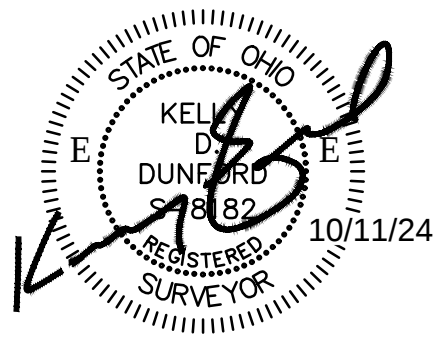




REVISIONS:

1.)

BUILDER:

LDA BUILDERS, INC.
6683 OLDE EIGHT RD.
PENINSULA, OH 44264
TONY LUNARDI
(330) 528-3800

SITE NOTES:

1.) DEVELOPMENT WAS STILL UNDER CONSTRUCTION AT TIME OF TOPOGRAPHIC SURVEY.
2.) CONCRETE WASHOUT PIT TO BE INSTALLED AT ENTRANCE TO DEVELOPMENT.

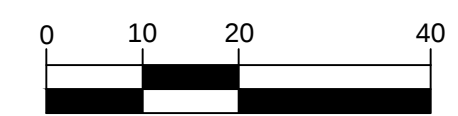
C8:
A=60.00'
R=70.00'
D=49°06'41"
CB=S 15°06'40" E
CH=58.18'

PRESERVE LN. (60' R/W)

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Green Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being Lot No. 8 in the Hudson Preserve Subdivision, as recorded in Doc. #56826538.



SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

LEGEND

- 998 - Ex. Contour
- 1002 - PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- TREE TO BE REMOVED
- PR. CONC. WASHOUT PIT, CONST. ENTRANCE & SILT FENCE
- PR. DRAINAGE DIRECTION/SWALE
- PR. WELL
- PR. DOWNSPOUT
- Ex. Utility Pole & Pedestals
- Ex. Mailbox
- Ex. San./Stm. MH.
- Ex. Stm. Inlet/Basins & Downspout Location
- Ex. Gas Valve & Shutoff
- Ex. Hyd., Valve/ Shutoff & Well
- Iron Pin Set
- Rebar or Iron Rod/Pin Fnd.
- Iron Pipe Fnd.
- Mon. Fnd.



Know what's below.
Call before you dig.

CONSTRUCTION NOTES:

- Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
- Silt fence must surround all excavation areas so that no silt escapes site.
- A construction entrance shall be constructed in the same location as the permanent drive, consisting of #1&2 aggregate and be a minimum of 70 feet long.
- All grades shall comply w/corresponding government office.
- Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.

- Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
- All sewer connections must maintain a minimum slope of 1%.
- Footer drain & downspouts are to be tied into the storm drain. Refer to house plans for downspout locations.
- A foundation sump pump is required unless otherwise determined by contractor.
- The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

SURVEYED BY:

APEX LAND SURVEYING
KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

PROJ: 2020163



Front Elevation (S/L 8 - 5259 Preserve Lane)

PARCLE #30-10392
S/L 8 - 5259 Preserve Lane, Hudson, OH 44236
Apx. Lot Size - 60' Frontage 214.22' Deep on left , .5023 Acres
Overall House Size - 68'4"Wx60'8"D, Apx. 3264 Sq ft on lot
2714 Sq ft Living Area,
(2214 Sq ft on First floor & 500 Sq ft on Second floor)
2214 Sq ft Basement and 618 Sq ft of Garage

HIP008

ILLIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clevel(330) 528-3800 * Akron(330) 342-4240
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.)
FRONT ELEVATION

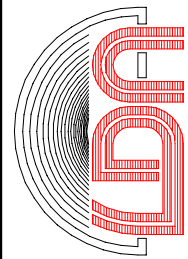
SCALE	DATE	DATE	DATE	DATE
1/4" = 1'	10/20/24			
	DRN	CHK'D		
	AP'VD			

CUSTOMER

Joshua & Cheryl
Green



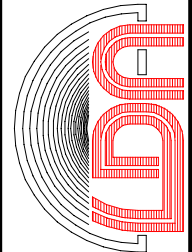
Left Side Elevation



ILIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleva(330) 528-3800 * Akron(330) 342-4240
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.) NO. 24-HP008-II
LEFT SIDE ELEVATION

