

Approved
11/25/2025
Zoning Certificate #:
25-986

SITE IMPROVEMENT PLAN

SITUATED IN THE CITY OF HUDSON, COUNTY OF SUMMIT AND STATE OF OHIO AND KNOWN AS BEING SUBLLOT 6 IN THE COTTAGES AT PINE RIDGE SUBDIVISION AS SHOWN BY THE RECORDED PLAT IN DOC. No. 56917549 OF SUMMIT COUNTY RECORDS.

FOR: THE FOLEY RESIDENCE
BUILDER: PRESTIGE BUILDER GROUP
20 PARK LEDGE LANE
PENINSULA, OHIO 44264
PHONE: 330-802-8772

SITE INFO: P.N. 30-10428 (S/L 6)
6050 PINE RIDGE TR.
HUDSON, OHIO 44236

P.N. 30-10427
BLOCK "A"
57.0726 Ac.
GVI, LLC

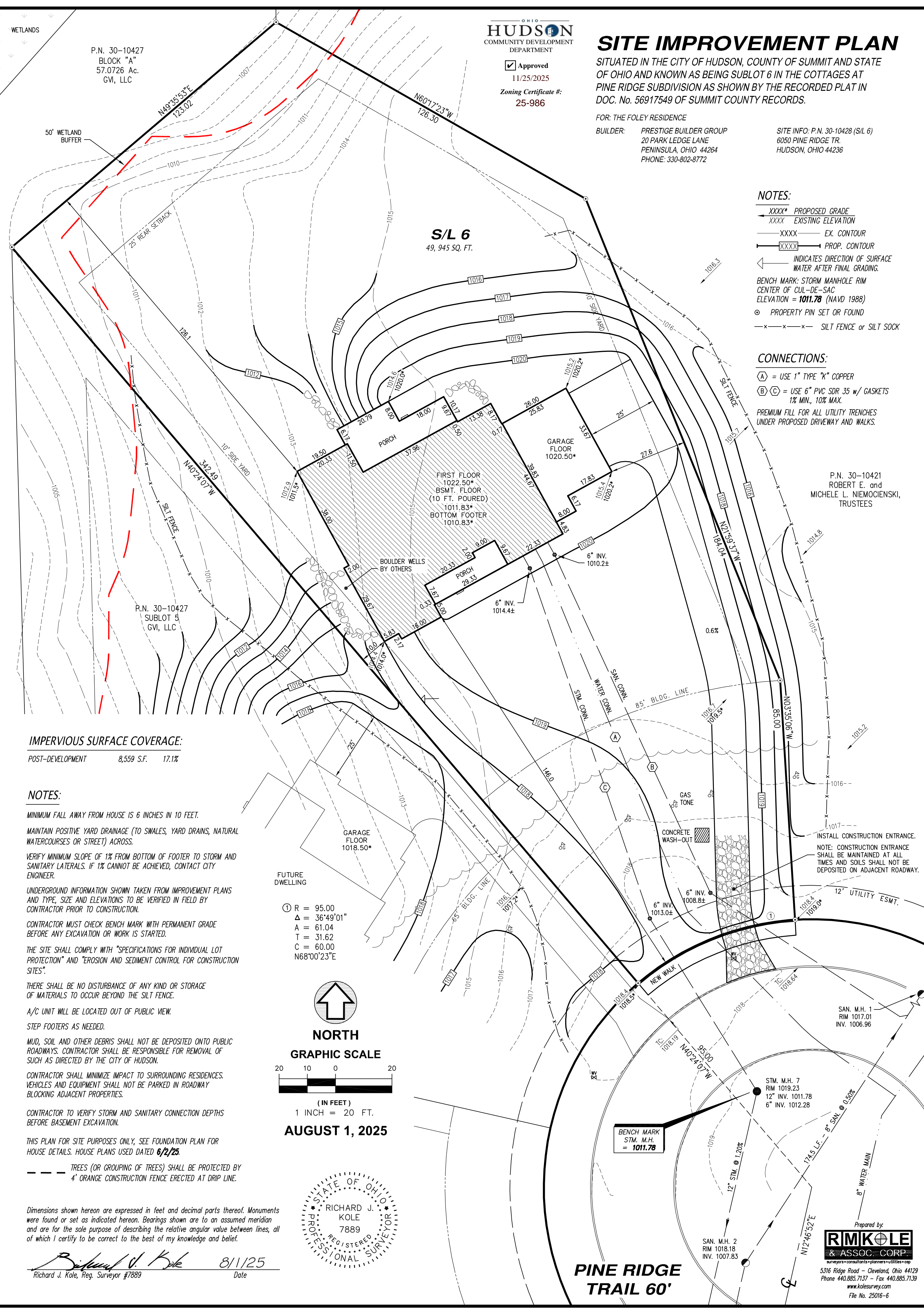
NOTES:

- XXXX* PROPOSED GRADE
- XXXX EXISTING ELEVATION
- XXXX EX. CONTOUR
- XXXX PROP. CONTOUR
- INDICATES DIRECTION OF SURFACE WATER AFTER FINAL GRADING.
- BENCH MARK: STORM MANHOLE RIM CENTER OF CUL-DE-SAC ELEVATION = 1011.78 (NAVD 1988)
- PROPERTY PIN SET OR FOUND
- SILT FENCE or SILT SOCK

CONNECTIONS:

- (A) = USE 1" TYPE "K" COPPER
- (B) (C) = USE 6" PVC SDR 35 w/ GASKETS 1% MIN., 10% MAX.
- PREMIUM FILL FOR ALL UTILITY TRENCHES UNDER PROPOSED DRIVEWAY AND WALKS.

P.N. 30-10421
ROBERT E. and
MICHELE L. NIEMOCIENSKI,
TRUSTEES



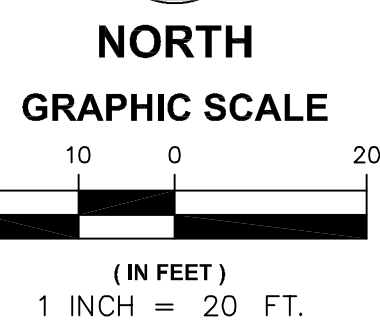
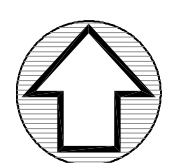
IMPERVIOUS SURFACE COVERAGE:

POST-DEVELOPMENT 8,559 S.F. 17.1%

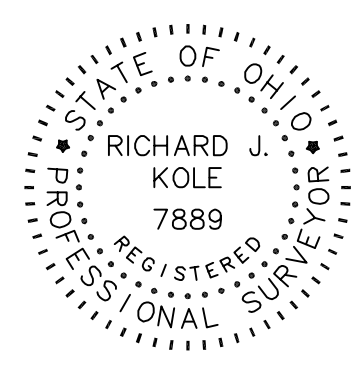
NOTES:

- MINIMUM FALL AWAY FROM HOUSE IS 6 INCHES IN 10 FEET.
- MAINTAIN POSITIVE YARD DRAINAGE (TO SWALES, YARD DRAINS, NATURAL WATERCOURSES OR STREET) ACROSS.
- VERIFY MINIMUM SLOPE OF 1% FROM BOTTOM OF FOOTER TO STORM AND SANITARY LATERALS. IF 1% CANNOT BE ACHIEVED, CONTACT CITY ENGINEER.
- UNDERGROUND INFORMATION SHOWN TAKEN FROM IMPROVEMENT PLANS AND TYPE, SIZE AND ELEVATIONS TO BE VERIFIED IN FIELD BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR MUST CHECK BENCH MARK WITH PERMANENT GRADE BEFORE ANY EXCAVATION OR WORK IS STARTED.
- THE SITE SHALL COMPLY WITH "SPECIFICATIONS FOR INDIVIDUAL LOT PROTECTION" AND "EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES".
- THERE SHALL BE NO DISTURBANCE OF ANY KIND OR STORAGE OF MATERIALS TO OCCUR BEYOND THE SILT FENCE.
- A/C UNIT WILL BE LOCATED OUT OF PUBLIC VIEW.
- STEP FOOTERS AS NEEDED.
- MUD, SOIL AND OTHER DEBRIS SHALL NOT BE DEPOSITED ONTO PUBLIC ROADWAYS. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF SUCH AS DIRECTED BY THE CITY OF HUDSON.
- CONTRACTOR SHALL MINIMIZE IMPACT TO SURROUNDING RESIDENCES. VEHICLES AND EQUIPMENT SHALL NOT BE PARKED IN ROADWAY BLOCKING ADJACENT PROPERTIES.
- CONTRACTOR TO VERIFY STORM AND SANITARY CONNECTION DEPTHS BEFORE BASEMENT EXCAVATION.
- THIS PLAN FOR SITE PURPOSES ONLY, SEE FOUNDATION PLAN FOR HOUSE DETAILS. HOUSE PLANS USED DATED 6/2/25.
- TREES (OR GROUPING OF TREES) SHALL BE PROTECTED BY 4' ORANGE CONSTRUCTION FENCE ERECTED AT DRIP LINE.

① R = 95.00
Δ = 36°49'01"
A = 61.04
T = 31.62
C = 60.00
N68°00'23"E



AUGUST 1, 2025



Richard J. Kole 8/1/25
Richard J. Kole, Reg. Surveyor #7889 Date

PINE RIDGE TRAIL 60'

Prepared by:
RMKOLE & ASSOC. CORP.
surveys • consultants • planners • utilities • esp
5316 Ridge Road - Cleveland, Ohio 44129
Phone 440.885.7137 - Fax 440.885.7139
www.kolesurvey.com
File No. 25016-6

Approved

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To whom it may concern,

I hereby have given Prestige Builder Group permission to perform grading work on my property to allow a swale to be constructed between my property and the parcel they are currently proposing to construct on lot 6 in the Cottages at Pine Ridge. The proposed grading work will eliminate the ponding of water in a low area located along my westerly property line which currently exists and allows me to better maintain my front yard.

