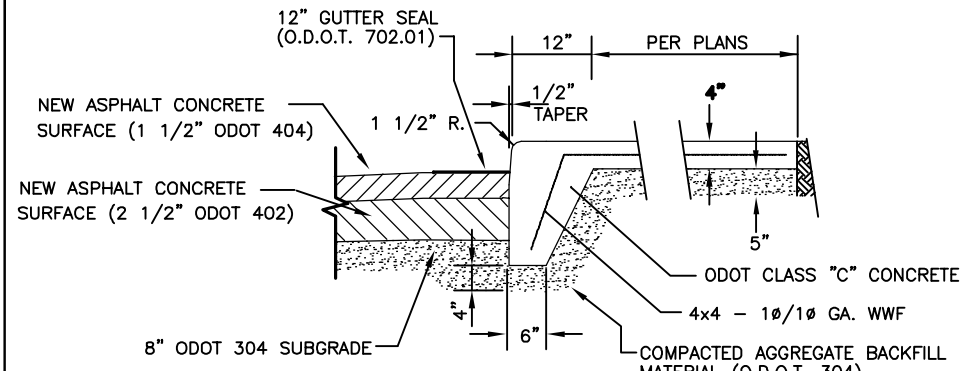


1 MONUMENT SIGN



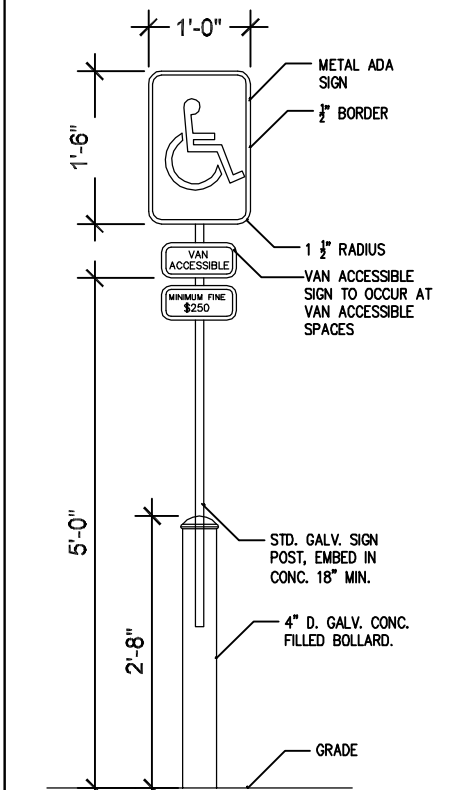
CONCRETE WALK DETAIL

NO SCALE



INTEGRAL CONCRETE CURB/WALK and ASPHALT PVT. DETAILS

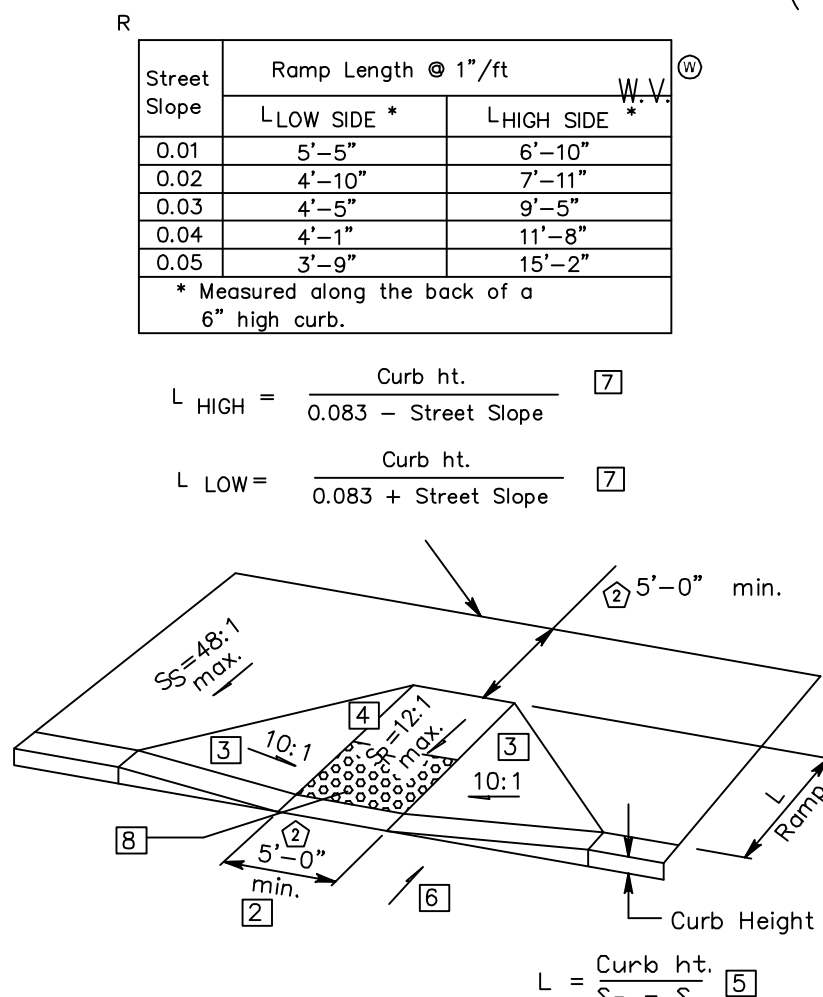
NO SCALE



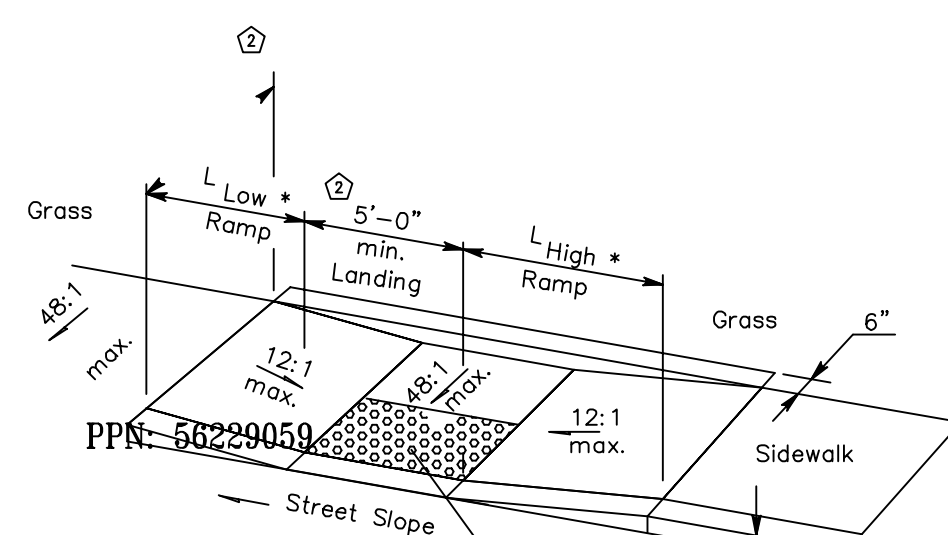
H.C. SIGN POST DETAIL

LEGEND

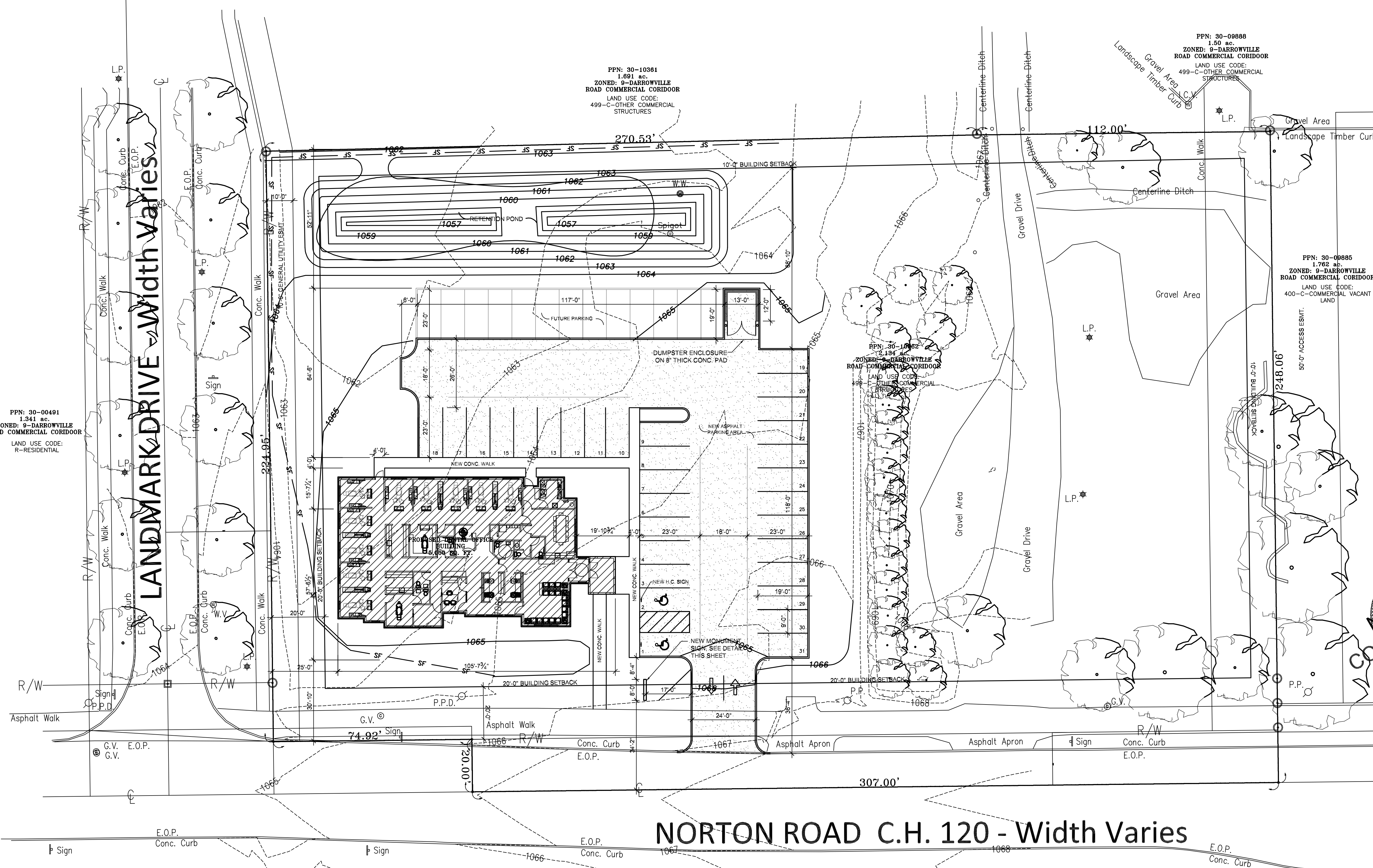
- May be reduced to 3'-0" in existing sidewalks if the landing is unconstrained along the back edge.
- Where landing width (D) has been reduced to 3'-0" the flared sides shall have a maximum slope of 12:1.
- The slope of the ramp toward the curb is preferred to be 12:1 or flatter related to the horizontal, but the maximum slope shall be 12:1 relative to the existing or proposed walk slope.
- In existing sidewalks, where the maximum ramp slope (S) is not feasible, it may be reduced as follows:
A) 10:1 for a max. rise of 5'.
B) 8:1 for a max. rise of 3'.
C) 6:1 over a max. run of 2'-0" for historic areas where a flatter slope is not feasible.
- The minimum length of a perpendicular ramp is 6' from the back of a 6" curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
- Gutter curb slopes at the foot of perpendicular curb ramps should not exceed 20:1 over a distance of 2'-0" from the curb.
- Dimensions derived by equation are nominal. Construct ramps to meet required slopes and existing conditions.
- Defectable Warnings (truncated domes) are to be installed in the location shown. Dimensions for location of the domes



PERPENDICULAR CURB RAMP DETAIL



PARALLEL CURB RAMP DETAIL (DOUBLE)