SCALE	1/4" = 1'
DATE	10/20/24
DRN	CK'D
AP'VD	/Z

CUSTOMER
Joshua & Cheryl
Green

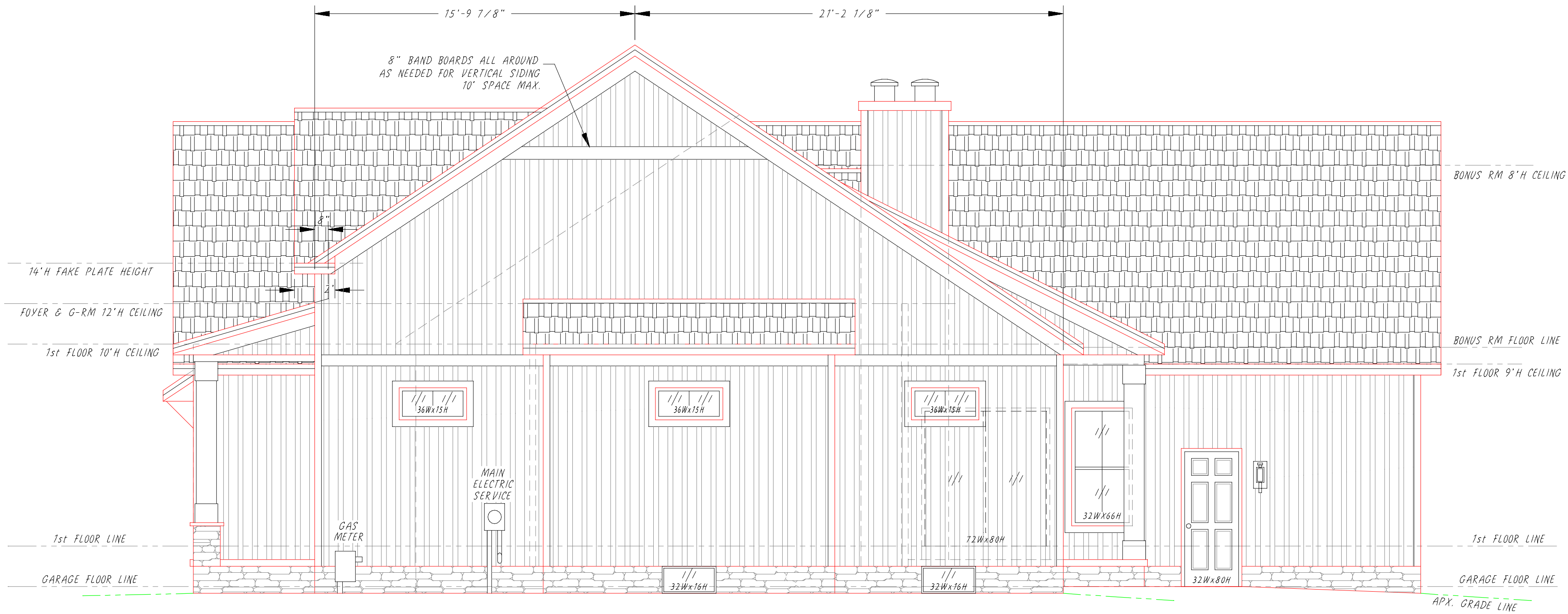


ILIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleve(330) 528-3800 * Akron(330) 342-4240
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.) NO. 24-HP008-12
REAR ELEVATION