Please feel free to reach out to me with any questions or Chris Brown at Prestige Builder Group.

Best Regards,



Bob Niemocienski
525 West Streetsboro Street
Hudson, OH. 44026
(Cell) 330-256-7606



ROBYN D. JONES
Notary Public, State of Ohio
My Commission Expires
March 28, 2029



FRONT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY



REAR ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER.

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER.

1st floor | 3,949 sq. ft.
total | 3,949 sq. ft.
Overall Dimensions: 100'-0" x 76'-0"

CUSTOM DESIGN FOR:
THE FOLEY RESIDENCE
6050 PINE RIDGE TRAIL, HUDSON, OH 44236
JOB# CPR6

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
FRONT AND REAR ELEVATION
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR
CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF
PRESTIGE BUILDER GROUP.

DRAWN BY: MAP
DATE: 10/11/2024
R1 1/7/2025 TJH
R2 2/3/2025 TJH
R3 4/11/2025 TJH
R4 4/22/2025 TJH
R5 4/24/2025 TJH
R6 5/23/2025 JPL
R7 6/10/2025 TJH
R8 7/21/2025 MAP
R9 7/29/2025 MAP

LIVING AREA: 3,949 SQ. FT. SCALE: 1/4" = 12"



RIGHT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY



NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER

LEFT ELEVATION
DRAFTSMAN RENDERING - GRADE MAY VARY

NOTE:
BOULDER WELL AREA
BY BUYER'S LANDSCAPER

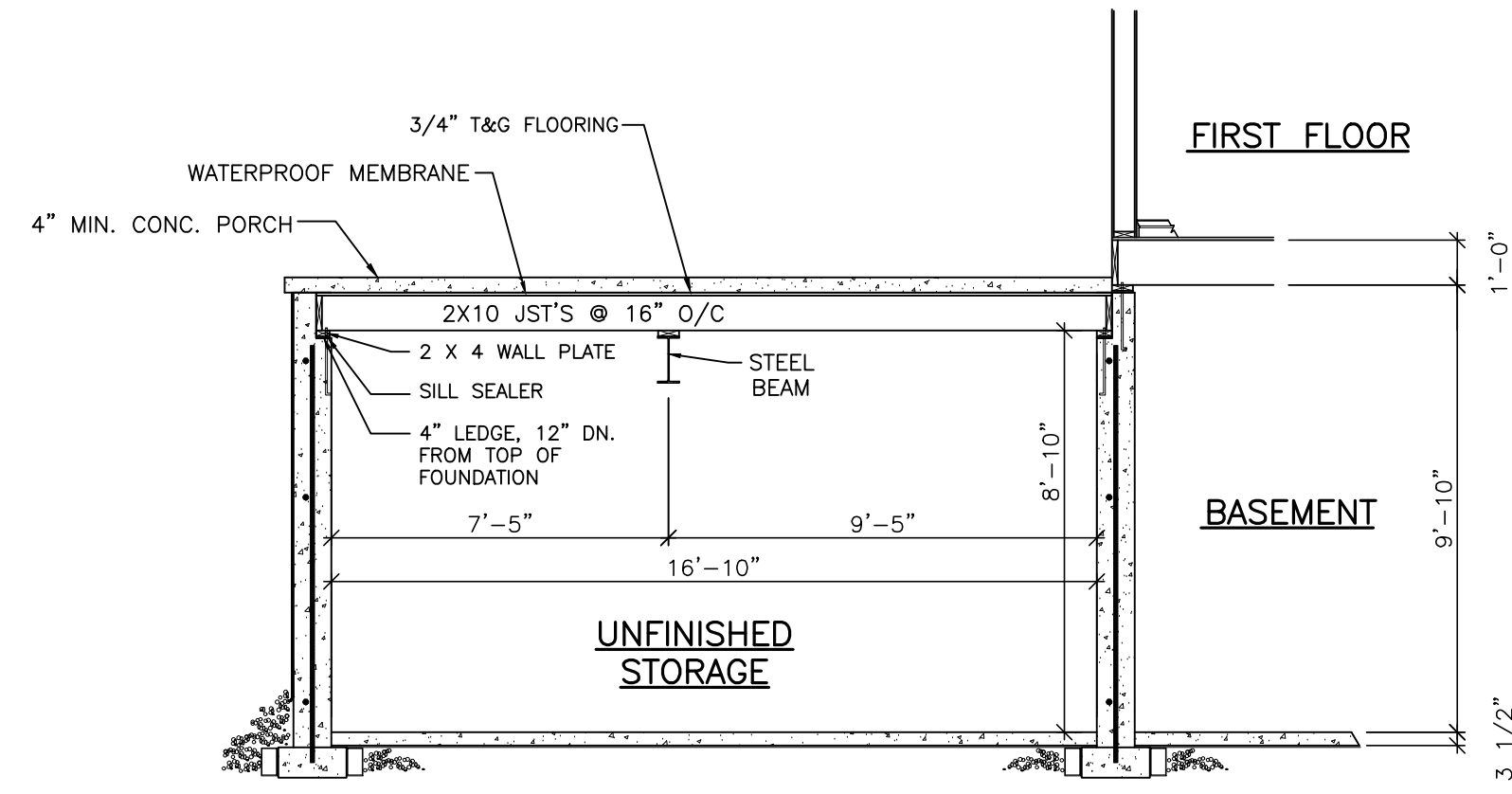
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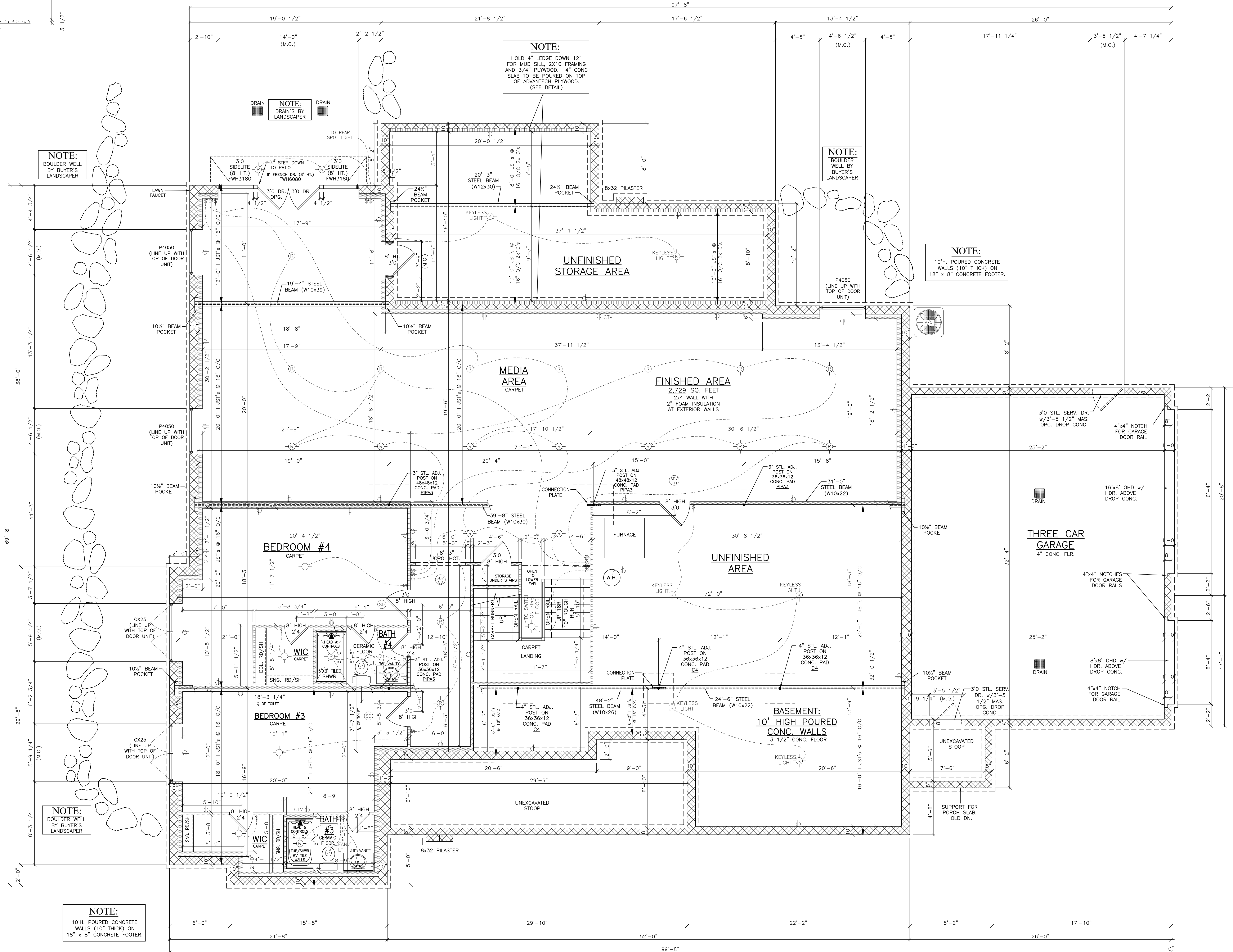
CUSTOM PLAN
SIDE ELEVATIONS
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DATE: 10/11/2024

R1	1/7/2025	TJH
R2	2/3/2025	TJH
R3	4/11/2025	TJH
R4	4/22/2025	TJH
R5	4/24/2025	TJH
R6	5/23/2025	JPL
R7	6/10/2025	TJH
R8	7/21/2025	MAP
R9	7/29/2025	MAP



WALL SECTION AT UNFINISHED STORAGE IN BASEMENT
SCALE: 1/4" = 1'-0"



NOTE:

- 1 FULL STONE BAND
- 2 FOUNDATION PERIMETER = 306'-0"
- 3 ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT, EXCEPT AS NOTED.

