## GENERAL NOTES

WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR.

### CONTRACTORS

EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE JOB SITE PRIOR TO THE START OF THEIR WORK. DO NOT SCALE DRAWINGS. USE PLAN DIMENSIONS. IF DISCREPANCIES WITH DRAWINGS ARE DISCOVERED AT ANY TIME BEFORE OR DURING CONSTRUCTION NOTIFY PROJECT DESIGNER OR CONTRACTOR IMMEDIATELY BEFORE PROCEEDING. MAINTAIN ONE (1) COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. ALL WORK TO BE PERFORMED IN A GOOD WORKMANLIKE MANNER, IN ACCORDANCE WITH APPLICABLE CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. CONTRACTORS ARE RESPONSIBLE FOR LOCAL CODES INTERPRETATIONS FOR THEIR TRADE. ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL UTILITIES PRIOR TO CONSTRUCTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS MUST FIRST BE APPROVED BY CONTRACTOR, AND AUTHORIZED THOUGH WRITTEN CHANGE ORDER FORM SUBMITTED BY THE CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP AND REMOVAL OF DEBRIS FROM THE JOB SITE. ALL CONTRACTORS WILL GUARANTEE ALL MATERIALS AND

IT IS UNDERSTOOD THAT THESE DRAWINGS ARE GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.

### TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT LABOCKI DESIGN IN ORDER TO UPDATE THE DRAWINGS.

### SOIL BEARING:

FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55PCF. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITH IN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55PCF IS THE CORRECT WALL LOADINGS. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

### RADON:

IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS **NOT** THE RESPONSIBILITY OF FIDEI LLC TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

### .....

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATION AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF THE SNOW AND RAIN.

### MECHANICALS:

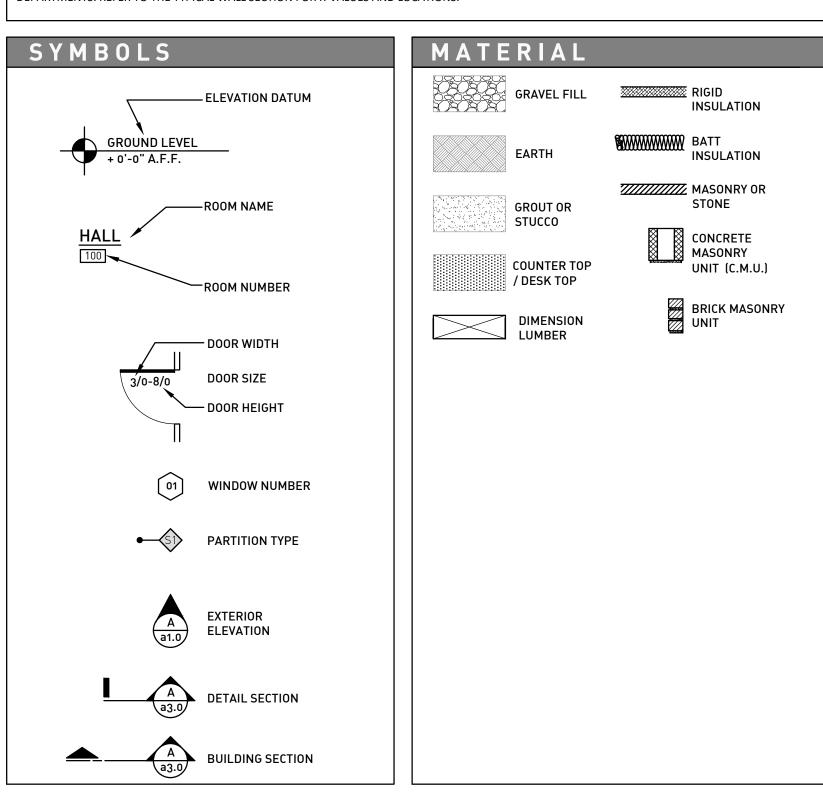
ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDINGS AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

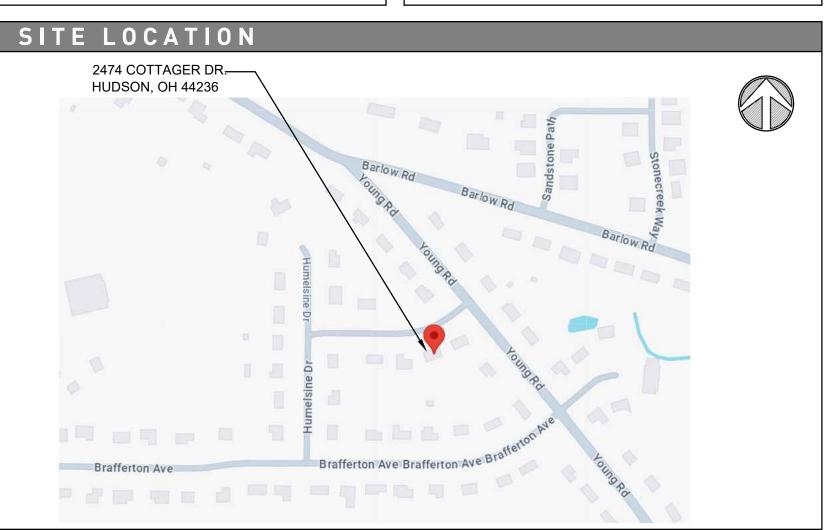
### FIRE STOPPING:

SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS A THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILINGS, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS WITH NON COMBUSTIBLE MATERIALS.