DATE	BY	REVISIONS
10/20/24	CK'D	
	AP'VD	

CUSTOMER
Joshua & Cheryl
Green

SCALE 1/4" = 1'
DATE 10/20/24
DRN Z
AP'VD



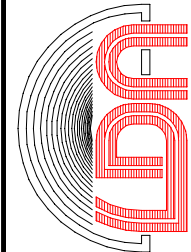
Right Side Elevation

CUSTOMER
Joshua & Cheryl
Green

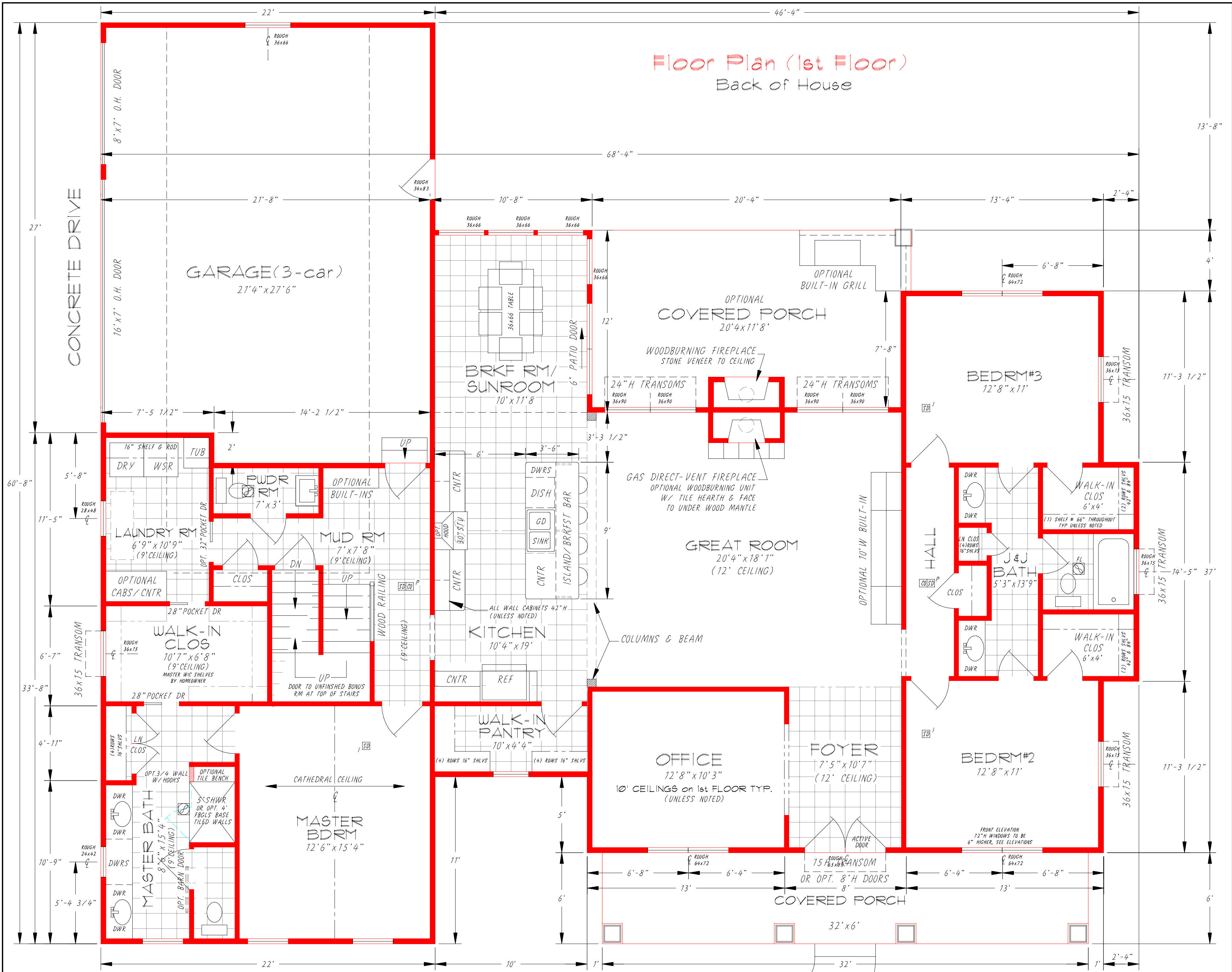
SCALE 1/4" = 1'
DATE 10/20/24
DRN JZ
APP'D

REVISIONS

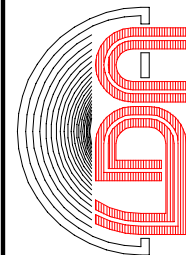
BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax: (330) 528-3800 • Akron (330) 342-4240
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.)
NO. 24-HP008-13
RIGHT SIDE ELEVATION