NOTE:
10" H. POURED CONCRETE WALLS (10" THICK) ON 18" x 8" CONCRETE FOOTER.

ELECTRICAL NOTES:
400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS PARALLEL & UNDERGROUND
BRANCH CIRCUITS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 210.8
BRANCH CIRCUITS SHALL BE AFCI PROTECTED IN ACCORDANCE WITH NEC 210.12
ARC FAULTS SHALL BE PER NEC 210.16
OUTLETS TO BE TAMPER-RESISTANT PER NEC 406.12
GROUND TO USER AND COPPER WATER LINE ENTERING THE HOUSE

NOTE:
2019 RESIDENTIAL CODE OF OHIO ENERGY METHOD USED = OSHA PATH #1 (CHAPTER 11 SECTION 1112) (INCLUDING ALL MANDATORY REQUIREMENTS)

NOTE:
HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF RCO 311.7.7 AND RCO 512
WALL BRACING FOR ALL EXTERIOR WALLS TO BE 7/16" O.S.B. CONTINUOUS WALL SHEATHING SECURED WITH 1 3/4" LONG CROWN STAPLES
COLD AIR RETURN IN EVERY ROOM AS REQUIRED
SCHEDULE 40 PVC PIPING FOR DRAINS AND PEK LINES FOR WATER LINES THROUGH THE HOUSE

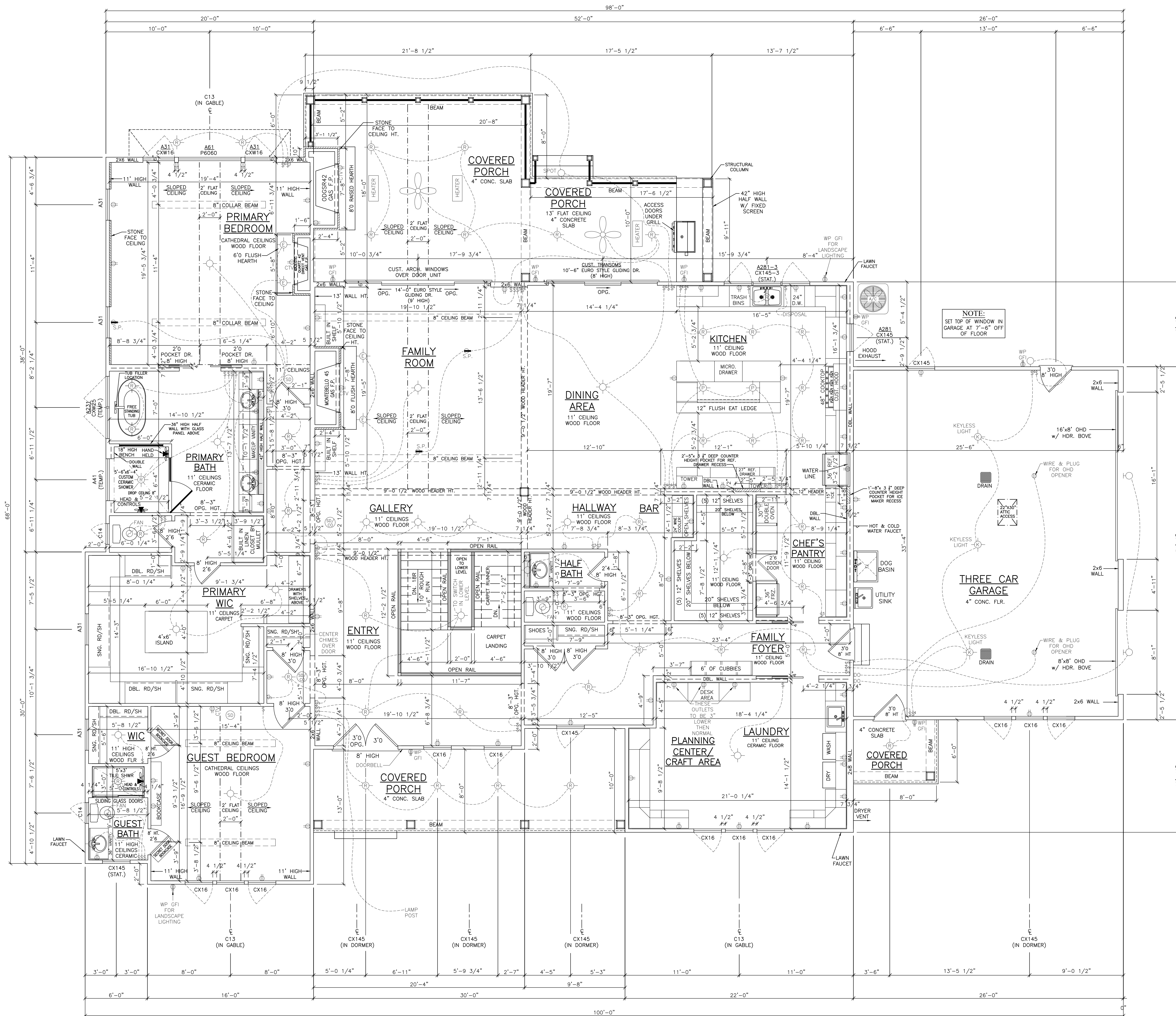
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CUSTOM PLAN
FOUNDATION PLAN
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R2	2/3/2025	TJH
R3	4/11/2025	TJH
R4	4/22/2025	TJH
R5	4/24/2025	TJH
R6	5/23/2025	JPL
R7	6/10/2025	TJH
R8	7/21/2025	MAP
R9	7/29/2025	MAP

CUSTOM DESIGN FOR:
THE FOLEY RESIDENCE
6050 PINE RIDGE TRAIL, HUDSON, OH 44236
JOB# CPR6



DOOR SCHEDULE:

6'-0" FRONT DOOR DBL. 3'0" DR. (8' HIGH)	6'-3 5/8" X 8'-3 1/2"
3'0" SERV. DOOR (8' HIGH)	3'-2 1/2" X 8'-3 1/2"
CUSTOM TRANSOM/10'-6" GLIDING PATIO DOOR (8' HIGH)	11'-6" X 10'-0 7/8"
(3) 3'-6" PANELS	
14'-0" GLIDING PATIO DOOR (9' HIGH)	14'-0" X 9'-0"
(4) 3'-6" PANELS	
CUSTOM TRANSOM/PW6080	3'-1" X 10'-0 7/8"

WINDOW SCHEDULE: (ANDERSEN)
U-FACTOR = .32

CX145	2'-8" X 4'-5 3/8"
CX16	2'-8" X 6'-0 3/8"
C13	2'-0 5/8" X 3'-0 1/2"
A281-2/CX145-2	5'-3 5/8" X 6'-5 9/16"
A281-4/ CX145-4	10'-7 7/8" X 6'-5 9/16"
P3030-2/CXW16-2	6'-0 1/2" X 9'-0 7/16"
P3030/CXW16	3'-0 1/2" X 9'-0 7/16"
A31/CXW16	3'-0 1/2" X 8'-0 5/8"
A61/P6060	6'-0 3/8" X 8'-0 5/8"
A31	3'-0 1/2" X 2'-0 5/8"
A231/P6050	6'-0 1/8" X 7'-0 5/8"
A41	4'-0 1/2" X 2'-0 5/8"
C14	2'-0 5/8" X 4'-0 1/2"
CUSTOM ARCH WINDOWS	(SEE DETAIL PAGE)

NOTE:

- 11' CEILINGS ON FIRST FLOOR, EXCEPT WHERE NOTED.
- FIRST FLOOR SQ. FEET = 3,949
- PERIMETER = 308'-0"
- GARAGE SQUARE FEET = 884
- ALL 8'-0" HIGH SOLID CORE INTERIOR DOOR HEIGHT ON FIRST FLOOR EXCEPT AS NOTED.

ELECTRICAL NOTES:

400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
PARALLEL @
UNDERGROUND

BRANCH CIRCUITS SHALL BE GFCI PROTECTED IN ACCORDANCE WITH NEC 210.8

BRANCH CIRCUITS SHALL BE AFCI PROTECTED IN ACCORDANCE WITH NEC 210.12

ARC FAULTS SHALL BE PER NEC 210.16

OUTLETS TO BE TAMPER-RESISTANT PER NEC 406.12

GROUND TO USER AND COPPER WATER LINE ENTERING THE HOUSE.

