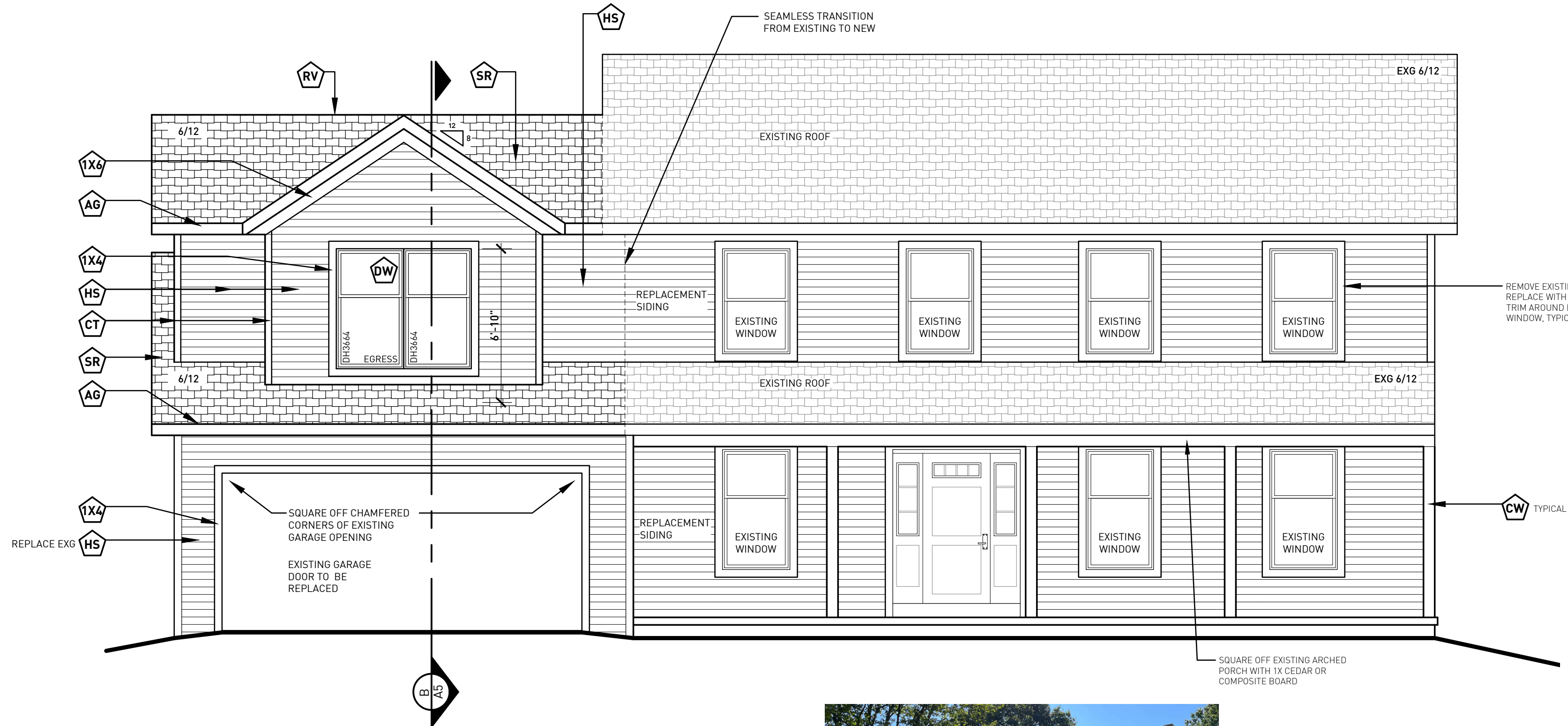


A
A1 SCALE :
1/8" = 1'-0"