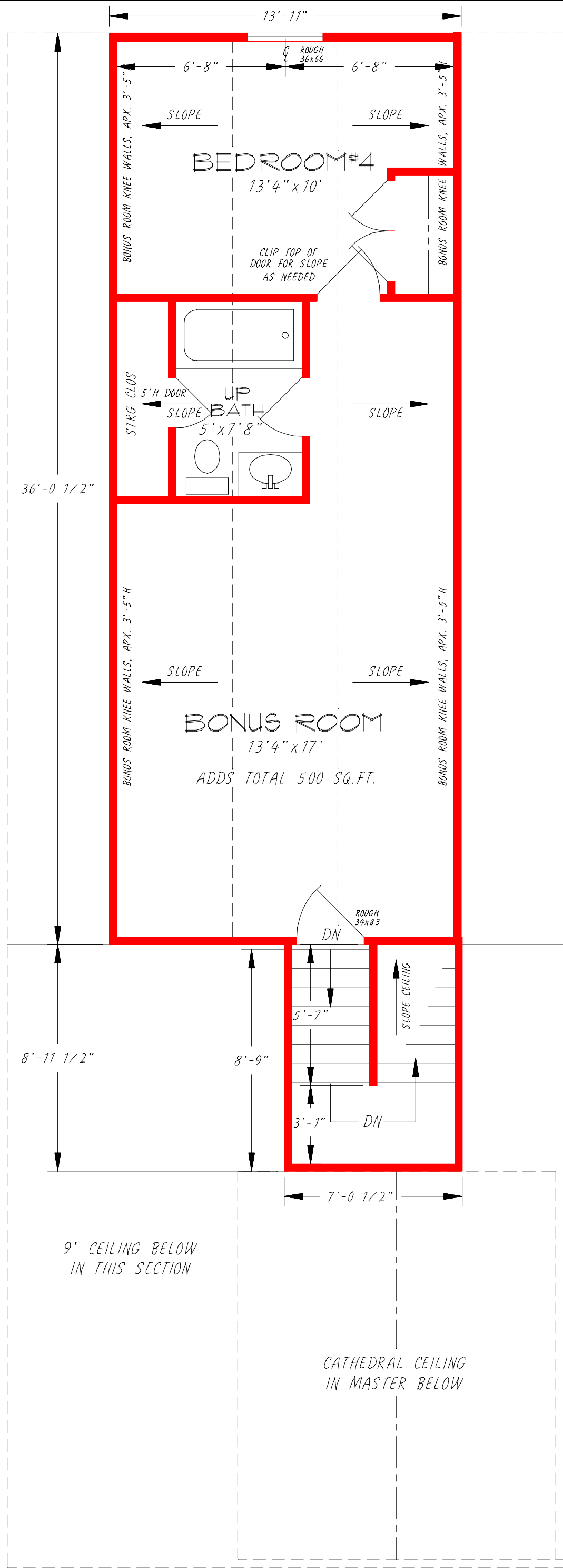
Floor Plan (1st Floor)
Back of House



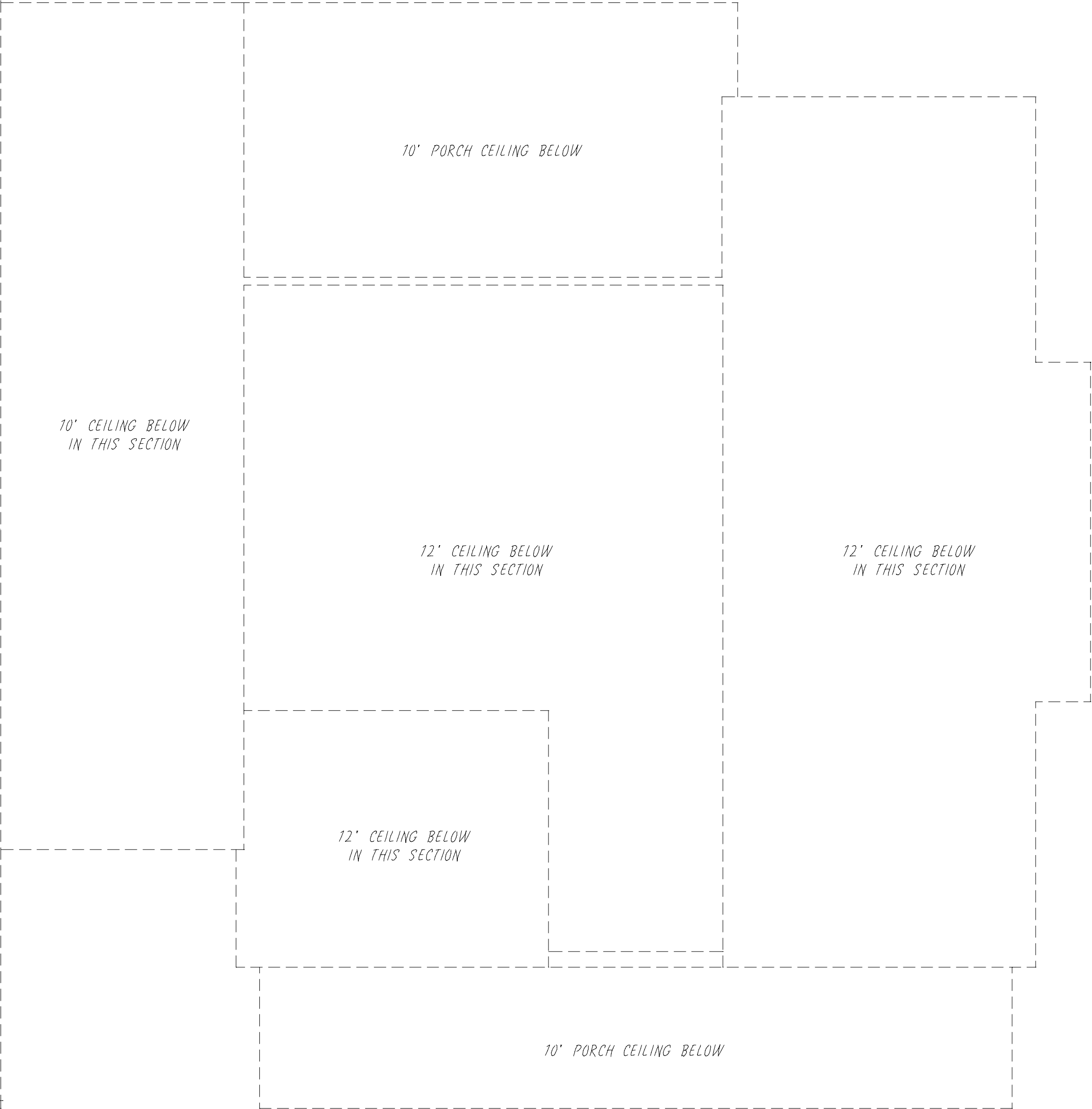
LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Cleveland (330) 528-3800 * Akron (330) 342-4240
NO. 24-HP008-23
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.)
FLOOR PLAN (1st Floor)

DATE	BY	REVISIONS
10/20/24	CRD	1
10/20/24	AP/VD	2

CUSTOMER
Joshua & Cheryl
Green
SCALE 1/4" = 1'
DATE 10/20/24
DRN CRD
AP/VD



Floor Plan (2nd Floor)
Back of House

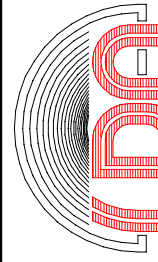


CUSTOMER
**Joshua & Cheryl
Green**

SCALE 1/4" = 1'
DATE 10/20/24
DRN Z
AP'VD

REVISIONS

BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clevel(330) 528-3800 * Akron(330) 342-4240
TITLE CUSTOM 1-STORY RANCH (2714 sq.ft.)
NO. 24-HP008-24
FLOOR PLAN (2nd Floor)

OHIO
HUDSON

COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

Residential Landscaping Requirements

To be completed at application for new house construction

The following information must be submitted at application for new residential construction. The Land Development Code requires the planting (or preservation) of up to three trees within the site limits of disturbance. The total number of trees required will be determined by a review of the approved site plan and noted as a condition on the zoning certificate.

I, Joshua M + Cheryl L. Green accepts responsibility for the
Owner or Applicant (Please Type or Print)

planting of trees as noted within the conditions of the Zoning Certificate for the house construction at:

S/LB - 5259 Preserve Lane
Street # or S/L# Street Name

as required by Land Development Code Section 1207.04(j)(1). Tree planting must be completed within **18 months** from the start of construction and **24 months** from the issuance of the Zoning Certificate.

x  10.27.24
Signature of Applicant or Owner Date

This tree planting responsibility is not transferable unless the City of Hudson receives the form below executed by the property owner or purchaser.