NOTE:

2019 RESIDENTIAL CODE OF OHIO ENERGY METHOD USED = OTHER PATH #1 (CHAPTER 11 SECTION 1112) (INCLUDING ALL MANDATORY REQUIREMENTS)

NOTE:

HANDRAILS AND GUARDS SHALL MEET THE REQUIREMENTS OF IRC 311.7.7 AND IRC 312

WALL BRACING FOR ALL EXTERIOR WALLS TO BE 7/16" O.S.B. CONTINUOUS WALL SHEATHING SECURED WITH 1 3/4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX LINES FOR WATER LINES THROUGH THE HOUSE

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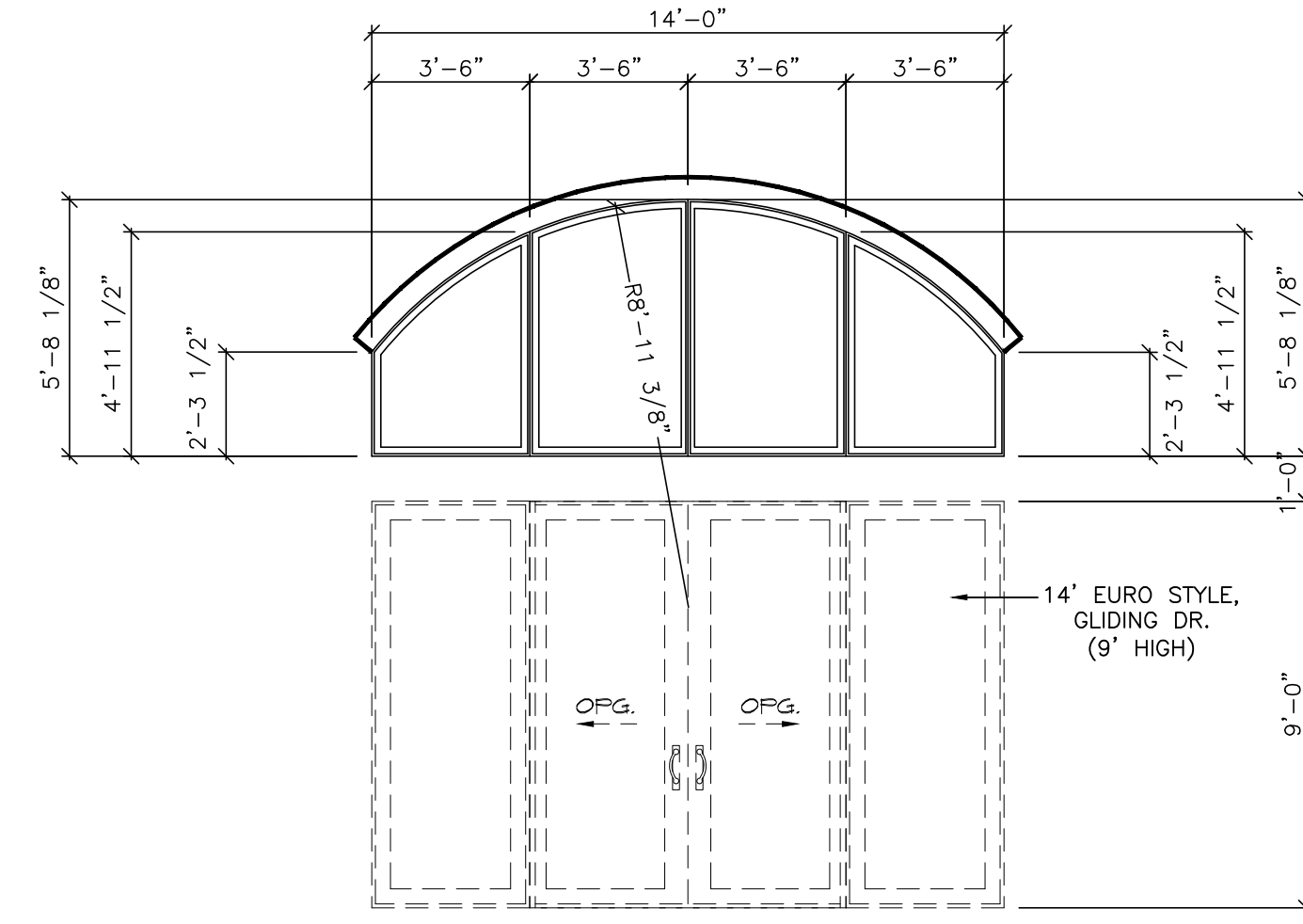
CUSTOM PLAN
FIRST FLOOR PLAN

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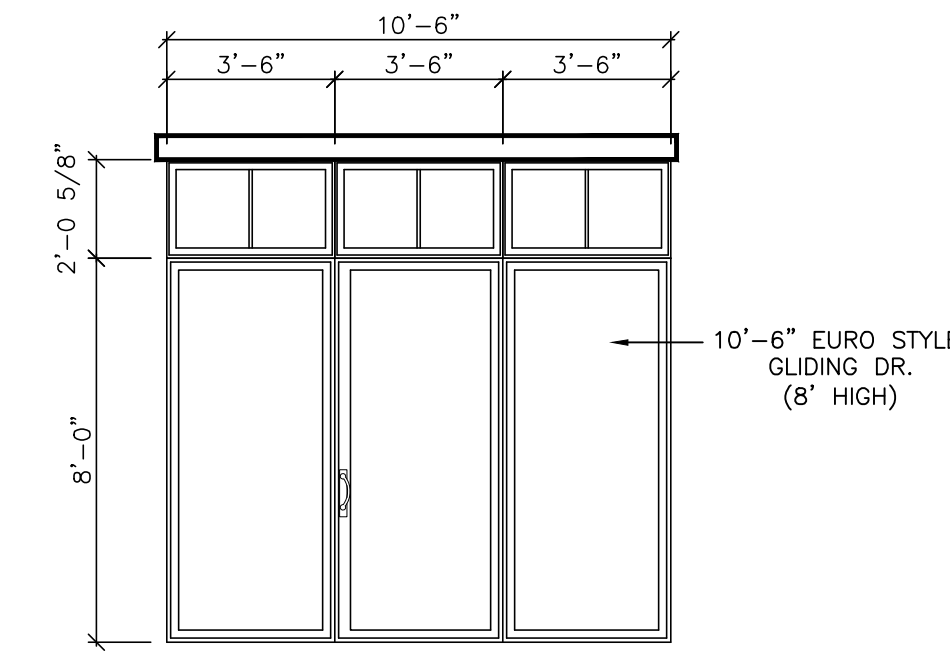
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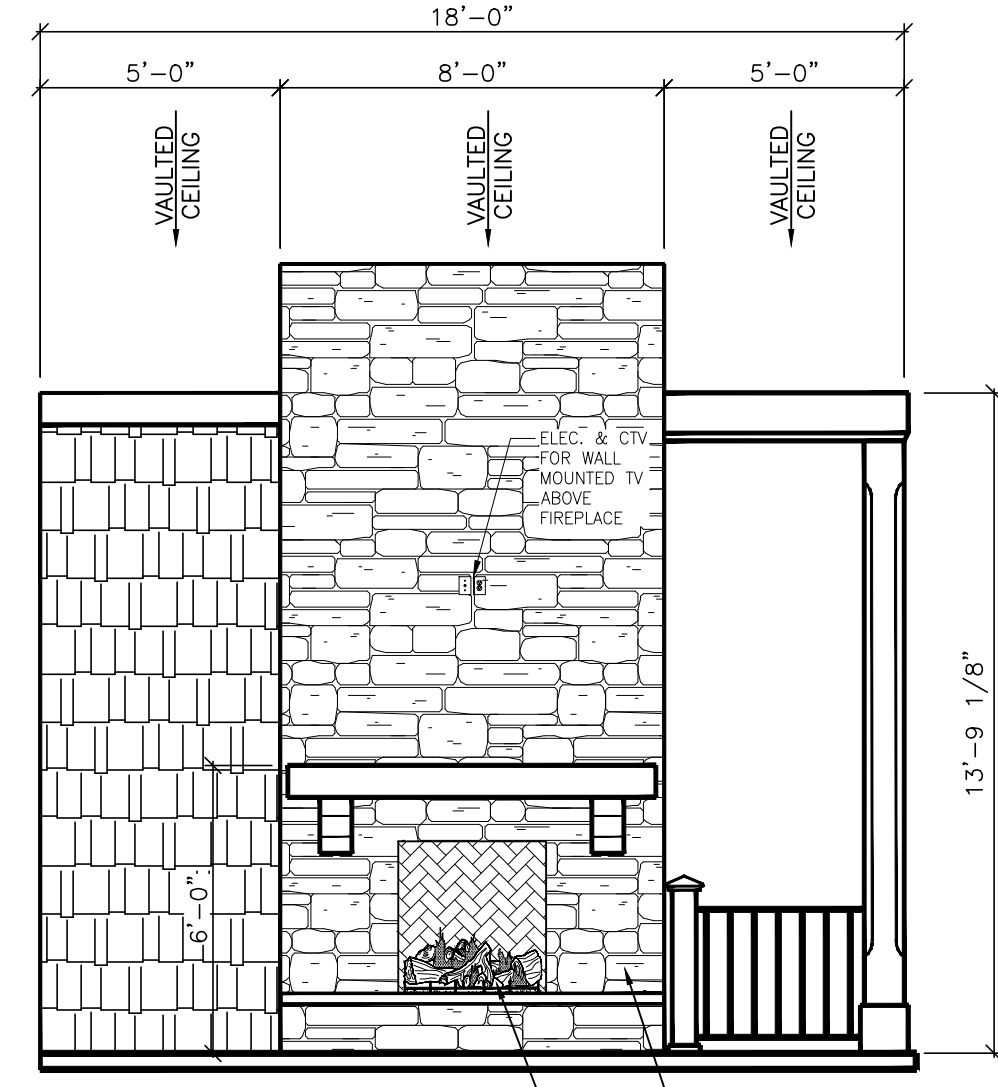
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JOB# CPR6