### INSULATION:

INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

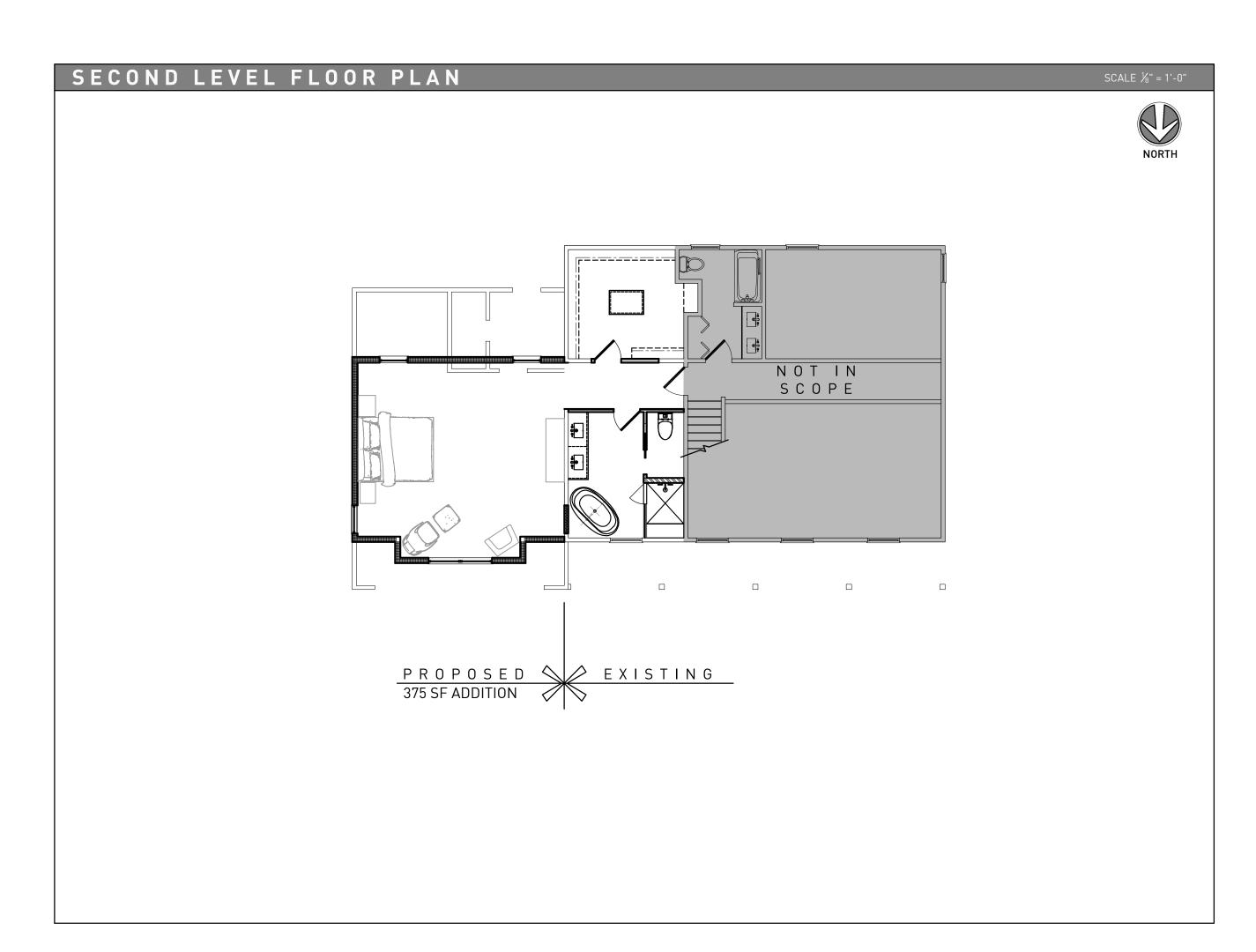




# Proposed Addition for: Gorog Situated in the State of Ohio,

Situated in the State of Ohio, County of Summit, City of Hudson





APPLICATION INFORMATION															
PROJECT LOCATION:	2474	2474 COTTAGER DR. HUDSON, OH 44236													
TYPE OF IMPROVEMENT:	NEW BUILD			ADDI	ADDITION X			ALTERATION X			CHANGE OF USE			OTHER	
TYPE OF USE:	SINGLE FAMILY X DUPLEX			MULTI-FAMILY			# UNITS			СОМ	COMMERCIAL				
	INDUS	NDUSTRIAL DECK		P00L			GARAGE		SHED						
USE GROUP:	A-1	A-2	A-3	A-4	A-5	В	Е	F-1	F-2	H-1	H-2	H-3	H-4	H-5	
	l-1	l-2	I-3	1-4	М	<b>R-1</b>	R-2	R-3	R-4	S-1	S-2	U			
TYPE OF CONSTRUCTION:	I-A	I-B	II-A	II-B	III-A	III-B	IV	V-A	V-B						
PROJECT OWNER:	NER: Brian Gorog														
	2474 COTTAGER DR. HUDSON, OH 44236														
PROJECT CONTRACTOR:	PROJECT CONTRACTOR: Element Design														
	ADDRESS: 6721 Chittenden Road				Huds	dson, Ohio 44236			EMAIL:vd@elementkb.com						
PROJECT DESIGNER:	Fide	i Arch	itectur	e											
	ADDR	ESS: 285	oB West	Market	Street	Fairl	awn, Oh	io 4433:	3	EMAIL: dlabocki@fideiarch.com					

CLIN	MATIC & GE	OGRA	APHIC	DES	IGN C	RITE	RIA
ROOF SNOW LOAD (LB.	WIND DESIGN	SEISMIC DESIGN	ICE SHIELD SHIELD	FLC HAZA		WINTER DESIGN	
PER S.F.)	110 MPH	CATEGORY	REQUIRED	A.7/ 1	5/ 79	TEMP.	
20	20.7 PSF	Α	YES	B. 4/ 22/ 97		5 DEG. F	
	SUBJECT TO DAMAGE FROM		AIR		MEAN		

ACTUAL

TEMP.

FREEZING

CL	CLIMATE ZONE CRITERIA									
201	18 IECC 8	& US DEPARTMEN	NT OF ENERG	Υ						
		WOOD FRAME WALL R-VALUE			BASEMENT WALL R-VALUE c	SLAB R-VALUE d, DEPTH	CRAWLSPACE WALL R-VALUE c	FENESTRATION U-FACTOR b	SKYLIGHT U-FACTOR b	GLAZED FENESTRATION (SHGC) b, e
		00 40 51	10/17	2 Ng	15/10	10 2 ft	15/10		0.55	

a. R-values are minimums. U-factors and SHGC are maximums. R-19 batts compressed into a nominal 2x6 framing cavity such that the R-value is reduced by R-1 or more shall be marked with the compressed batt R-value in addition to the full thickness R-value.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.

c. "15/19" means R-15 continuous insulated sheathing on he interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. "10/13" means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation at the interior of the basement wall.

d. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2 feet, whichever is less in zones 1 through 3 for heated slabs.

e. There are no SHGC requirements in the Marine zone.

DEPTH

Basement Wall Insulation is not required in warm-humid locations.

g. Or insulation sufficient to fill the framing cavity. R-19 is minimum.

h. "13+5" means R-13 cavity insulation plus R-5 insulated sheathing. If structural sheathing covers 25 percnt or less of the exterior, insulating sheathing is not required where structural sheathing is used. If structural sheathing covers more than 25 percent of exterior, structural sheathing shall be supplemented with insulated sheathing of atleast R-2.

i. The second R-value applies when more than half the insulation is on the interior of the wall.

j. For impact rated fenestration complying with SectionR301.2.1.2 of the International Residential Code or Section 1608.1.2 of the International Building code, the maximum U-factor shall be 0.75 in Zone 2 and 0.65 in Zone 3.

# DRAWING INDEX

SHEET No.	DESCRIPTION
T1	TITLE PAGE / GENERAL NOTES
A1	ELEVATIONS
A2	DEMOLITION PLAN AND SECOND LEVEL FRAMING PLAN
A3	SECOND LEVEL FLOOR PLAN AND FINISH PLAN
A4	SECOND LEVEL ELECTRICAL SCHEMATIC AND ROOF PLAN
A5	CROSS SECTIONS AND DETAILS



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element design vd@elementkb.com 6721 Chittenden Rd.



PROJECT LOCATION:

2474 COTTAGER DR.

HUDSON, OH 44236

Addition for:
GOROG

RINT RECORD:

09-28-2023-SD 95%

10-18-2023-DD PRINTED 11-13-2023-PRINTED 02-28-2024-CD PERMIT 03-29-2024-ARB

JOB NUMBER: 2 3 4 4

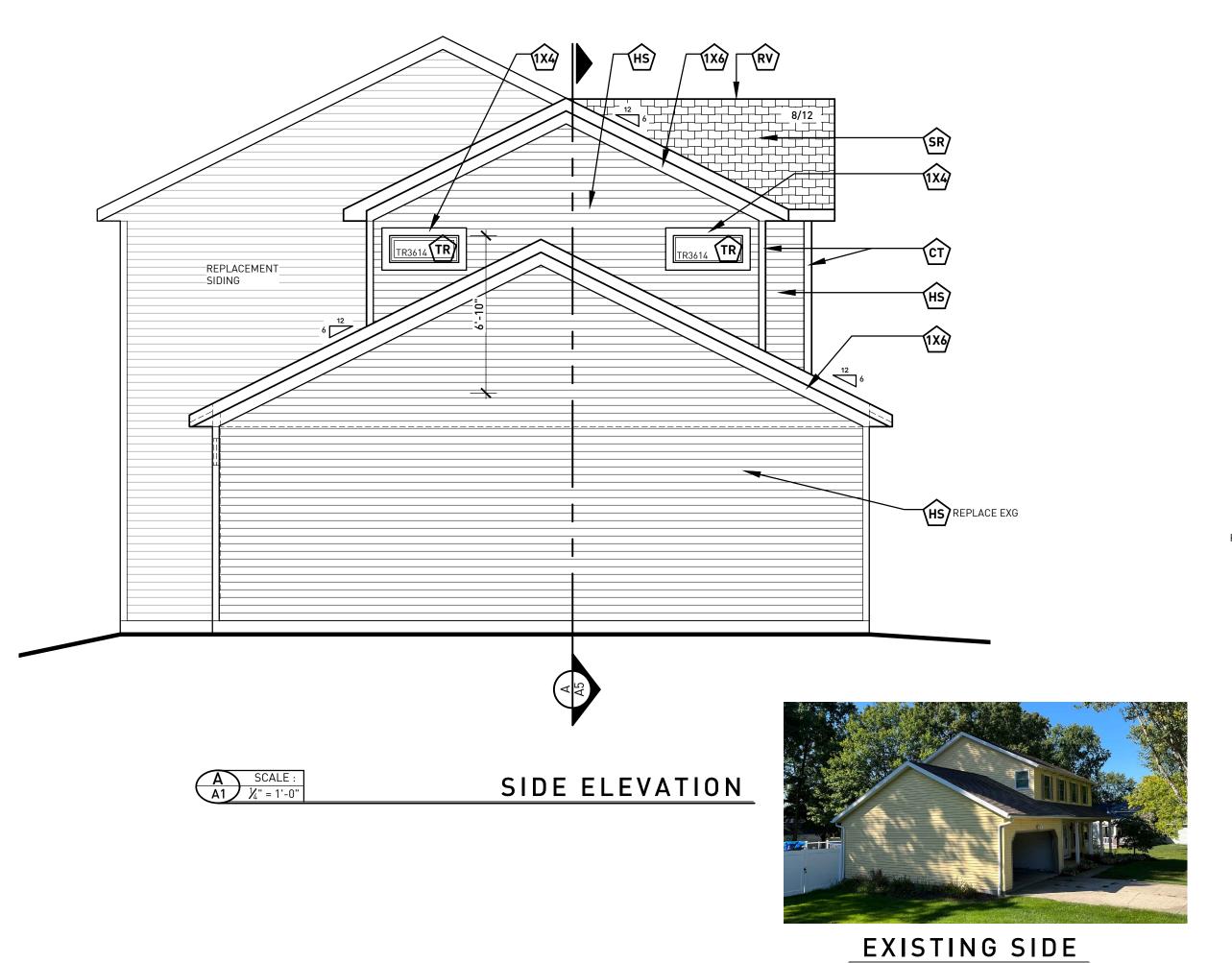
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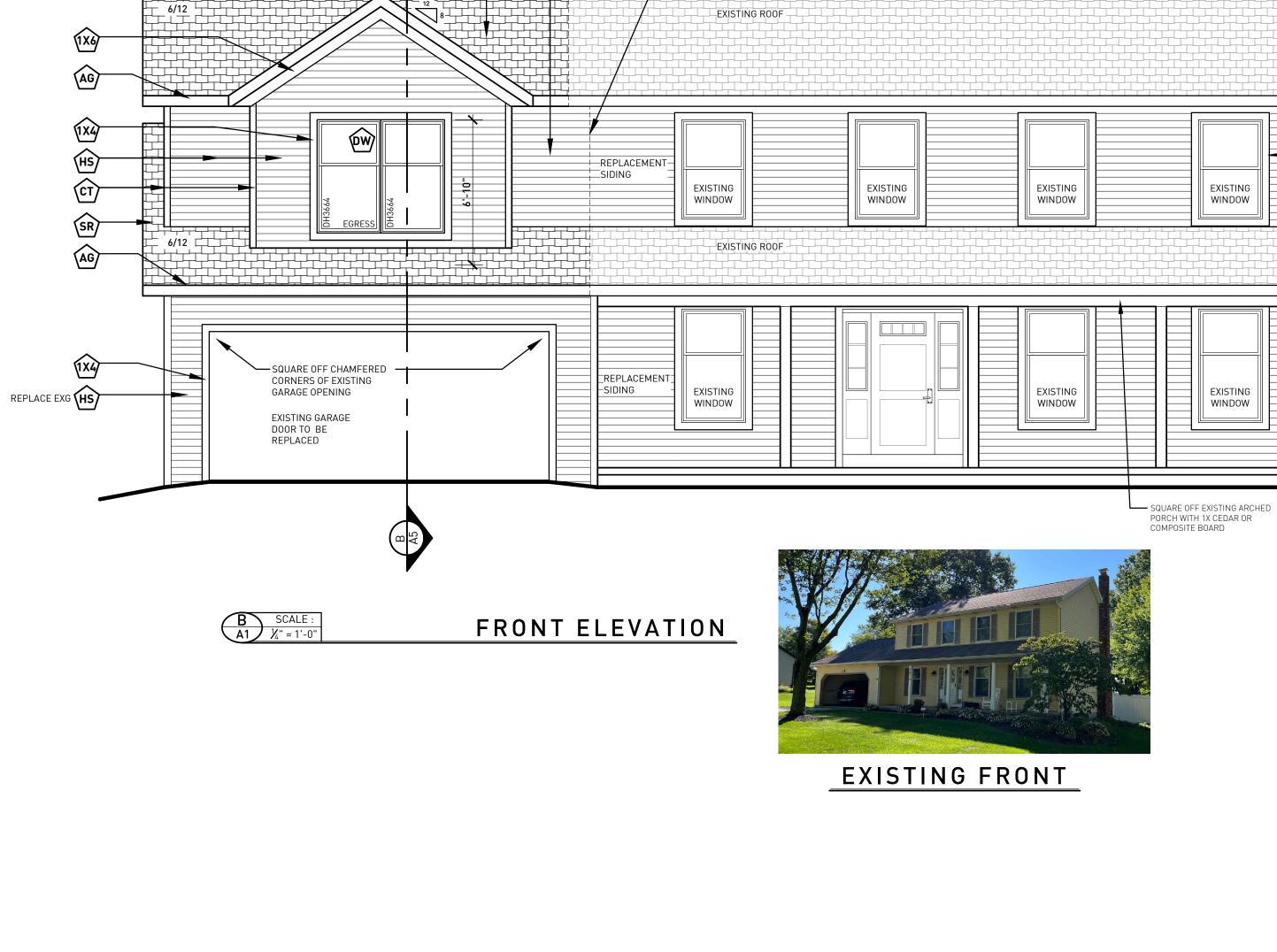
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SHEET DESCRIPTION

SHEET No.