SIDE ELEVATION



EXISTING SIDE

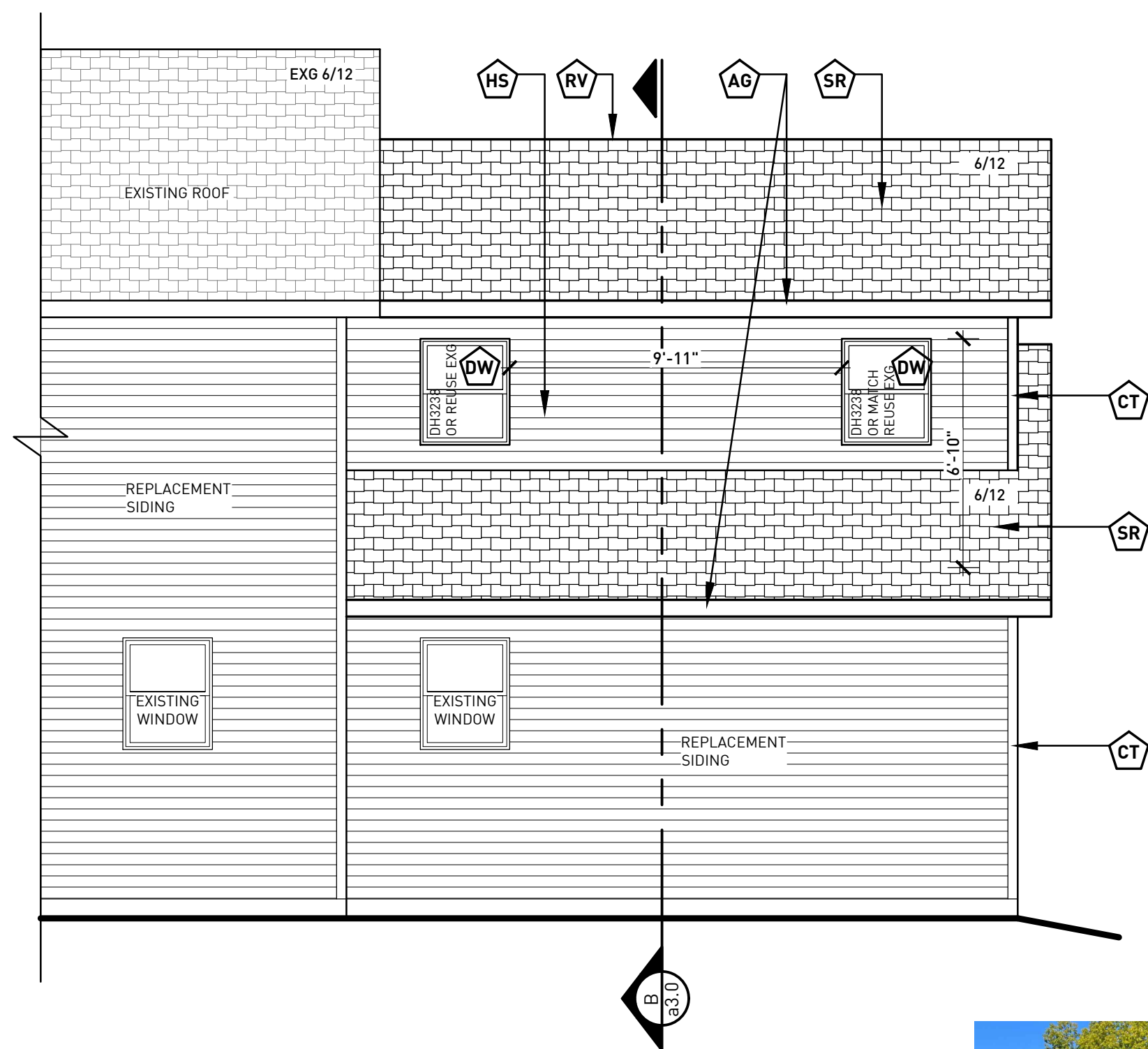


B
A1 SCALE :
1/8" = 1'-0"

FRONT ELEVATION

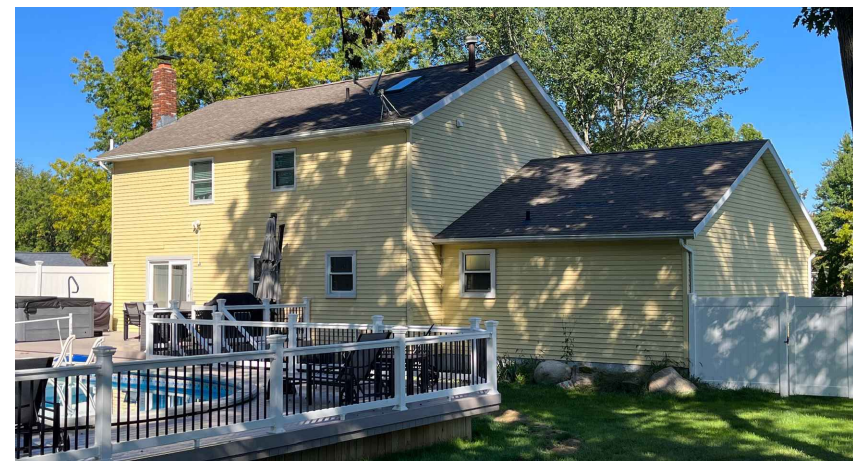


EXISTING FRONT

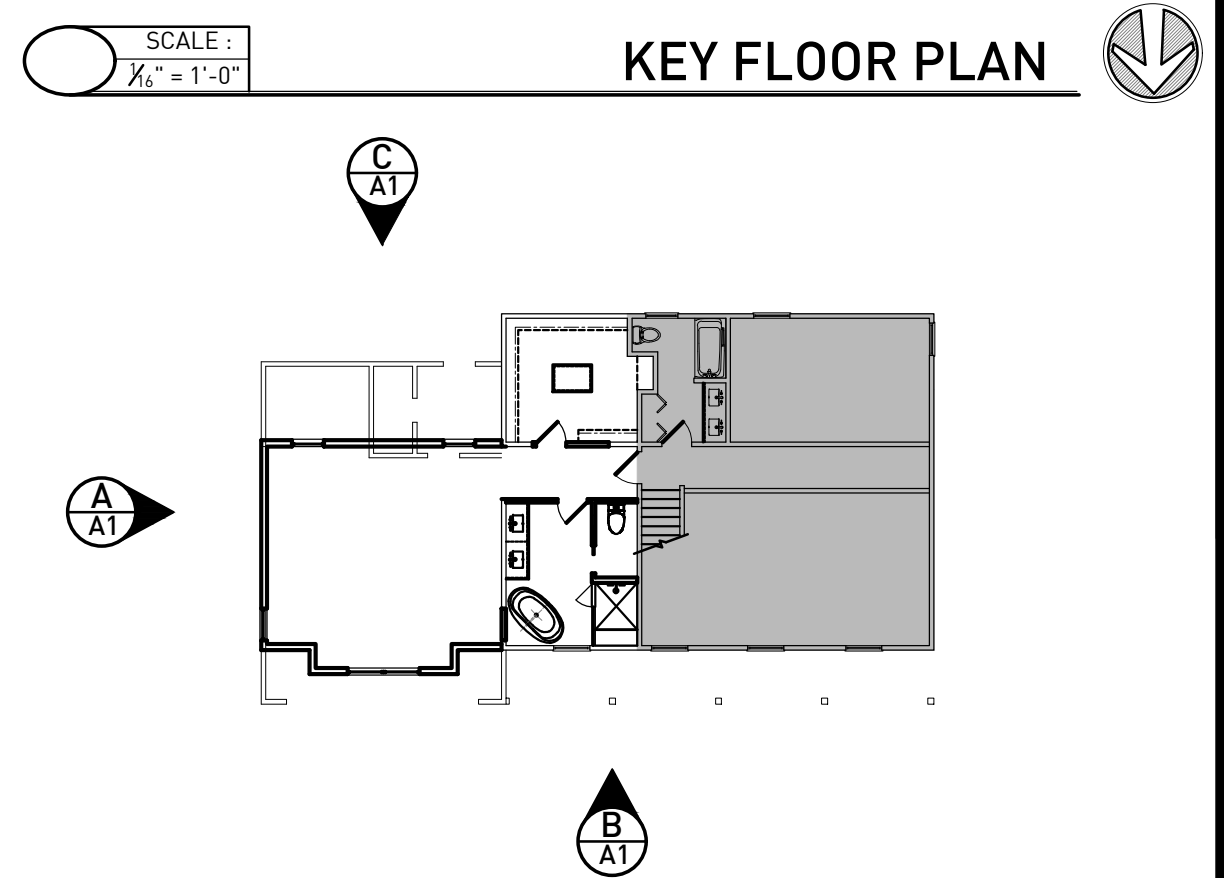


C
A1 SCALE :
1/8" = 1'-0"

REAR ELEVATION



EXISTING REAR



C
A1 SCALE :
1/8" = 1'-0"

KEY FLOOR PLAN

WINDOW NOTES

WINDOW SIZES ON ELEVATION AND PLAN INDICATE ROUGH OPENING IN INCHES-WIDTH/WINDOWS-HEIGHT. OWNER TO DETERMINE WINDOW MAKE AND STYLE. WINDOWS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

1. USE LOW E GLASS.
2. CONFIRM WINDOW HEADER HEIGHTS.
3. COMPLY W/ SECT. 310.1 (ORCI FOR EGRESS OPENINGS IN ALL SLEEPING AREAS.