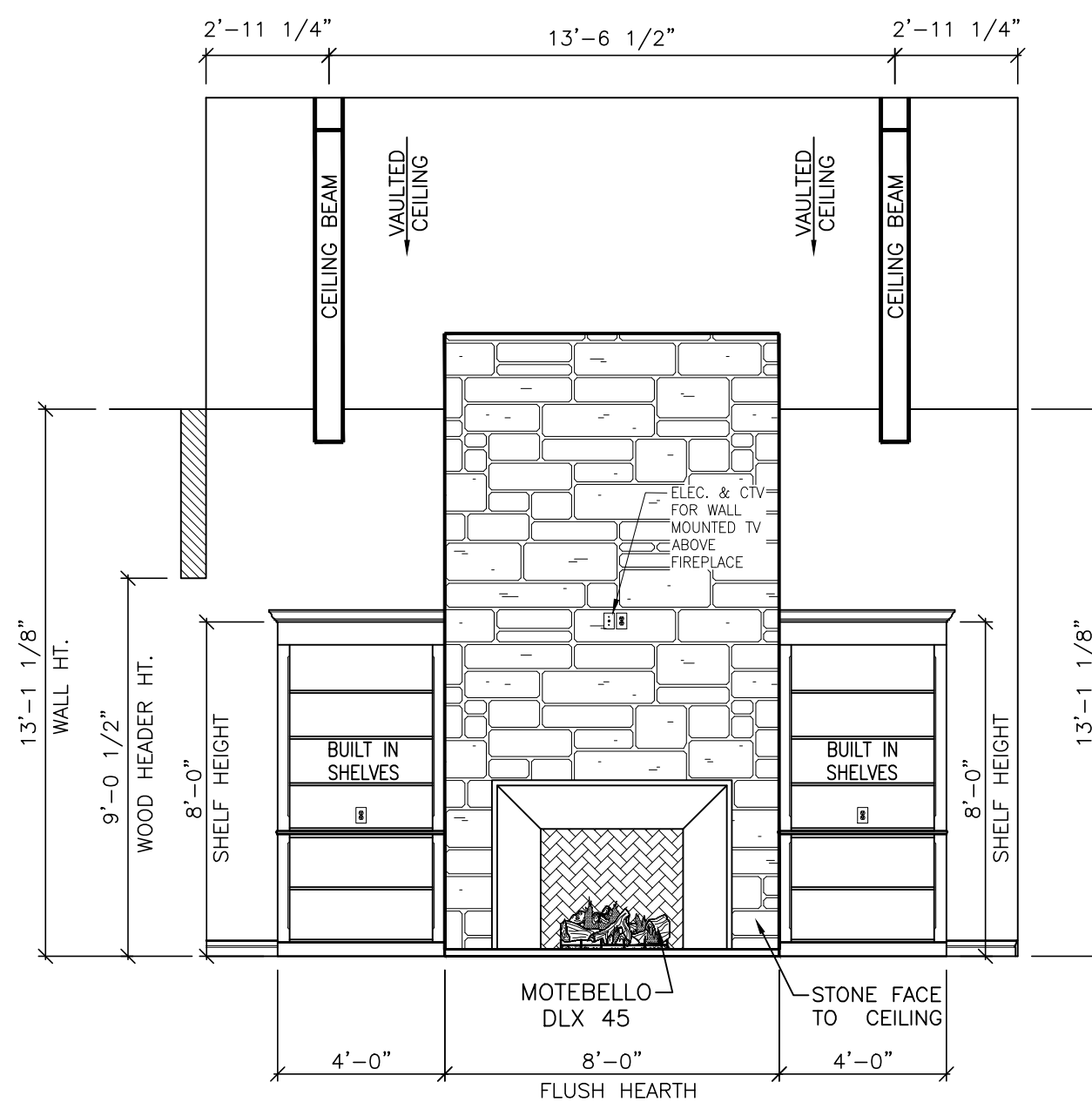
DETAIL OF ARCHED WINDOWS
AT FAMILY ROOM
SCALE: 1/4" = 1'-0"



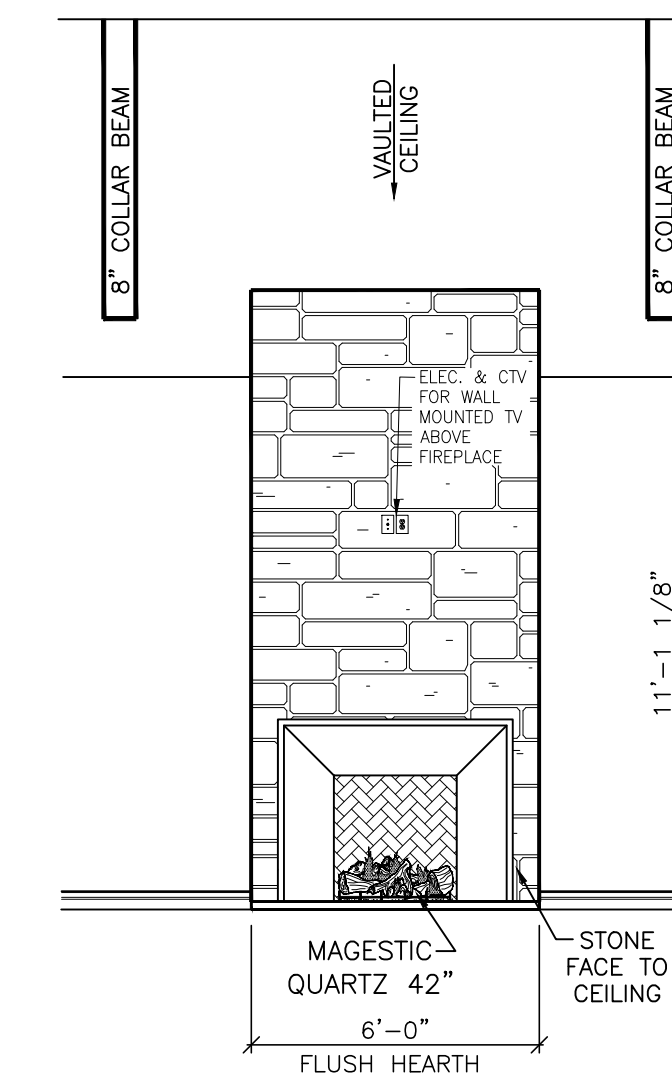
DETAIL OF DINING AREA
DOOR AND TRANSOMS
SCALE: 1/4" = 1'-0"



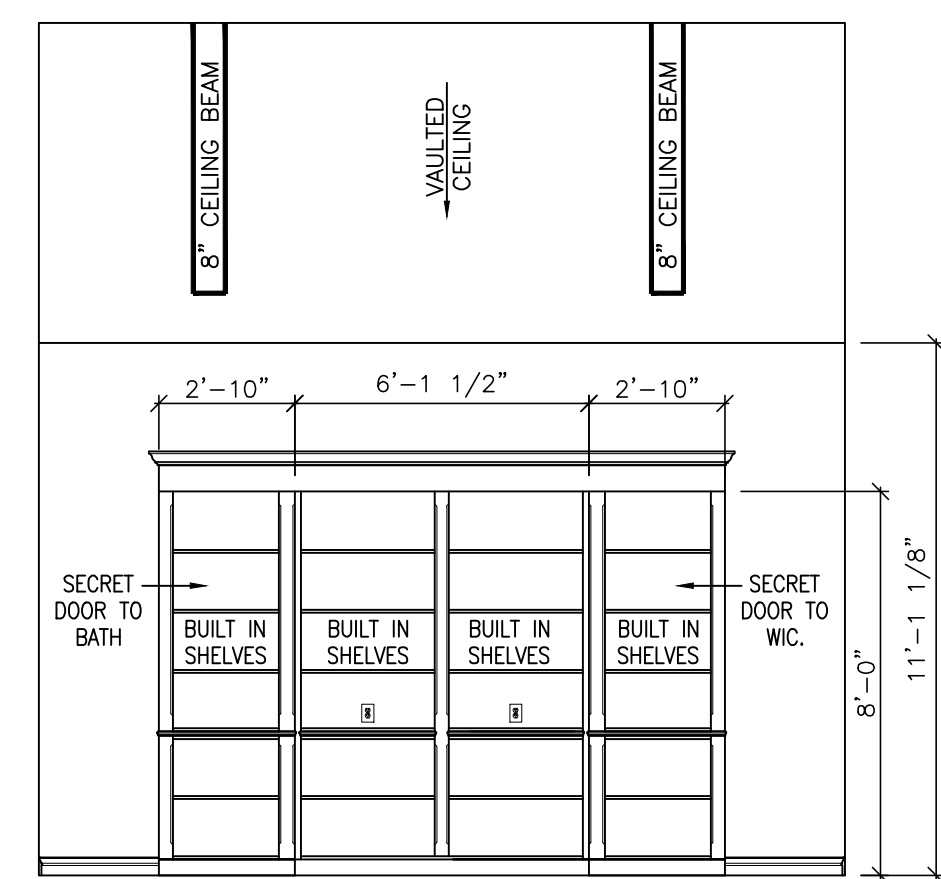
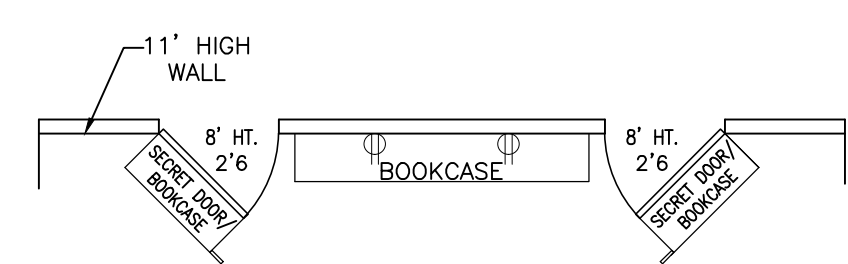
DETAIL OF COVERED PORCH
FIREPLACE FACE
SCALE: 1/4" = 1'-0"