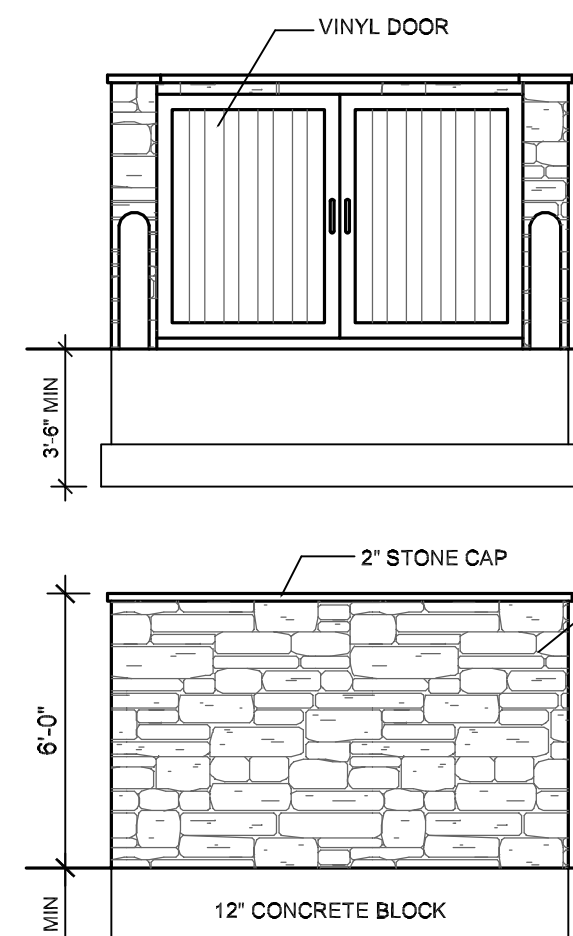


NORTON ROAD C.H. 120 - Width Varies

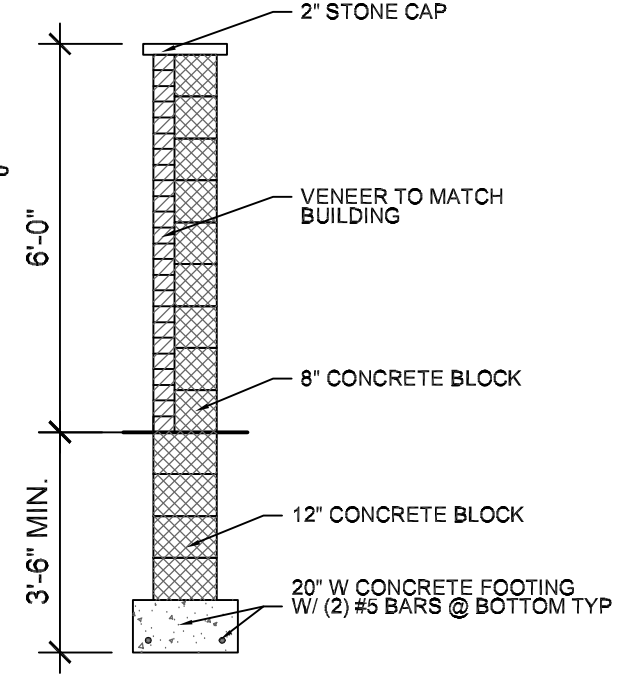
CITY OF STON
PPN: 5613404
1.285 ac.
ZONED: C-3 COMMUNITY RETAIL
LAND USE CODE:
122 - A-TIMBER LAND ON CAUV
AS COMMERCIAL

SITE PLAN

SCALE: 1" = 20'-0"



2 BRICK MASONRY TRASH ENCLOSURE DETAILS



NEW DENTAL OFFICE BUILDING FOR:

DR. CARUSO
1465 NORTON AVE.
HUDSON, OH

JOB NO: 26-021

DATE: 03.05.2026

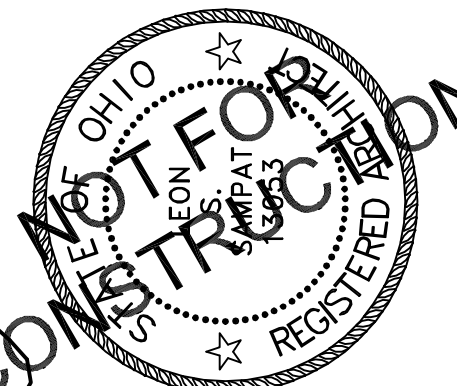
ISSUE: REVIEW

SHEET:

SD1.1

LS ARCHITECTS

22082 LORAN ROAD
FAIRVIEW PARK, OH 44126
PHONE 26-403-9654 FAX 440-76-8837



LEON S. SAMPAT
LICENSE# 13053
EXPIRATION DATE 12/31/2027