1. ANY WINDOW OR SIDELIGHT WITHIN 24 INCHES HORIZONTALLY OF A DOOR MUST BE TEMPERED.
2. ANY WINDOW OR SASH THAT IS 9 SQUARE FEET OR MORE AND IS 18 INCHES OR LESS FROM A FLOOR MUST BE TEMPERED.
3. ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60 INCHES FROM THE FLOOR OF THE TUB MUST BE TEMPERED.
4. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60 INCHES A STAIRCASE TREAD MUST BE TEMPERED.
5. ANY WINDOW WITH A SASH THAT OPENS MUST INCLUDE A SCREEN.

ELEVATION NOTES

1. ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.

2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES
3. CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW

4. ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
5. ALL WINDOW GRILLS TO MATCH ELEVATIONS
6. CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS
7. PROVIDE ROOF SADDLE TO DRAIN AWAY FROM BACK SIDE OF CHIMNEY - PROVIDE ALL PROPER FLASHING

① DENOTES GLAZING TO BE TEMPERED

EXTERIOR FINISH LEGEND

| NO. | DESCRIPTION | HATCH PATTERN |
|-----|---|---------------|
| SR | SHINGLE ROOFING: BASIS OF DESIGN, CERTAINTED 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLY TO BE INSTALLED PER MFG. REQUIREMENTS COLOR & STYLE TO MATCH EXISTING | |
| HS | HORIZONTAL SIDING: SIDING MAKE AND STYLE T.B.D. BY OWNER, TO MATCH EXISTING COLOR T.B.D. TO MATCH EXISTING | |
| CT | CORNER TRIM: TRIM BY SIDING MANUFACTURER, TO MATCH SIDING COLOR | |
| TW | TRANSOM WINDOW: ANDERSEN-SILVER LINE (OR OWNER APPROVED EQUAL) TRANSOM WINDOW; GRILLE PATTERN TO MATCH ELEVATION | |
| DW | DOUBLE HUNG WINDOW: ANDERSEN- SILVER LINE (OR OWNER APPROVED EQUAL) DOUBLE HUNG WINDOW; GRILLE PATTERN TO MATCH ELEVATION | |
| CW | CEDAR WRAP; COMPOSITE OR CEDAR WRAPPING ON EXISTING PORCH POST | |

EXTERIOR FINISH LEGEND

| NO. | DESCRIPTION |
|-----|---|
| RV | RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW |
| AG | ALUMINUM GUTTERS; AND DOWN SPOUTS TO MATCH EXISTING |
| 1X4 | 1 X 4 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH |
| 1X6 | 1 X 6 BD.COMPOSITE OR EQUAL COLOR TO MATCH WINDOWS SASH |

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Addition for :
G O R O G

QR CODE PDF DRAWING

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03-29-2024-ARB

JOB NUMBER:

2344

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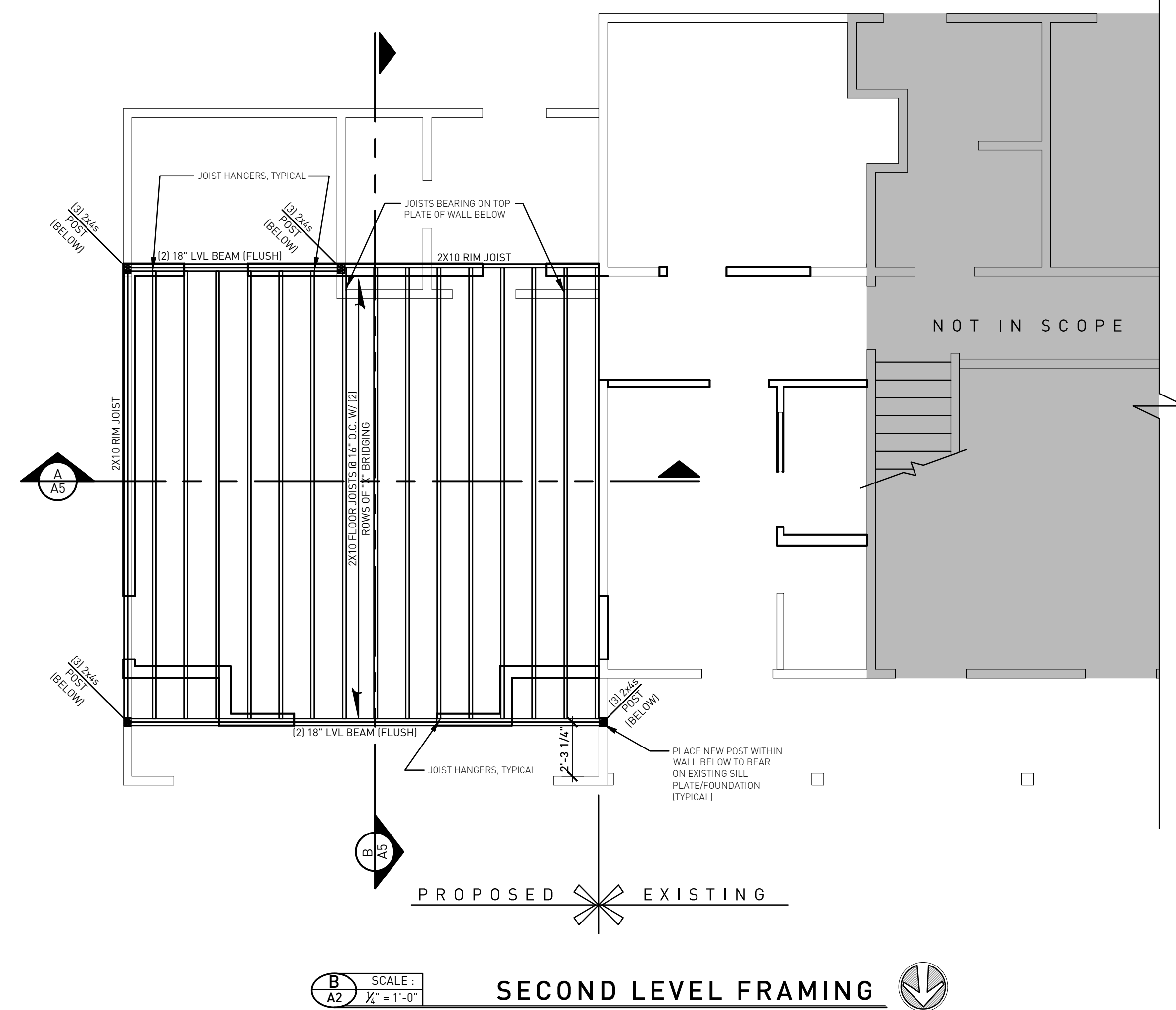
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