TITLE SHEET





SR

SEAMLESS TRANSITION FROM EXISTING TO NEW

EXG 6/12

EXG 6/12

KEY FLOOR PLAN

REPLACE WITH 1X4 BOARD TRIM AROUND EACH FRONT WINDOW, TYPICAL Like us on

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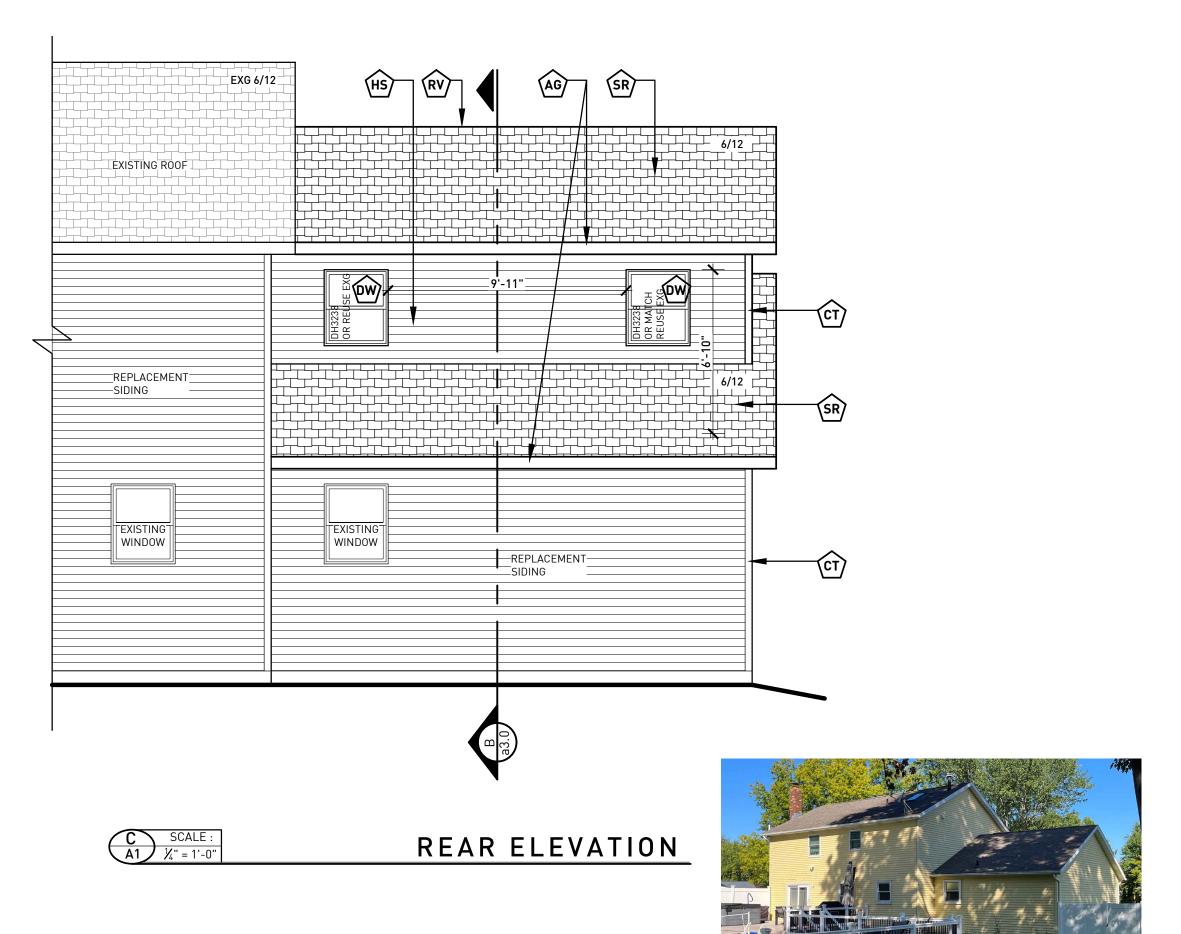