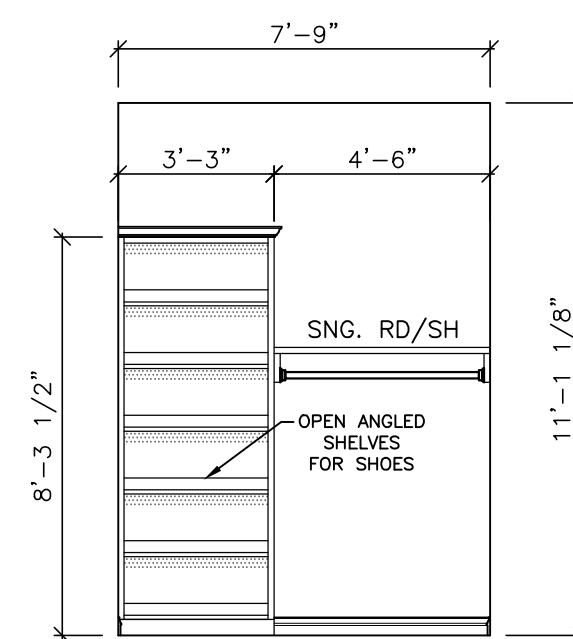
DETAIL OF FAMILY ROOM
FIREPLACE FACE
SCALE: 1/4" = 1'-0"



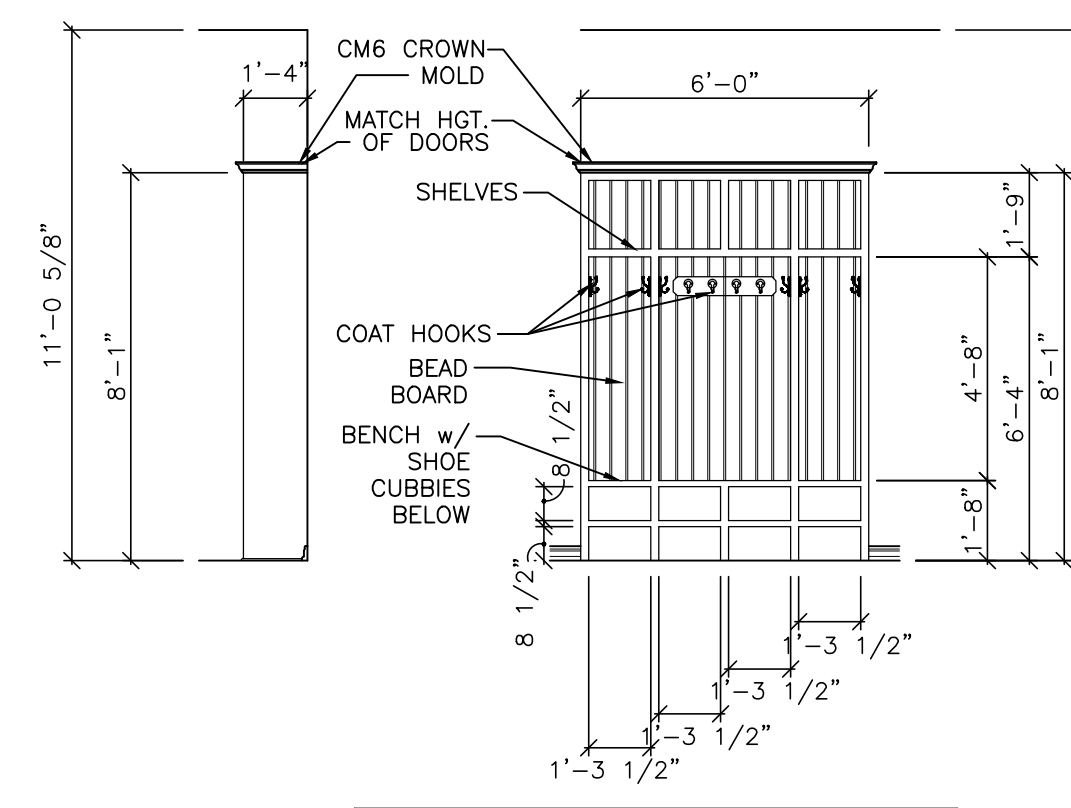
DETAIL OF PRIMARY
BEDROOM FIREPLACE FACE
SCALE: 1/4" = 1'-0"



DETAIL OF GUEST BEDROOM
BUILT IN SHELVES
SCALE: 1/4" = 1'-0"



DETAIL OF FAMILY
FOYER CLOSET
SCALE: 1/4" = 1'-0"



ROUTE TX EDGES WITH 1/4" ROUND OVER BIT
11'-0" HIGH CEILING, 6'-0" WIDE CUBBIE
CUBBIE & BENCH DETAIL
SCALE: 1/4" = 1'-0"

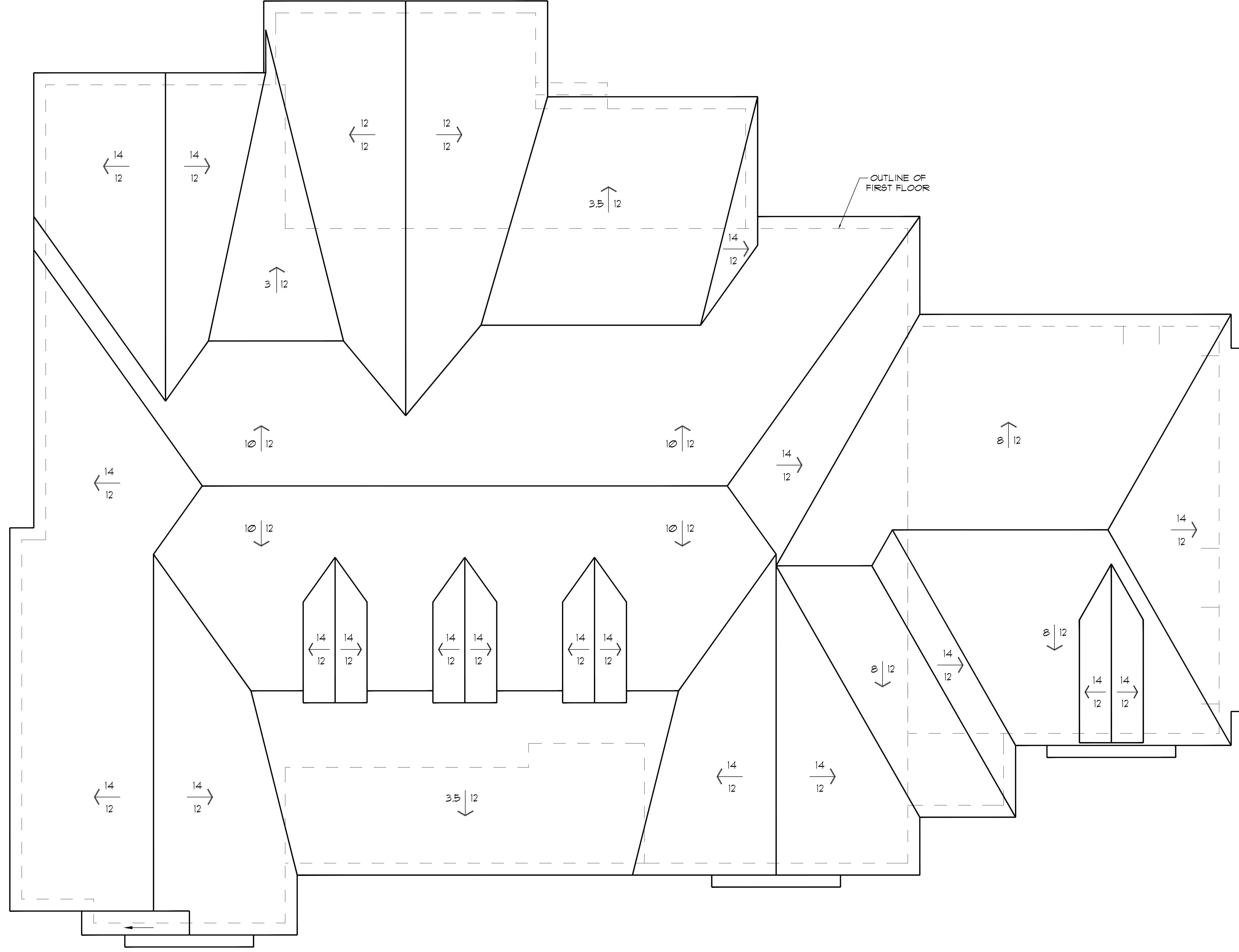
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CUSTOM PLAN
DETAIL PAGE

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R6	5/23/2025 JPL
R7	6/10/2025 TJH
R8	7/21/2025 MAP
R9	7/29/2025 MAP