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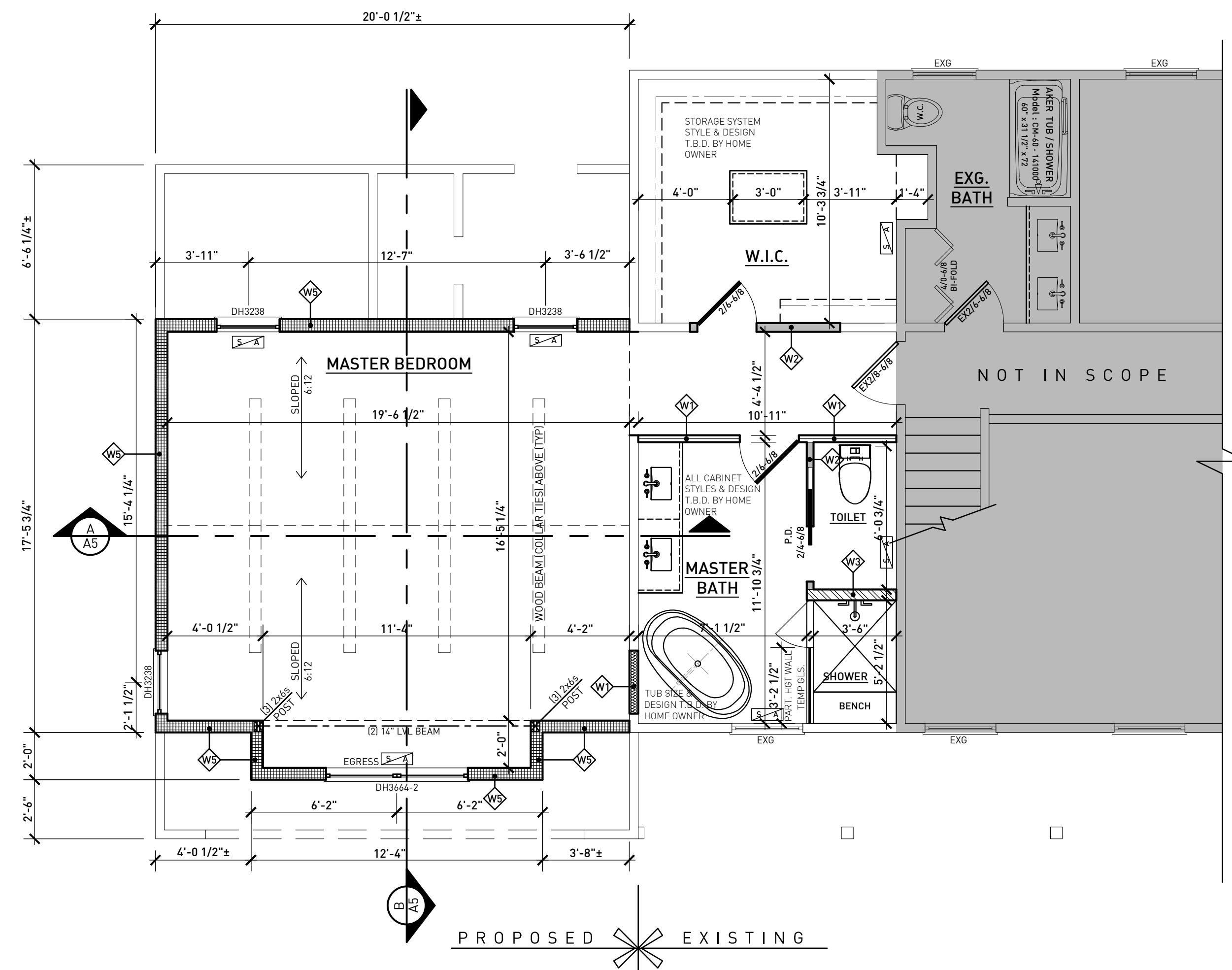
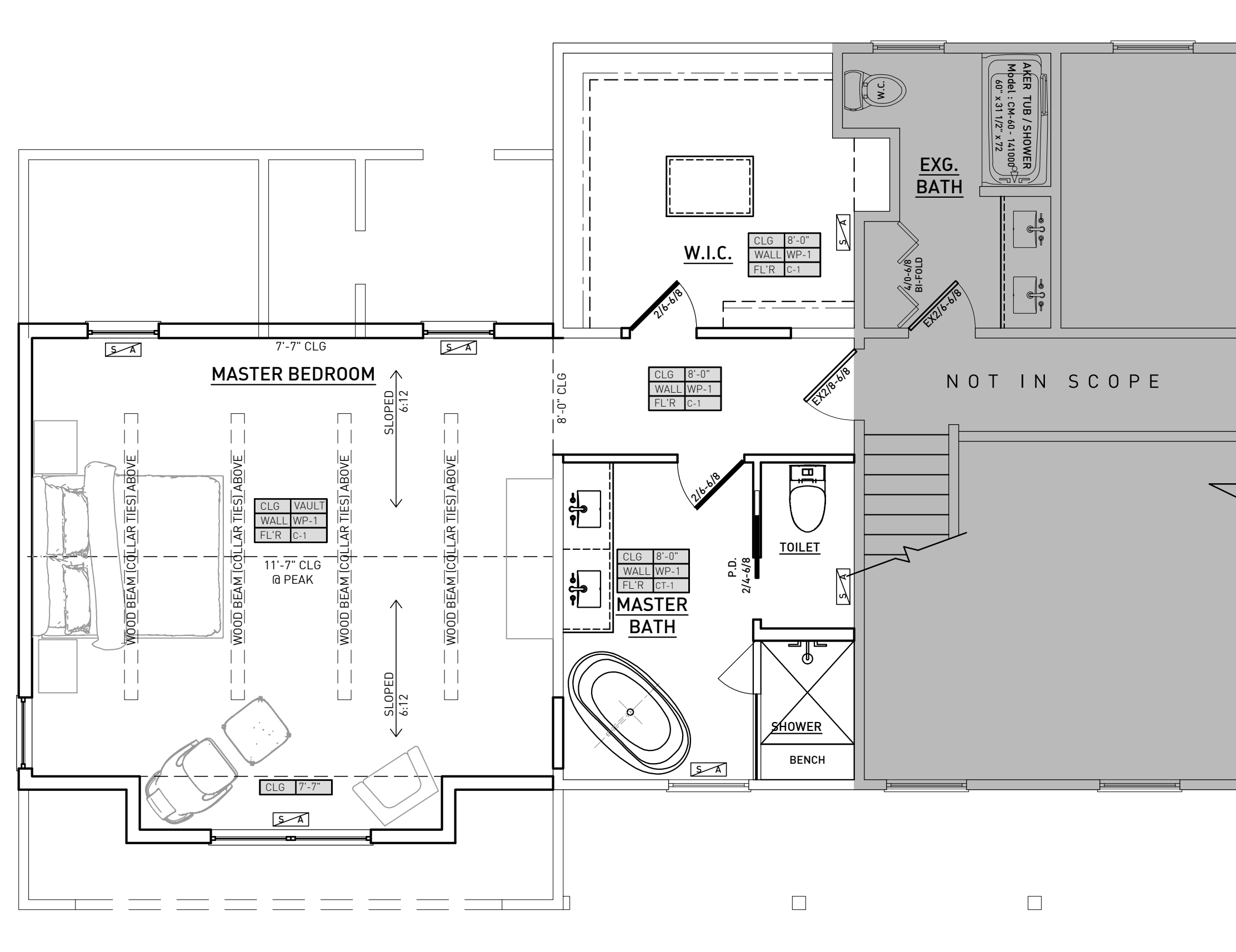
ELEVATIONS & SECTIONS