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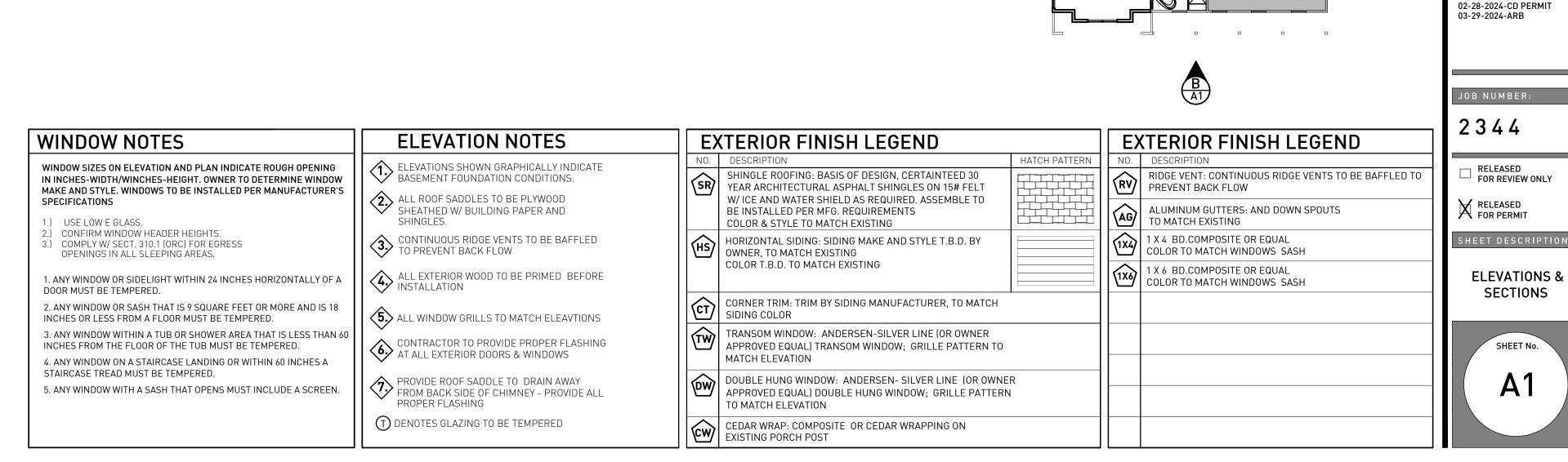
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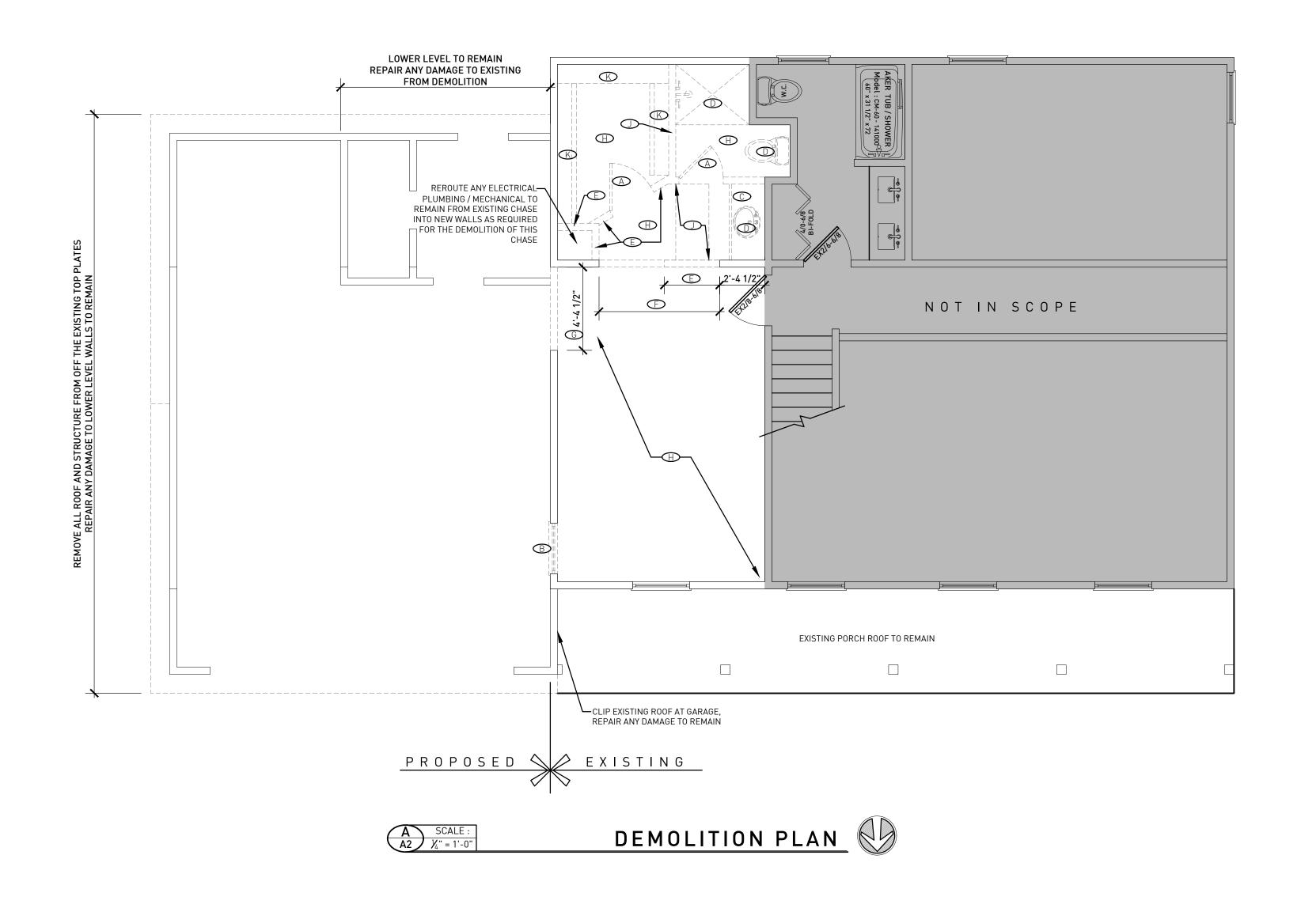
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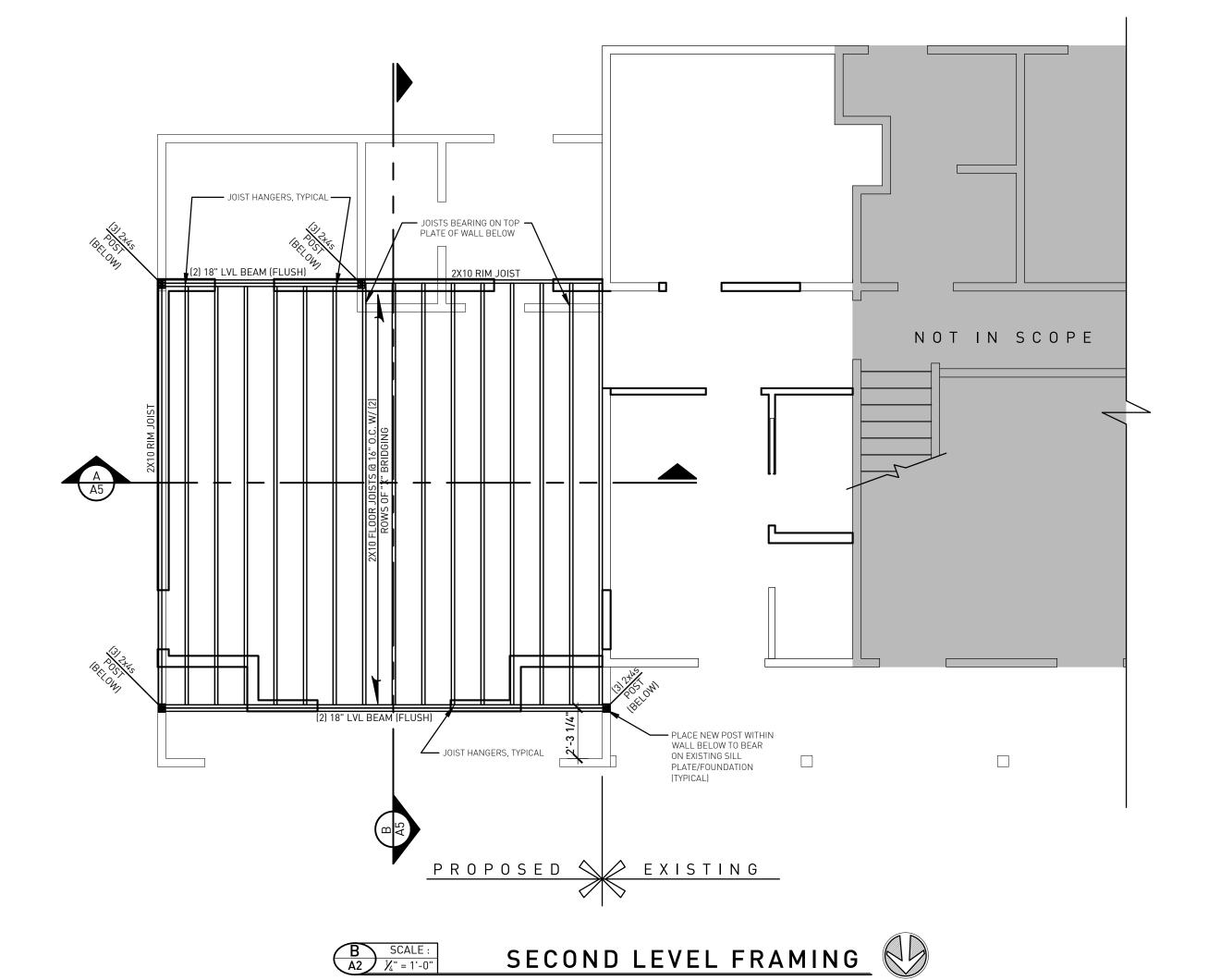
09-28-2023-SD 95% 10-18-2023-DD PRINTED 11-13-2023-PRINTED