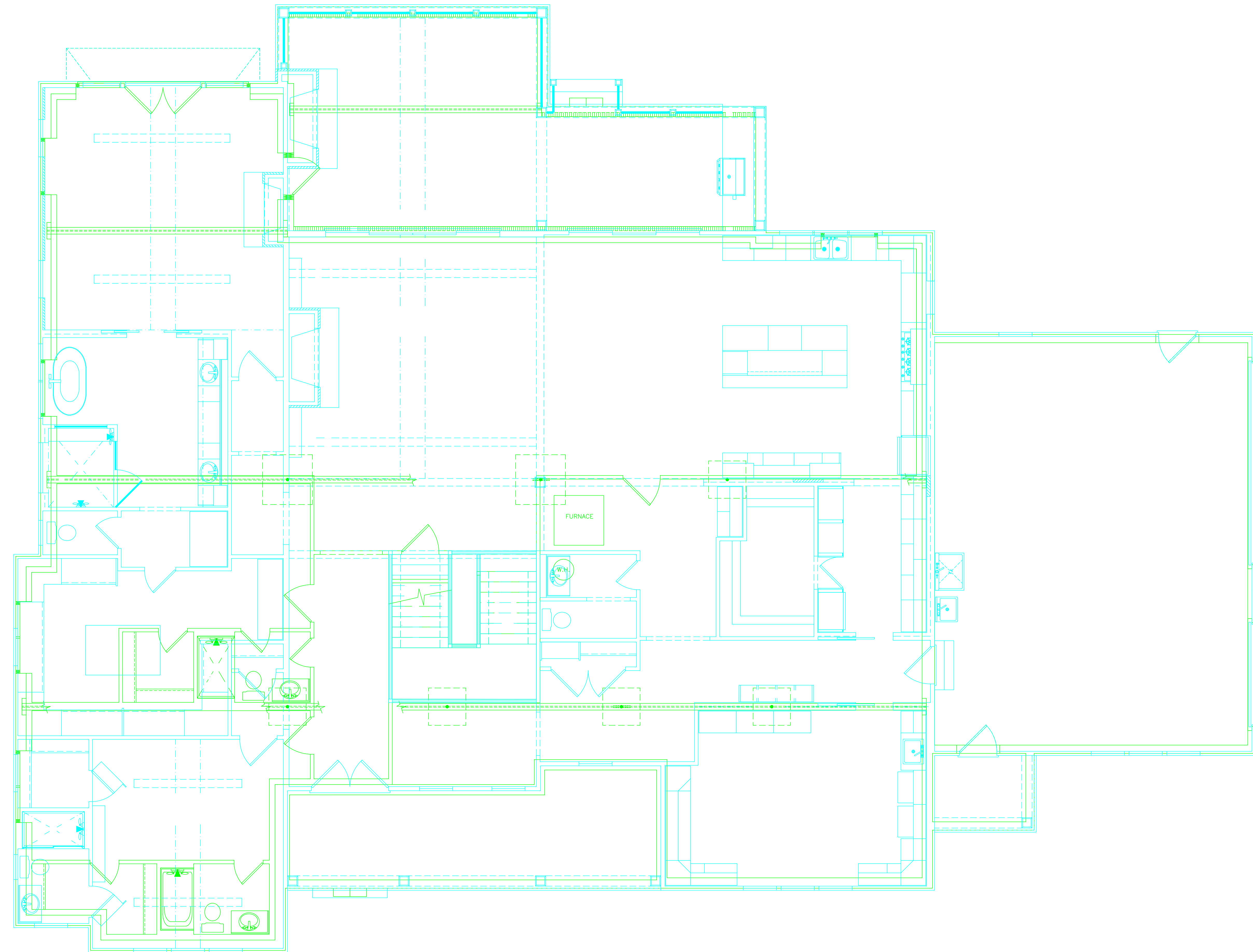
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CUSTOM PLAN
 ROOF PLAN
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R8	7/21/2025	MAP
R9	7/29/2025	MAP

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 THE FOLEY RESIDENCE
 6050 PINE RIDGE TRAIL, HUDSON, OH 44236
 JOB# CPR6



CPR6 FOLEY

 FOUNDATION

 FIRST FLOOR

SCALE: 1/4" = 1'-0"

CPR6 FOLEY

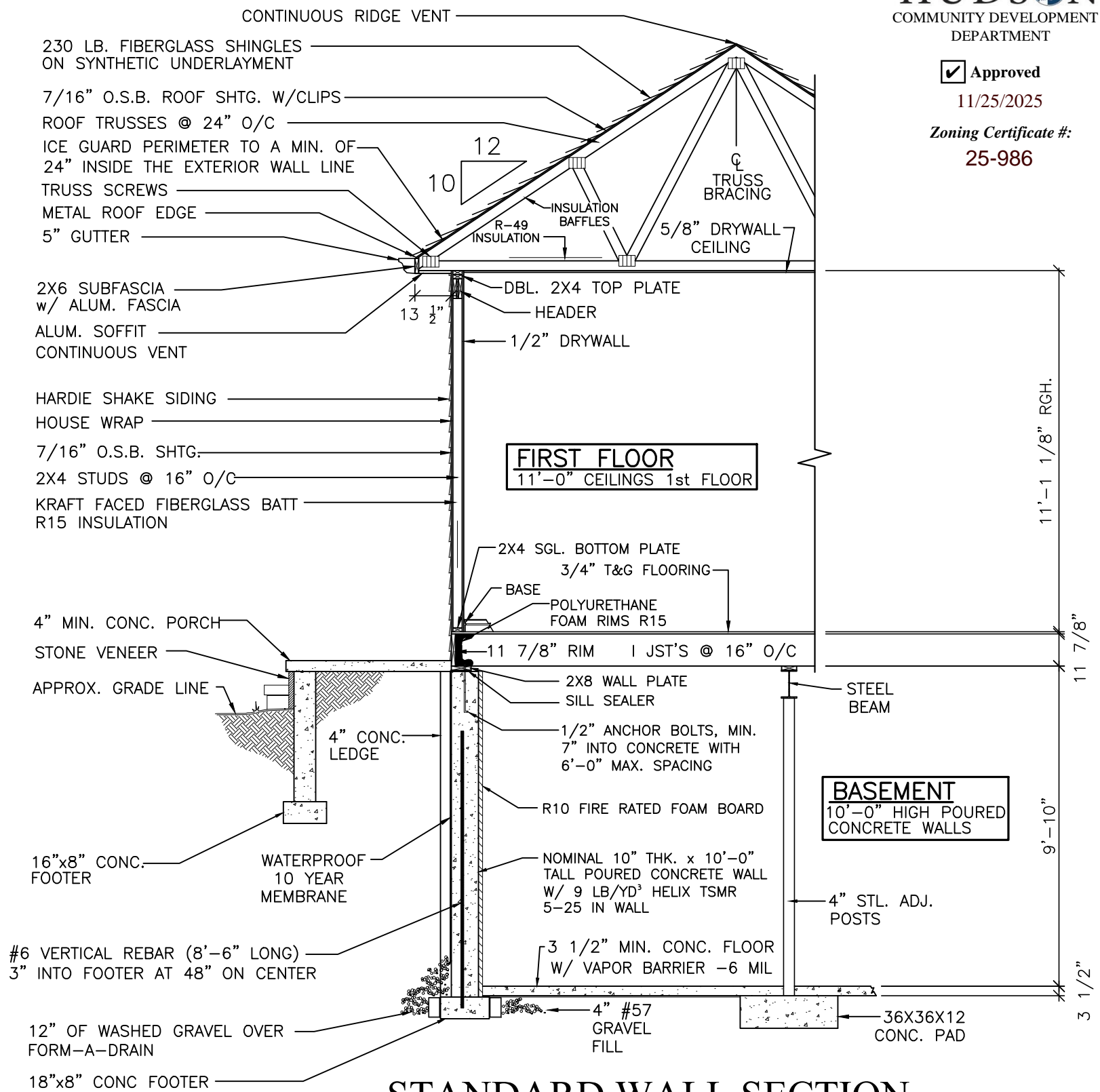
OHIO
HUDSON
COMMUNITY DEVELOPMENT
DEPARTMENT

Approved

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STANDARD WALL SECTION

SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES:

400 AMP SERVICE
2-200 AMP MAIN BREAKER PANELS
PARALLEL @
UNDERGROUND

BRANCH CIRCUITS SHALL BE GFCI PROTECTED
IN ACCORDANCE WITH NEC 210.8

BRANCH CIRCUITS SHALL BE AFCI PROTECTED
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ARC FAULTS SHALL BE PER NEC 210.16.

OUTLETS TO BE TAMPER-RESISTANT PER
NEC 406.12

GROUND TO UFER AND COPPER WATER LINE
ENTERING THE HOUSE

NOTE:

2019 RESIDENTIAL CODE OF OHIO
ENERGY METHOD USED - OHBA PATH #1
(CHAPTER 11 SECTION 1112)
(INCLUDING ALL MANDATORY
REQUIREMENTS)

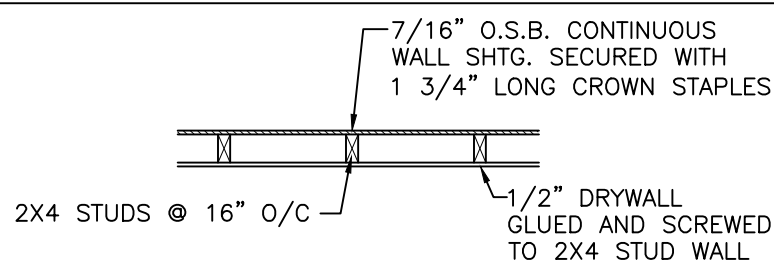
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WALL BRACING FOR ALL EXTERIOR WALLS TO BE
7/16" O.S.B. CONTINUOUS WALL SHEATHING
SECURED WITH 1 3/4" LONG CROWN STAPLES

COLD AIR RETURN IN EVERY ROOM AS REQUIRED

SCHEDULE 40 PVC PIPING FOR DRAINS AND PEX
LINES FOR WATER LINES THROUGH THE HOUSE



WALL BRACING DETAIL FOR ALL EXTERIOR WALLS

SCALE: 1/2" = 1'-0"