SHEET No.

A1



| DEMOLITION LEGEND | |
|---|--|
|  | REMOVE DOOR AND FRAME |
|  | REMOVE WINDOW AND FRAME. SET ASIDE WINDOW TO BE REUSED, AS OWNER REQUIRES. |
|  | REMOVE COUNTERTOPS AND BASE CABINETS, AND REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN. |
|  | REMOVE PLUMBING FIXTURE AND CAP OFF ALL PIPES AND DRAINS. |
|  | REMOVE INTERIOR PARTITIONS, EXPOSING AND TEMPORARILY SUPPORTING STRUCTURAL ELEMENTS. REPAIR DAMAGE TO ADJACENT SURFACES TO REMAIN. |
|  | REMOVE EXISTING SOFFIT |
|  | REMOVE EXTERIOR PARTITION AS REQUIRED FOR NEW CONSTRUCTION. |
|  | REMOVE FLOORING AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH. |
|  | REMOVE EXISTING SKYLIGHT AND INFILL, WITH STICK FRAMING, ATTIC INSULATION, AND FINISH WITH DRYWALL, CEILING. |
|  | REMOVE STORAGE SYSTEM. |
|  | |





FINISH SCHEDULE

| | |
|---|--|
| CT-1 CARPET STYLE: (NAME AND #) COLOR: TBD BY OWNER | WP-1 WALL PAINT (COLOR # AND NAME) [2] COATS PROGREEN 200 LATEX EG. SHELL AS MANUFACTURED BY [MANUFACTURER] |
| CT-1 CERAMIC TILE: CERAMIC TILE FLOOR STYLE: TBD BY OWNER COLOR: TBD BY OWNER | |
| WF-1 WOOD FLOOR: HARD WOOD FLOOR SPECIES: TBD BY OWNER STAIN: TBD BY OWNER | |
| LVP-1 LVP FLOOR: LUXURY VINYL PLANK STYLE: TBD BY OWNER COLOR: TBD BY OWNER | |





FINISH NOTES

1. ALL FLOORS TO BE LEVELED.
2. PROVIDE MOISTURE RESISTANT DRY WALL WITH IN AREAS OF WATER CLOSETS SHOWER, TUBS AND SINKS
3. DRYWALL SMOOTH FINISH ALL WALLS AND CEILING, UNLESS NOTED OTHERWISE.
4. NEW DOORS TO BE STAIN GRADE VENEER. VERIFY WITH HOME OWNER FOR STAIN COLOR.
5. CONTRACTOR TO PROVIDE WOOD STAIN SAMPLE TO HOME OWNER, BEFORE PROCEEDING WITH ORDERING OR APPLYING STAIN COLOR.
6. INSULATE AROUND WINDOW FRAMES AND SILLS
7. ALL FURNITURE N.I.C.