EXISTING REAR







PROJECT LOCATION:

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GR CODE PDF DRAWING

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JOB NUMBER

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**DEMOLITION PLAN** 

& SECOND LEVEL FRAMING

2344

DEMOLITION LEGEND

REMOVE DOOR AND FRAME

REMOVE WINDOW AND FRAME. SET ASIDE WINDOW TO BE REUSED, AS OWNER REQUIRES.

REMOVE COUNTERTOPS AND BASE CABINETS, AND REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN.

REMOVE PLUMBING FIXTURE AND CAP OFF ALL PIPES AND DRAINS.

REMOVE INTERIOR PARTITIONS, EXPOSING AND TEMPORARILY SUPPORT

REMOVE INTERIOR PARTITIONS, EXPOSING AND TEMPORARILY SUPPORTING STRUCTURAL ELEMENTS. REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN REMOVE EXISTING SOFFIT

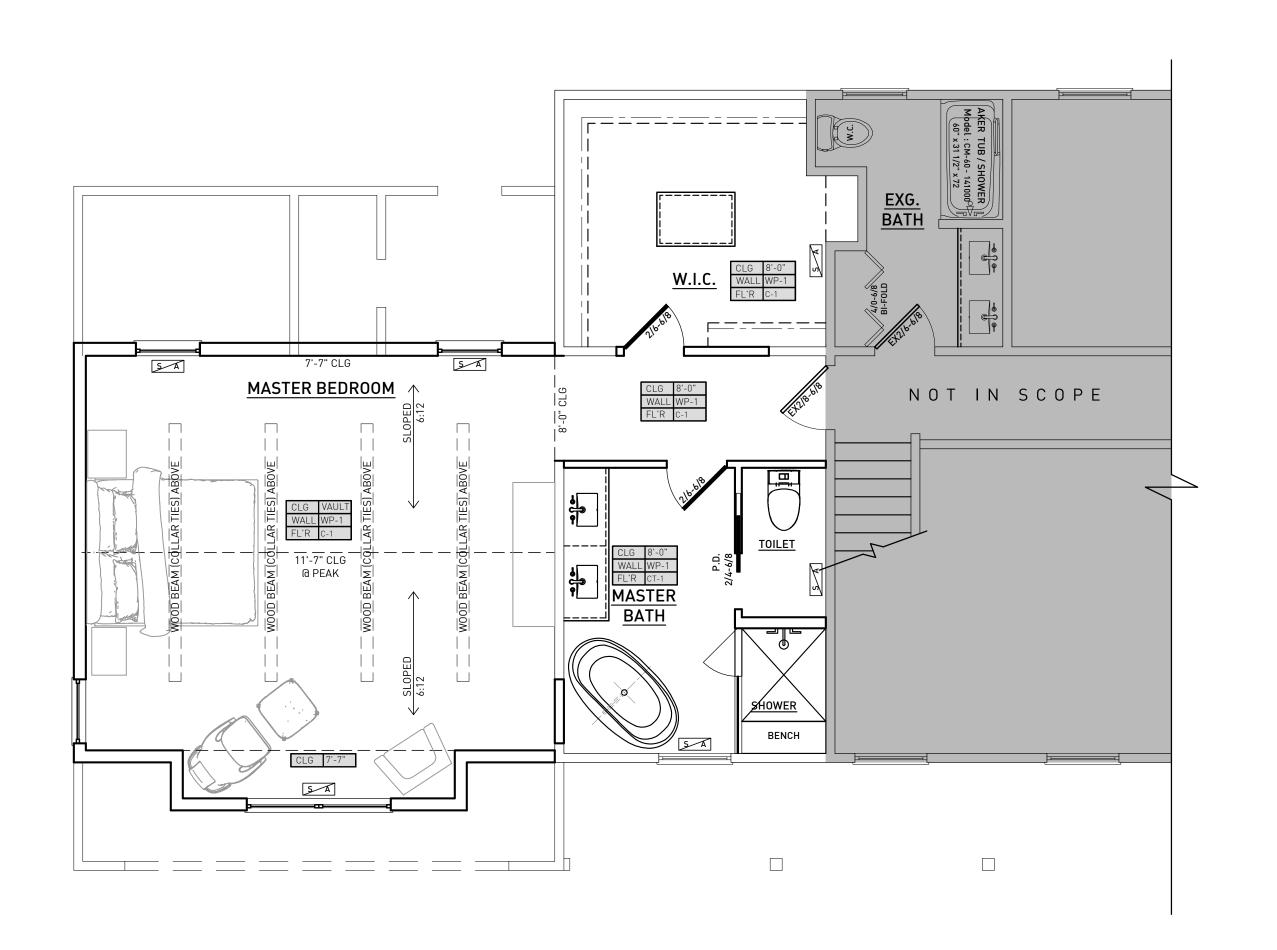
REMOVE EXTERIOR PARTITION AS REQUIRED FOR NEW CONSTRUCTION.

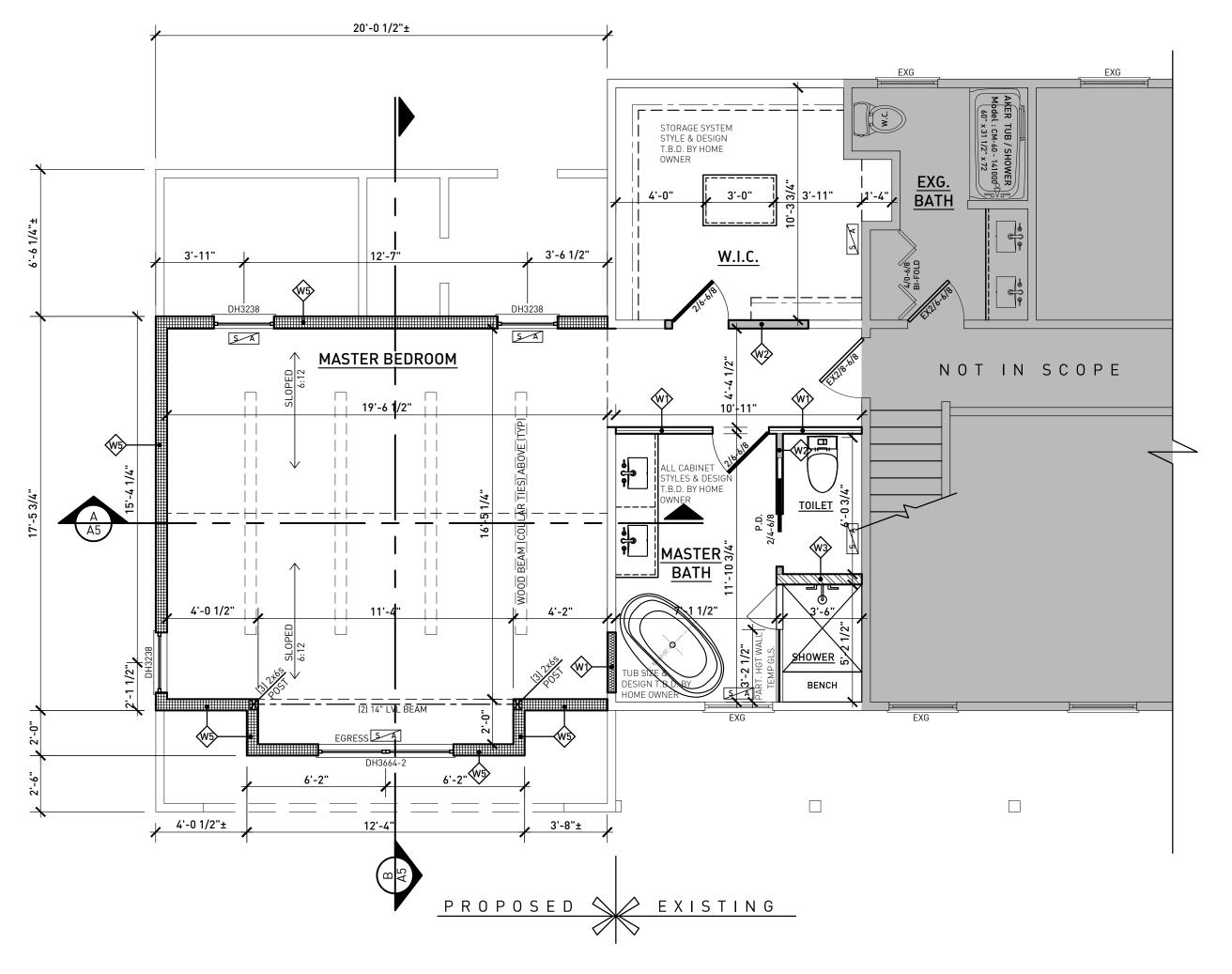
REMOVE FLOORING AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH.

REMOVE EXISTING SKYLIGHT AND INFILL WITH STICK FRAMING, ATTIC INSULATION, AND FINISH WITH DRYWALL CEILING.

REMOVE STORAGE SYSTEM.

SHEET No.