I, Joshua M + Cheryl L. Green accept the above stated responsibility for
Owner or Purchaser (Please Type or Print)

planting trees within the time period specified or otherwise approved by the City.

x  10.27.24
Signature of Owner or Purchaser Date

FAILURE TO FULFILL THE REQUIREMENTS AS ENUMERATED HEREIN WILL RESULT IN CIVIL AND/OR CRIMINAL LIABILITY TO THE PERSON OR ENTITY SIGNING THIS ACKNOWLEDGEMENT PURSUANT TO THE MANDATES OF THE HUDSON LAND DEVELOPMENT CODE



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

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Lot 8 - 5259 Preserve Lane,
(subject lot)

Galaxy A32 5G



Lot 9 to the right, south

Galaxy A32 5G



Lot 10 to the right, south

Galaxy A32 5G



Lot 11 to the right, south

Galaxy A32 5G



Lot 7 to the left, east

Galaxy A32 5G



Lot 6 to the left, across the street

Galaxy A32 5G



Lot 5 to the left, across the street

Galaxy A32 5G



Lot 4 across the street

Galaxy A32 5G



LOT 6

3010390

5260

LOT 7

3010391

5272

LOT 5

3010389

5248

LOT 4

3010388

5236

LOT 3

3010387

5224

LOT 2

3010386

5210

LOT 1

3010385

1861

LOT 10

3010394

5235

LOT 11

3010395

5223

LOT 8

3010392

* 5259

LOT 9

3010393

5247

3001674

300

Subdiv Lot

3010366

3010365

3002143

1887

5617559

3001987

3002980

3002979

Norton Rd

NORTON RD

KE DR

Norton Rd

REGIONAL INCOME TAX AGENCY

CITY OF HUDSON
MUNICIPAL INCOME TAX

REGISTRATION OF CONTRACTORS

PROPERTY ADDRESS: 5259 Reserve Lane, Hudson, OHDATE: 10-22-24

APPLICATION #:

CONTRACTOR NAME: LDA Builders, IncADDRESS: 6683 Olive River Rd.AMT. OF CONTRACT: 359,860CITY: Winslow, OH PHONE: (330) 528-3800

ZONING PERMIT #:

FED. I.D. # OR S.S. #: 34-1760118

TYPE	SUB-CONTRACTORS	ADDRESS	SOCIAL SECURITY # OR FED. TAX I.D. #	CONTRACT AMOUNT	ESTIMATED WAGES
CARPENTRY	Mullett Construction	5183 Aurora Rd mechanical 44651	291-84-6583		
MASONRY	Dave Miller Masonry	473 Stratford Rd. Delaware OH 45013			
EXCAVATION	Benthaag	11087 Cleveland Ave N.W. Lakewood, OH	20-356 0639		
SEPT. TANK/SEWER	N/A	N/A	N/A		
HOT ROOFING	N/A	N/A	N/A		
PLUMBING	Hershberger	15325 Georgia Rd. Middlefield OH 44130	291-74-8290		
SHEET METAL	N/A	N/A	N/A		
ELECTRICAL	Northern Ohio Electric	5457 Hartford Rd Valley City, OH 44280	46 3620490		
REFRIGERATION	N/A	N/A	N/A		
AIR CONDITION.	A New Image Heating & Cooling Services above	4403 Renaissance Parkway Warrensville Hts, OH 44138	34-1681284		
WARM AIR HEAT.	N/A	N/A	N/A		
STEAM VAPOR	N/A	N/A	N/A		
HOT WATER	Hershberger	(same as above plumbing)			
DRYWALL/PLAST.	Lennwood, Inc	P.O. Box 3100198 Strongsville, OH 44136	34-1521909		
DEMOLITION	N/A	N/A	N/A		
LANDSCAPING	N/A	N/A	N/A		
PAINTING/DECOR.	Vicki He Pailthorn	3946 Crestview Ave Warren OH 44484	298-70-0490		
OTHER	Dave Spillman	3156 Summit Rd. Ravenna, OH 44266	34-1906766		
TOTAL					