FLOOR PLAN NOTES

- | | | | |
|--|---|---|--|
| <p>GARAGE SPACE SHALL BE SEPARATED FROM LIVING AREA & ATTIC BY 1/2" GYPSPUM APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ROOMS ABOVE BY 5/8" TYPE X GYPSPUM [COMPLY W/ RCO R309.2]</p> <p>2. PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 50 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE [COMPLY W/ RCO R303.3]</p> <p>3. ROOF VENTS TO MEET 1:150 VENT AREA RATIO [COMPLY W/ RCO R806].</p> <p>4. INDEPENDENT METAL DRYER VENT SYSTEM W/ DAMPER TO BE INSTALLED. SYSTEM TO VENT MOISTURE DIRECTLY OUTDOORS [COMPLY W/ RCO M1501.1].</p> <p>5. ALL SLEEPING ROOMS MUST CONTAIN AN OPERABLE WINDOW OR DOOR WHICH WILL PROVIDE A MEANS OF EMERGENCY EGRESS W/ A MIN. 5.7 S.F. CLEAR OPENING [S.F. AT GRADE FLOOR] (24" MIN. CLEAR HGT. / 20" MIN. CLEAR WIDTH) [COMPLY W/ RCO R310].</p> | <p>6. FUEL-BURNING EQUIPMENT SHALL BE PROVIDED W/ A SUPPLY OF AIR FOR FUEL COMBUSTION, DRAFT HOOD DILUTION, AND VENTILATION OF THE SPACE IN WHICH THE EQUIPMENT IS INSTALLED [COMPLY W/ RCO].</p> <p>7. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" DRYWALL. [COMPLY W/ RCO R311.2.2]</p> <p>8. MINIMUM HEADROOM @ STAIRS SHALL BE 6'-8" MEASURED VERTICALLY FROM THE TREAD NOSING OR FROM THE FLOOR SURFACE OR LANDING PLATFORM. [COMPLY W/ RCO R311.5.2]</p> <p>9. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2" (4"). [COMPLY W/ RCO R311]</p> <p>10. PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS [COMPLY W/ RCO R503].</p> | <p>11. GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES (BALCONIES AND RAISED FLOORS MORE THAN 30" ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 34" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER. [COMPLY W/ RCO R312].</p> <p>12. FIREPLACE & EXHAUST- TO BE INSTALLED IN ACCORDANCE WITH LISTING AND MANUFACTURER'S INSTRUCTIONS. PROVIDE PROPER FIREPLACE CLEARANCES AS SPECIFIED IN SECT. R1001.15, R1003.12 AND R1003.13 IN THE RCO.</p> <p>13. LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED [COMPLY W/ RCO].</p> <p>14. PROVIDE TEMPERED GLASS IN ALL SPECIFIC HAZARDOUS LOCATIONS SPECIFIED IN SECT. R308.4 IN THE RCO.</p> | <p>15. AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT [COMPLY W/ RCO R807].</p> <p>16. PROVIDE MINIMUM (20' X10' W/ 12" PL WOOD FLITCH PLAT) AT ALL EXTERIOR WALL OPENING AND INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.</p> <p>17. PROVIDE MINIMUM OF (3) 2X4s AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND / OR SOLID BLOCKING</p> |
| <p style="text-align: center;">HVAC LEGEND</p> | | | |
| <p style="text-align: center;">  4X12 SUPPLY AIR  8X16 RETURN AIR </p> | | | |

| WALL | TYPE | LEGEND |
|------|------|--------|
|------|------|--------|

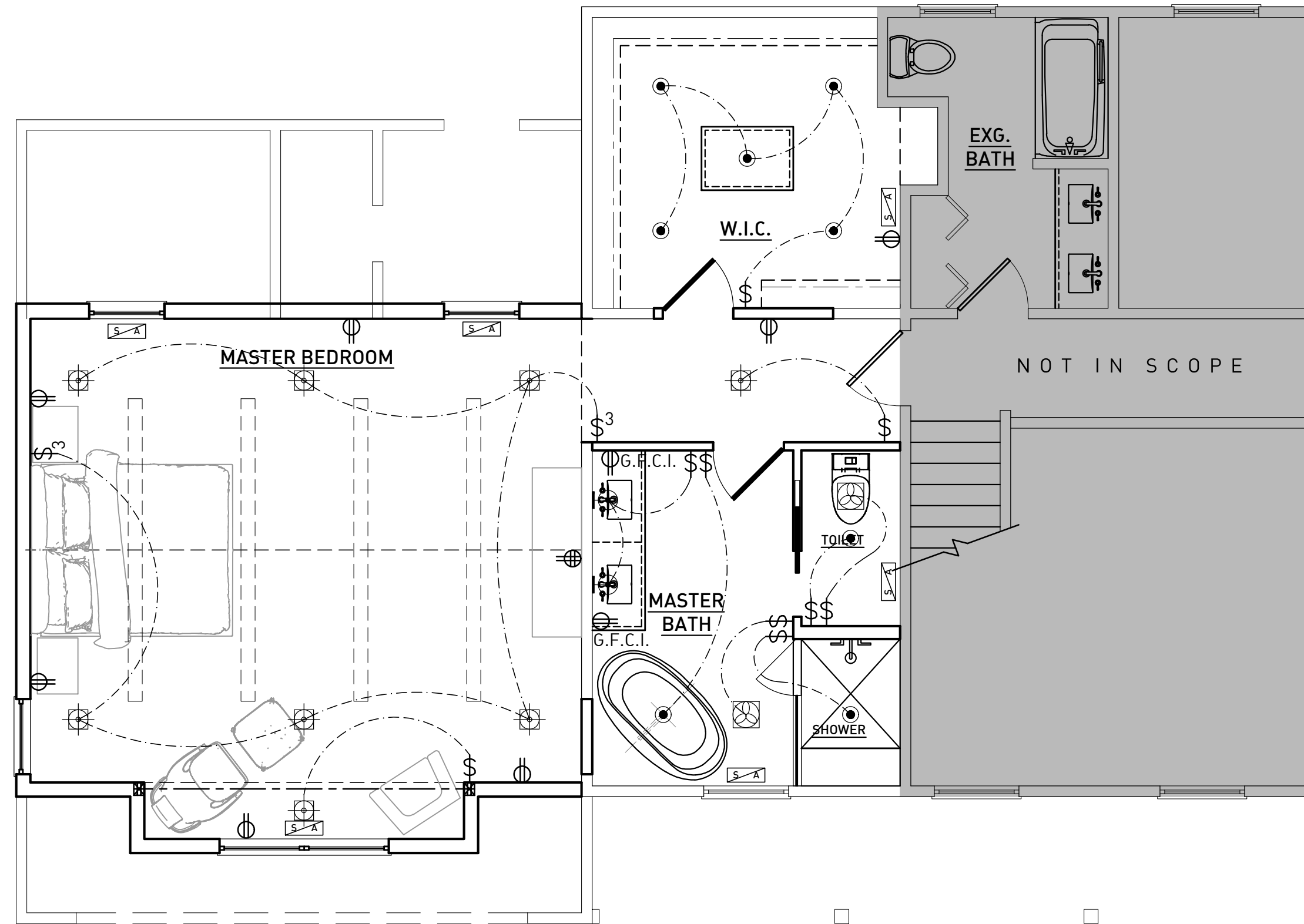
| | W | D | D | W | N |
|--|--|---|--|---|------------|
| |  |  |  |  | WALL HATCH |
| | INTERIOR 2X6 WALL: Z-CLP BOARD ON BOTH SIDES OF 2X6 WD STUDS @ 16" O.C. W/R-13 SOUND INSULATION | INTERIOR 2X6 WALL: Z-CLP BOARD ON BOTH SIDES OF 2X6 WD STUDS @ 16" O.C. | INTERIOR 2X6 WALL: Z-CLP BOARD ON BOTH SIDES OF 2X6 WD STUDS @ 16" O.C. W/R-13 SOUND INSULATION | EXTERIOR 2X6 WALL: Z-CLP BOARD W/HOUSE WRAP ON EXTERIOR SIDE OF 2X6 WD STUDS @ 16" O.C. W-CLP BOARD ON INTERIOR SIDE W/R-13 INSULATION | WALL TYPE |