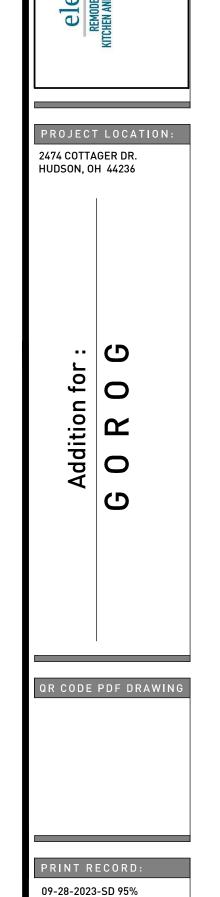
A SCALE: SECOND LEVEL FINISH PLAN

A3 X" = 1'-0"

SECOND LEVEL FINISH PLAN

B SCALE: SECOND LEVEL FLOOR PLAN

WALL TYPE LEGEND



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SHEET DESCRIPTION

SECOND LEVEL

**FLOOR PLAN** 

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C-1 CARPET: STYLE: (NAME AND #) COLOR: TBD BY OWNER CT-1

WP-1 WALL PAINT (COLOR # AND NAME) (2) COATS PROGREEN 200 LATEX EG-SHEL AS MANUFACTURED BY (MANUFACTURER)

CERAMIC TILE: CERAMIC TILE FLOOR STYLE: TBD BY OWNER COLOR: TBD BY OWNER

WOOD FLOOR: HARD WOOD FLOOR SPECIES: TBD BY OWNER STAIN: TBD BY OWNER

VINYL FLOOR: LUXURY VINYL PLANK STYLE: TBD BY OWNER

COLOR: TBD BY OWNER

# FINISH NOTES

ALL FLOORS TO BE LEVELED. PROVIDE MOISTURE RESISTANT DRY WALL WITH

IN AREAS OF WATER CLOSETS SHOWER, TUBS

VERIFY WITH HOME OWNER FOR STAIN COLOR.

DRYWALL SMOOTH FINISH ALL WALLS AND

CEILING, UNLESS NOTED OTHERWISE. NEW DOORS TO BE STAIN GRADE VENEER,

CONTRACTOR TO PROVIDE WOOD STAIN SAMPLE TO HOME OWNER, BEFORE PROCEEDING WITH ORDERING OR APPLYING STAIN COLOR.

INSULATE AROUND WINDOW FRAMES AND SILLS. ALL FURNITURE N.I.C.

# FLOOR PLAN NOTES $\otimes$

GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE

PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ RCO

(COMPLY W/ RCO R309.2)

R303.3).

ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCO R806).

INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS (COMPLY W/ RCO M1501.1).

. ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING (5 S.F. AT GRADE FLOOR) (24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH) (COMPLY W/ RCO R310).

SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH

SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSUM THE EQUIPMENT IS INSTALLED (COMPLY W/ RCO). 7. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL. (COMPLY W/ RCO

R311.2.2) 12. FIREPLACE & EXHAUST- TO BE INSTALLED IN 8. MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8"

RCO R503).

MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM. (COMPLY W/ RCO R311.5.2)

HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE 13. LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4". (COMPLY W/ RC0 R311)

PROVIDE TEMPERED GLASS IN ALL SPECIFIC HAZARDOUS LOCATIONS SPECIFIED IN SECT. R308.4 PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/

6. FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/A 11. GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON 15. AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PORCHES BALCONIES AND RAISED FLOORS MORE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS HEIGHT (COMPLY W/ RCO R807). SHALL HAVE GUARDRAILS (MIN. 34" HIGH)

GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR

ACCORDANCE WITH LISTING AND MANUFACTURER'S

ORNAMENTAL CLOSURES WHICH DO NOT ALLOW

PASSAGE OF A SPHERE 4 INCHES OR MORE IN

INSTRUCTIONS. PROVIDE PROPER FIREPLACE

CLEARANCES AS SPECIFIED IN SECT. R1001.15,

FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/

DIAMETER. (COMPLY W/ RCO R312).

R1003.12 AND R1003.13 IN THE RCO.

16. PROVIDE MINIMUM (2) 2X10s W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.

17. PROVIDE MINIMUM OF (3) 2X4s AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND / OR SOLID BLOCKING

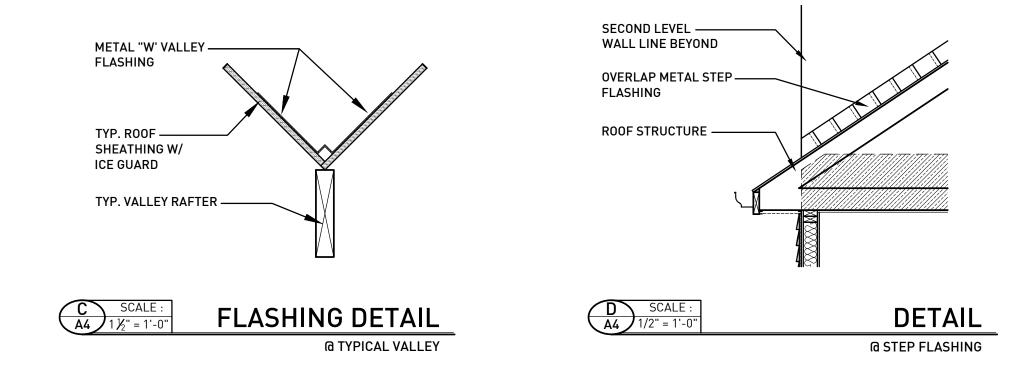
**HVAC LEGEND** SA 4X12 SUPPLY AIR 8X16 RETURN AIR

W2 INTERIOR 2X4 WALL: INTERIOR 2X4 WALL: NTERIOR 2X6 WALL: XTERIOR 2X6 WALL: " GYP. BOARD ON BOTH " GYP. BOARD ON BOTH " GYP. BOARD ON BOTH 6" OSB BOARD W/ HOUSE SIDES OF 2X4 WD. STUDS @ SIDES OF 2X4 WD. STUDS @ SIDES OF 2X6 WD. STUDS @ WRAP ON EXTERIOR SIDE OF 16" O.C. W/ R-13 SOUND 16" O.C. W/ R-13 SOUND 2X6 WD. STUDS @ 16" O.C. W/ INSULATION INSULATION ½" GYP. BOARD ON INTERIOR SIDE W/R-19 INSULATION

				S.F. AREA TABUL	ATION						
	NO.		Floors	OL AREA	SQ. FT.						
	-сн		<b>□</b>	EXISTING SECOND LEVEL :	965 s.f.						
	<b>WALL НАТСН</b>							Bed rooms	EXISTING MAIN LEVEL :	1,095 s.f.	
	WALI					4	RENOVATED SECOND LVL :	328 s.f.	'		
_	_		Baths •	SECOND LEVEL ADDITION:	371 s.f.						
	<b>N</b>						$  \;  ightharpoonup 2\frac{1}{2}$	TOTAL LIVABLE SF: ———	— 2,431 s.f.		
- / / R	. TYPE RIPTION			Garage			_				
	SC									2	EXG 2 CAR GARAGE:
	WA			-							
						9					

LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED

NON LIVABLE AREAS-GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR PORCHES AREAS