CPR6 FOLEY REVISION SCHEDULE

R1 ADDED 2ND FLOOR. CHANGES PER RED LINE

R2 INCREASED STAIR SIZE. CHANGED LOWER LEVEL BEDROOM

R3 REMOVED 2ND FLOOR

R4 ADDED DORMER AND WINDOWS TO GARAGE

R5

R6 FRONT ELEVATION AND REAR PORCH UPDATES

R7 SEE REDLINES

R8 CONSTRUCTION DRAWINGS AND CHANGES

R9 CHANGED BUILDING MATERIAL

Look-A-Like Comparison

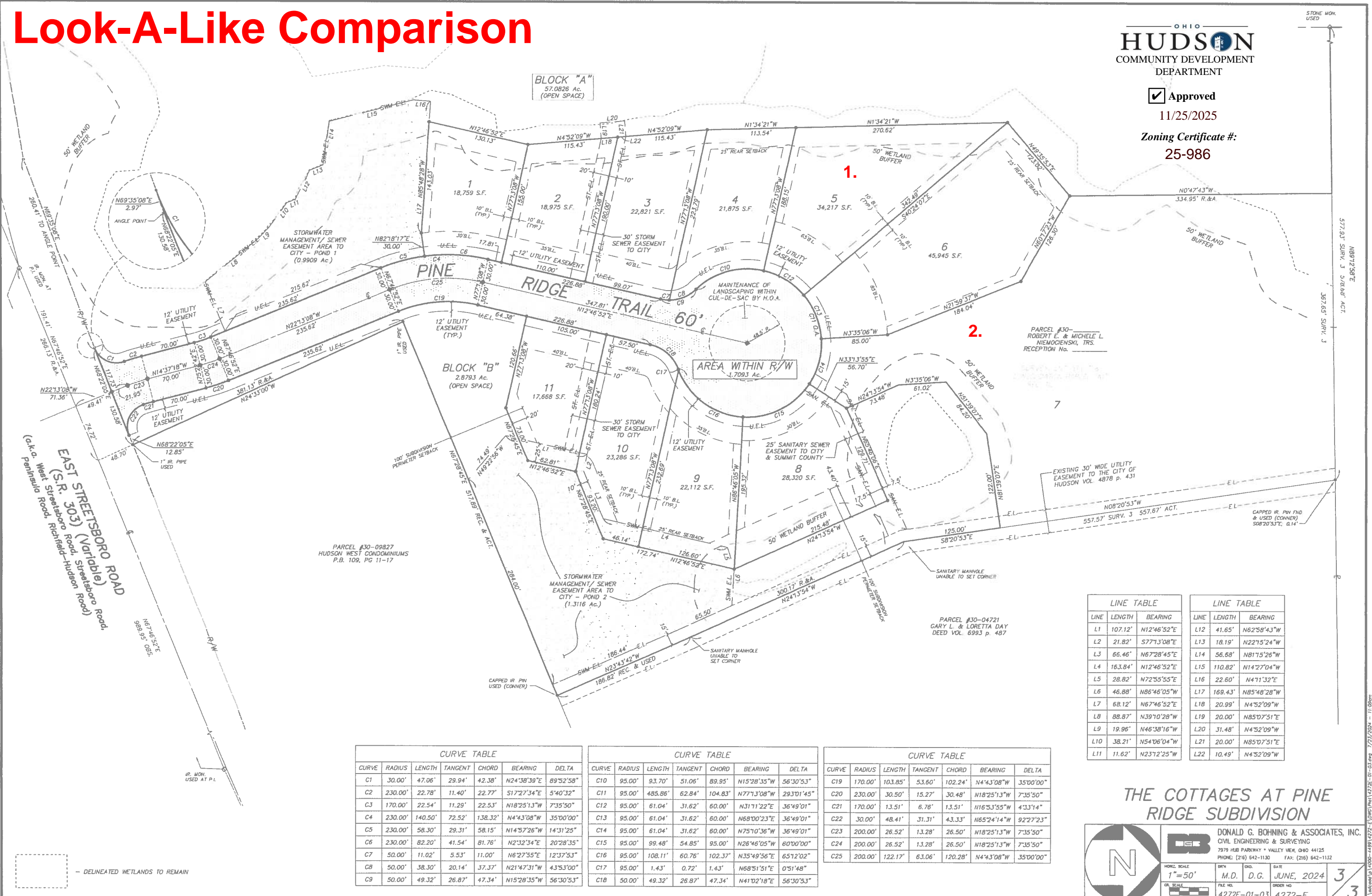
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CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	30.00'	47.06'	29.94'	42.38'	N24°38'39"E	89°52'58"
C2	230.00'	22.78'	11.40'	22.77'	S17°27'34"E	5°40'32"
C3	170.00'	22.54'	11.29'	22.53'	N18°25'13"W	7°35'50"
C4	230.00'	140.50'	72.52'	138.32'	N4°43'08"W	35°00'00"
C5	230.00'	58.30'	29.31'	58.15'	N14°57'26"W	14°31'25"
C6	230.00'	82.20'	41.54'	81.76'	N2°32'34"E	20°28'35"
C7	50.00'	11.02'	5.53'	11.00'	N6°27'55"E	12°37'53"
C8	50.00'	38.30'	20.14'	37.37'	N21°47'31"W	43°53'00"
C9	50.00'	49.32'	26.87'	47.34'	N15°28'35"W	56°30'53"

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C10	95.00'	93.70'	51.06'	89.95'	N15°28'35"W	56°30'53"
C11	95.00'	485.86'	62.84'	104.83'	N77°13'08"W	293°01'45"
C12	95.00'	61.04'	31.62'	60.00'	N31°11'22"E	36°49'01"
C13	95.00'	61.04'	31.62'	60.00'	N68°00'23"E	36°49'01"
C14	95.00'	61.04'	31.62'	60.00'	N75°10'36"W	36°49'01"
C15	95.00'	99.48'	54.85'	95.00'	N26°46'05"W	60°00'00"
C16	95.00'	108.11'	60.76'	102.37'	N35°49'56"E	65°12'02"
C17	95.00'	1.43'	0.72'	1.43'	N68°51'51"E	0°51'48"
C18	50.00'	49.32'	26.87'	47.34'	N41°02'18"E	56°30'53"

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C19	170.00'	103.85'	53.60'	102.24'	N4°43'08"W	35°00'00"
C20	230.00'	30.50'	15.27'	30.48'	N18°25'13"W	7°35'50"
C21	170.00'	13.51'	6.76'	13.51'	N16°53'55"W	4°33'14"
C22	30.00'	48.41'	31.31'	43.33'	N65°24'14"W	92°27'23"
C23	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C24	200.00'	26.52'	13.28'	26.50'	N18°25'13"W	7°35'50"
C25	200.00'	122.17'	63.06'	120.28'	N4°43'08"W	35°00'00"

LINE TABLE		
LINE	LENGTH	BEARING
L1	107.12'	N12°46'52"E
L2	21.82'	S77°13'08"E
L3	66.46'	N67°28'45"E
L4	163.84'	N12°46'52"E
L5	28.82'	N72°55'55"E
L6	46.88'	N86°46'05"W
L7	68.12'	N67°46'52"E
L8	88.87'	N39°10'28"W
L9	19.96'	N46°38'16"W
L10	38.21'	N54°06'04"W
L11	11.62'	N23°12'25"W

LINE TABLE		
LINE	LENGTH	BEARING
L12	41.65'	N62°58'43"W
L13	18.19'	N22°15'24"W
L14	56.68'	N81°15'26"W
L15	110.82'	N14°27'04"W
L16	22.60'	N41°13'32"E
L17	169.43'	N85°48'28"W
L18	20.99'	N4°52'09"W
L19	20.00'	N85°07'51"E
L20	31.48'	N4°52'09"W
L21	20.00'	N85°07'51"E
L22	10.49'	N4°52'09"W

THE COTTAGES AT PINE RIDGE SUBDIVISION

DONALD G. BOHNING & ASSOCIATES, INC.
CIVIL ENGINEERING & SURVEYING
7979 HUB PARKWAY • VALLEY VIEW, OHIO 44125
PHONE: (216) 642-1130 FAX: (216) 642-1132

MORL. SCALE: 1" = 50'
OR. SCALE: 1" = 50'

M.D. D.G. JUNE, 2024
4272E-01-03 4272-E

3
3

D:\Projects\2024\4272-E (DWS) Pine1\4272E-01-03.dwg 7/15/2024 11:08am

2.

HUDSON
COMMUNITY DEVELOPMENT
DEPARTMENT
Approved
11/25/2025
Zoning Certificate #:
25-986



FRONT ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY



REAR ELEVATION
DRAFTSMAN RENDERING, GRADE MAY VARY

1st floor | 3,381 sq. ft.
total | 3,381 sq. ft.
Overall Dimensions: 88'-0" x 68'-0"

CUSTOM DESIGN FOR:
THE AROGAST RESIDENCE
CONCEPT PLAN

PRESTIGE BUILDER GROUP
Custom Home Design & Build
prestigebuildergroup.com

CUSTOM PLAN
FRONT AND REAR ELEVATION
THIS DRAWING IS NOT TO BE REPRODUCED OR USED FOR
CONTRACTING WITHOUT THE WRITTEN AUTHORIZATION OF
PRESTIGE BUILDER GROUP.

DRAWN BY: JPL
DATE: 5/30/2025
R1 6/22/2025 MAP
R2 6/10/2025 TJH
R3 7/22/2025 TJH

LIVING AREA: 3,381 SQ. FT. SCALE: 1/4" = 12"

2.

Approved

11/25/2025

Zoning Certificate #:
25-986