S.F. AREA TABULATION

| Floors | AREA | SQ. FT. |
|-----------|-------------------------|------------|
| 2 | EXISTING SECOND LEVEL : | 965 s.f. |
| Bed rooms | EXISTING MAIN LEVEL : | 1,095 s.f. |
| 4 | RENOVATED SECOND LVL : | 328 s.f. |
| Baths | SECOND LEVEL ADDITION : | 371 s.f. |
| 2½ | TOTAL LIVABLE SF: _____ | 2,431 s.f. |
| Garage | EXG 2 CAR GARAGE : | 484 s.f. |
| 2 | | |
| | | |
| | | |

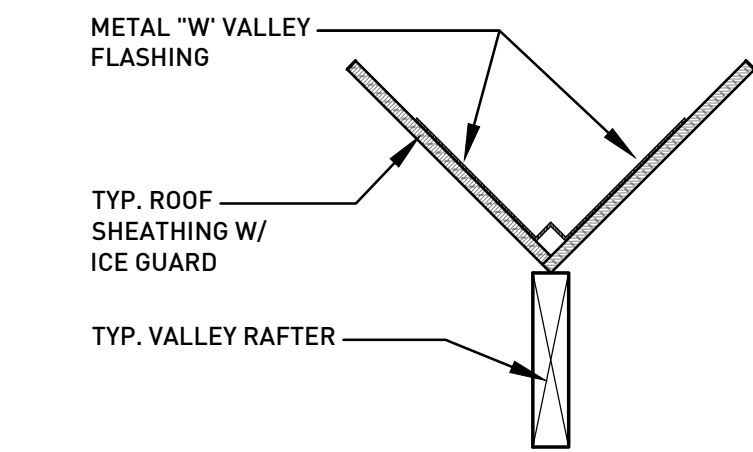
LIVABLE AREA CALCULATIONS ARE MADE FROM THE OUTSIDE FACE OF EXTERIOR WALLS. STAIRWELLS AND FIREPLACE AREAS ARE INCLUDED

NON LIVABLE AREAS-
GARAGES, VERANDA, DECKS, PATIOS, AND EXTERIOR
PORCHES AREAS

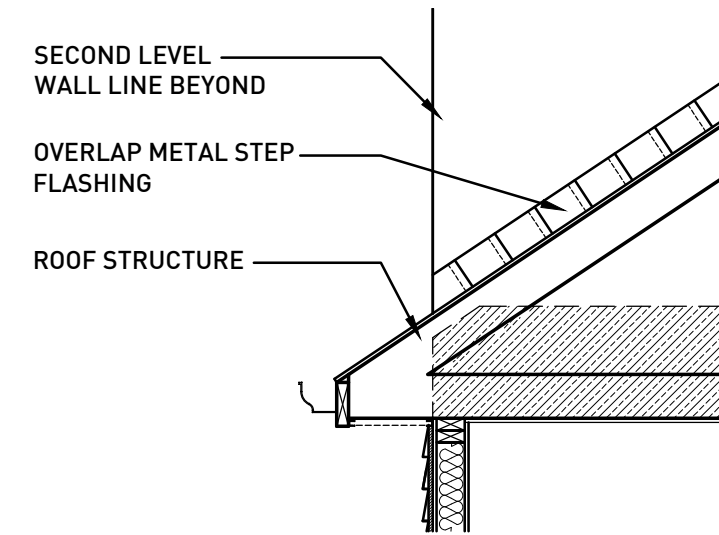


ELECTRICAL CONTRACTOR
TO USE EXISTING CIRCUITS
FROM FORMER MASTER
BEDROOM AND BATHROOM
FOR NEW POWER AND
LIGHTING

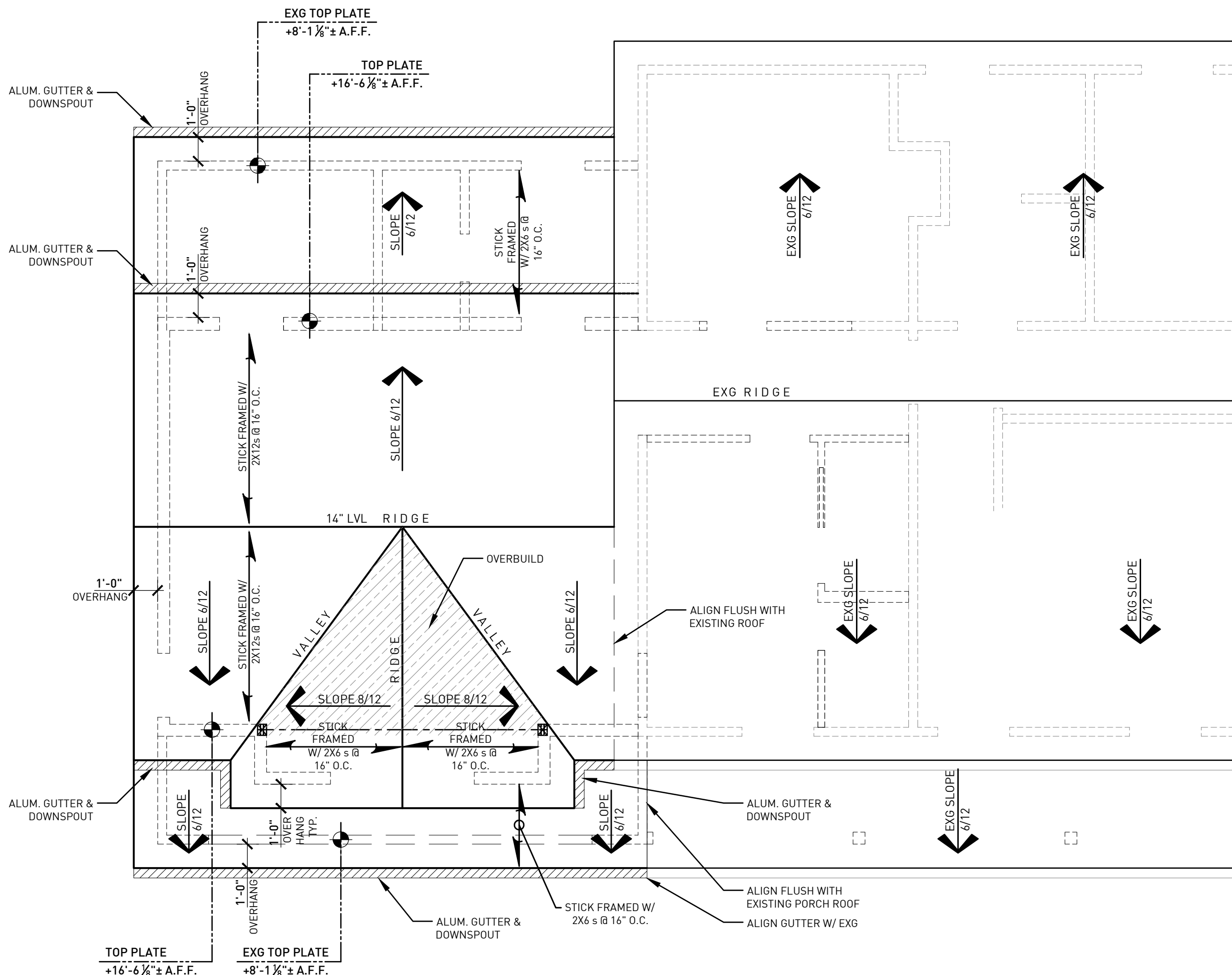
A SCALE: 1/2" = 1'-0"
A4 SECOND LEVEL POWER & LIGHTING PLAN