EXG RIDGE

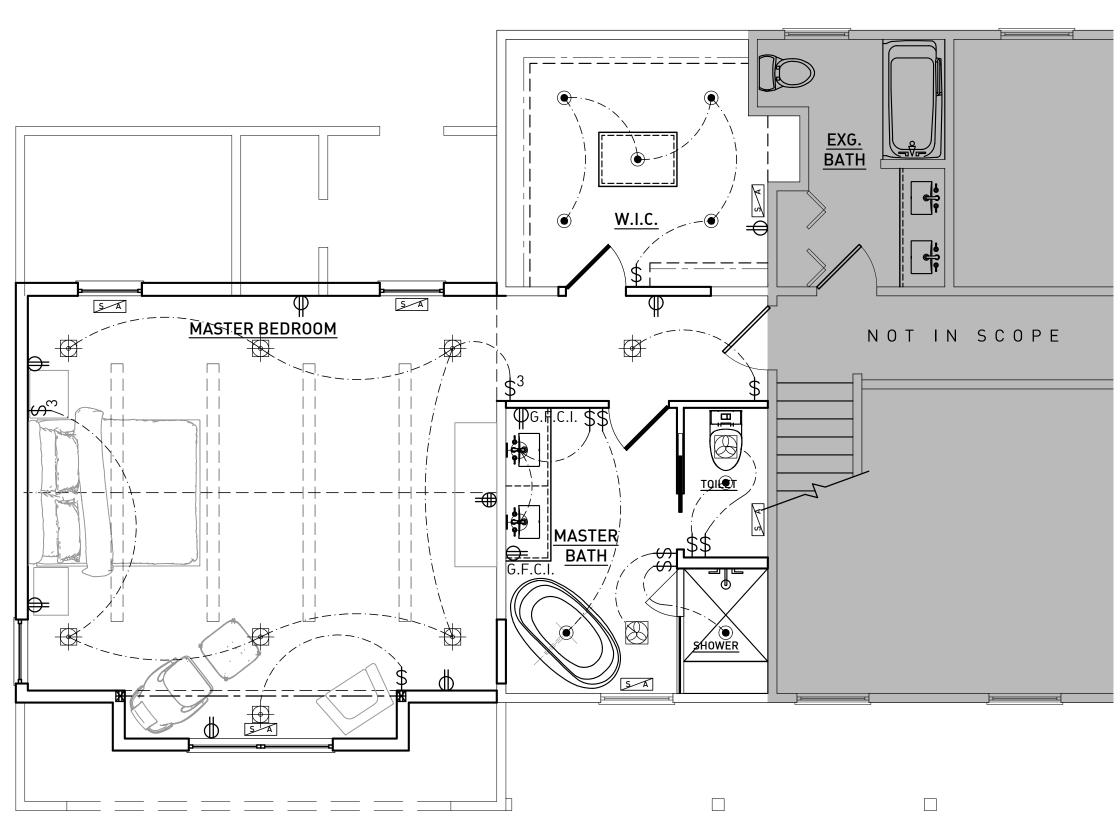
— ALIGN FLUSH WITH EXISTING ROOF

— ALUM. GUTTER &

— ALIGN FLUSH WITH EXISTING PORCH ROOF

ROOF PLAN

ALIGN GUTTER W/ EXG



FOR NEW POWER AND A SCALE: SECOND LEVEL POWER & LIGHTING PLAN

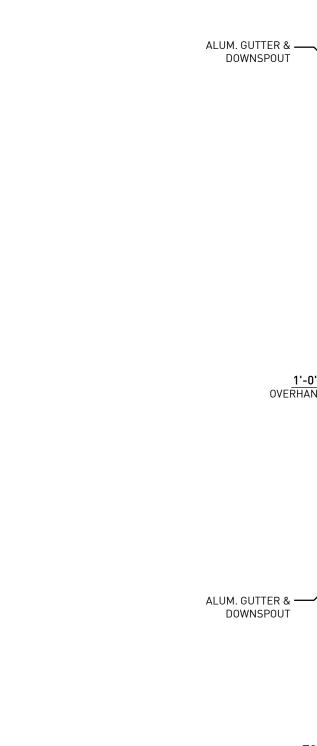
ELECTRICAL CONTRACTOR

FROM FORMER MASTER

LIGHTING

BEDROOM AND BATHROOM

TO USE EXISTING CIRCUITS



ALUM. GUTTER & —— DOWNSPOUT

DOWED CYMBOLS I ICHTING CVMBOLC

TOP PLATE

+16'-61/8"± A.F.F.

**EXG TOP PLATE** 

+8'-1½"± A.F.F.

DESIGN CRITERIA 1. STRUCTURAL DESIGN STANDARDS: OBC (CURRENT EDITION). 2. FLOOR LIVE LOADS:

MAIN FLOOR = 100 PSF (SLAB ON GRADE) 3. ROOF LIVE LOADS: MINIMUM = 20 PSF SNOW = 25 PSF + DRIFT (PER ASCE 7) Pg = 20 PSF 4. WIND LOAD: BASIC WIND SPEED (3 SEC GUST) = 90 MPH 5. EARTHQUAKE LOAD: le = 1.0 (SEISMIC GROUP I) Sds = 0.20gSdi = 0.093g SITE CLASS = D (STIFF SOIL PROFILE) BASIC SEISMIC FORCE RESISTING SYSTEM = LOAD BEARING MASONRY WALL EQUIVALENT LATERAL FORCE PROCEDURE BASE SHEAR (V) = 20 KIPS (ROOF LEVEL)

► STICK FRAMED W/

2X6 s @ 16" O.C.

**EXG TOP PLATE** +8'-1½"± A.F.F.

> TOP PLATE +16'-61/8"± A.F.F.

14" LVL RIDGE

OVERBUILD

ALUM. GUTTER &

DOWNSPOUT

# ROOFING NOTES

- . ALL ROOF PENETRATIONS (i.e. SOIL PIPE, ECT...) TO BE PAINTED TO MATCH ASPHALT SHINGLE ROOF COLOR.
- 2. ASPHALT SHINGLE ROOF TO HAVE 15# ROOFING PAPER.
- 3. ALL VALLEYS AND EAVES TO HAVE 3'-0" MINIMUM "ICE-GUARD" @ ALL LOCATIONS.
- 4. ICE GUARD IS TO BE AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING BELOW THE ROOF AT THE ENTIRE PERIMETER FROM THE EAVES
- 5. TIE-IN ALL DOWNSPOUTS TO STORM SEWER SYSTEM. PER SITE DWG.



element design vd@elementkb.com 6721 Chittenden Rd. Hudson OH 44236



PROJECT LOCATION:

2474 COTTAGER DR. HUDSON, OH 44236 0

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2344 RELEASED

→ FOR REVIEW ONLY **∀** RELEASED FOR PERMIT

SHEET DESCRIPTION: **ELECTRICAL** SCHEMATIC AND **ROOF PLAN** 

E	LECTRICAL NOTES
1.	PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 75 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ IRC section 1504.2)
2.	INTERCONNECTED SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA AND ON EACH ADDITIONAL STORY. SMOKE DETECTOR'S PRIMARY WIRING SHALL BE BUILDING POWER WITH BATTERY BACKUP. (COMPLY W/ IRC R314.31)
3.	LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCO).

POWER	SYMBOLS	LIGHTING SYMBOLS					
SYMBOL	DESCRIPTION		SYMBOL	DESCRIPTION			
$\oplus$	DUPLEX RECEPTACLE: AFCI PROTECTION STANDARD PER CODE			6" RECESSED CEILING CAN LED			
<b>⊕</b> G.F.C.I.	G.F.C.I. DUPLEX RECEPTACLE		•	4" RECESSED CEILING CAN LED			
€	240-VOLT RECEPTACLE		<b>+</b>	CEILING MOUNTED LIGHT FIXTURE			
<b>=</b>	QUADRAPLEX RECEPTACLE		<u>•</u>	WALL MOUNTED LITE FIXTURE			
\$ <b>/</b> \$ <sup>3</sup>	SINGLE POLE SWITCH/ 3-WAY POLE SWITCH		\$	SPOT LIGHTS W/ MOTION SENSOR			
	FLOOR MOUNTED DUPLEX RECEPTACLE			CEILING MOUNTED 1X2 LED LIGHT FIXTURE			
4	DATA/PHONE JACK			WALL MOUNTED SCONCE LIGHT			
	EXHAUST FAN TO EXTERIOR OF HOUSE (OPTIONAL LIGHT VERIFY W/ OWNER)			FLORESCENT LIGHT FIXURE			
SD CO2	SMOKE DETECTOR INTER CONNECTED & CO2 DETECTOR			CEILING FAN (OPTIONAL LIGHT VERIFY W/ OWNER)			