C SCALE: 1/2" = 1'-0"
A4 FLASHING DETAIL
@ TYPICAL VALLEY



D SCALE: 1/2" = 1'-0"
A4 DETAIL
@ STEP FLASHING



B SCALE: 1/2" = 1'-0"
A4 ROOF PLAN

ELECTRICAL NOTES

- PROVIDE BATHROOM EXHAUST FANS WITH A MINIMUM VENTILATION RATE OF 75 CFM. EXHAUST FANS TO BE VENTED DIRECTLY TO THE OUTSIDE (COMPLY W/ IRC section 1504.2)
- INTERCONNECTED SMOKE DETECTORS TO BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SLEEPING AREA AND ON EACH ADDITIONAL STORY. SMOKE DETECTOR'S PRIMARY WIRING SHALL BE BUILDING POWER WITH BATTERY BACKUP. (COMPLY W/ IRC R314.31)
- LIGHT FIXTURES IN CLOSETS (INCANDESCENT AND FLUORESCENT) SHALL BE ENCLOSED (COMPLY W/ RCOI).

POWER SYMBOLS

| SYMBOL | DESCRIPTION |
|--------|--|
| | DUPLEX RECEPTACLE: AFCI PROTECTION STANDARD PER CODE |
| | G.F.C.I. DUPLEX RECEPTACLE |
| | 240-VOLT RECEPTACLE |
| | QUADRUPLEX RECEPTACLE |
| | SINGLE POLE SWITCH/ 3-WAY POLE SWITCH |
| | FLOOR MOUNTED DUPLEX RECEPTACLE |
| | DATA/PHONE JACK |
| | EXHAUST FAN TO EXTERIOR OF HOUSE (OPTIONAL LIGHT VERIFY W/ OWNER) |
| | SMOKE DETECTOR INTER CONNECTED & CO2 DETECTOR |

LIGHTING SYMBOLS

| SYMBOL | DESCRIPTION |
|--------|---|
| | 6" RECESSED CEILING CAN LED |
| | 4" RECESSED CEILING CAN LED |
| | CEILING MOUNTED LIGHT FIXTURE |
| | WALL MOUNTED LITE FIXTURE |
| | SPOT LIGHTS W/ MOTION SENSOR |
| | CEILING MOUNTED 1X2 LED LIGHT FIXTURE |
| | WALL MOUNTED SCONCE LIGHT |
| | FLORESCENT LIGHT FIXTURE |
| | CEILING FAN (OPTIONAL LIGHT VERIFY W/ OWNER) |

DESIGN CRITERIA

- STRUCTURAL DESIGN STANDARDS: OBC (CURRENT EDITION).
- FLOOR LIVE LOADS:
MAIN FLOOR = 100 PSF (SLAB ON GRADE)
- ROOF LIVE LOADS:
MINIMUM = 20 PSF
SNOW = 25 PSF + DRIFT (PER ASCE 7)
Pg = 20 PSF
- WIND LOAD:
BASIC WIND SPEED (3 SEC GUST) = 90 MPH
- EARTHQUAKE LOAD:
Ie = 1.0 (SEISMIC GROUP I)
Sds = 0.20g
Sdi = 0.093g
SITE CLASS = D (STIFF SOIL PROFILE)
BASIC SEISMIC FORCE RESISTING SYSTEM = LOAD BEARING MASONRY WALL
EQUIVALENT LATERAL FORCE PROCEDURE BASE SHEAR (V) = 20 KIPS (ROOF LEVEL)

ROOFING NOTES

- ALL ROOF PENETRATIONS (i.e. SOIL PIPE, ECT...) TO BE PAINTED TO MATCH ASPHALT SHINGLE ROOF COLOR.
- ASPHALT SHINGLE ROOF TO HAVE 15# ROOFING PAPER.
- ALL VALLEYS AND EAVES TO HAVE 3'-0" MINIMUM "ICE-GUARD" @ ALL LOCATIONS.
- ICE GUARD IS TO BE AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING BELOW THE ROOF AT THE ENTIRE PERIMETER FROM THE EAVES EDGE.
- TIE-IN ALL DOWNSPOUTS TO STORM SEWER SYSTEM. PER SITE DWG.

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Addition for :
G O R G

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JOB NUMBER:

2344

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SHEET DESCRIPTION:

**ELECTRICAL
SCHEMATIC AND
ROOF PLAN**

SHEET No.

A4

