

Legend:

- iron pin found as noted
- capped rebar set marked CORDI 8270
- property line
- — — other property line
- — — centerline

Lot 284

S 85°39'54" E 200.00'

rebar found 0.32'N.
0.12'E.,
3" deep

Lot 282

S 04°20'06" W 105.00'

Lot 285
7593 Lakedge Court
Justin Richmond and
Jenna Richmond
Doc. #56488917
P.N. 3006163
0.4821 acre

Lot 283

LAKEDGE COURT 50' R/W

N 04°20'06" E 105.00'

23.0'

24.0'

12.0' 24.7'
10.0' 10.0'

37.3'

2.0'

18.7'

26.0'

114.1'

capped rebar used
found and CONNER
marked

N 85°39'54" W 200.00'

rebar found
used

HOUSE LOCATION FOR 7593 LAKEDGE COURT

SITUATED IN THE CITY OF HUDSON, SUMMIT COUNTY, OHIO
AND KNOWN AS BEING ALL OF LOT 285 OF THE

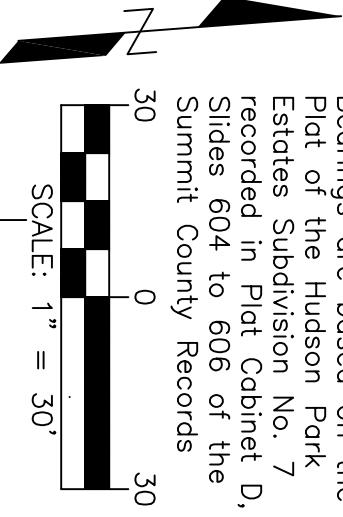
HUDSON PARK ESTATES SUBDIVISION NO. 7 RECORDED
IN PLAT CABINET D, SLIDES 604 TO 606
OF THE SUMMIT COUNTY RECORDS

330-388-8146
CordiSurvey@gmail.com

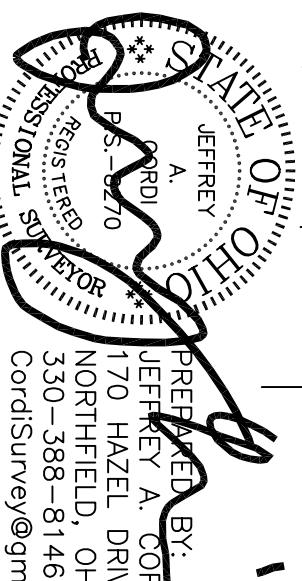
3-15-2025

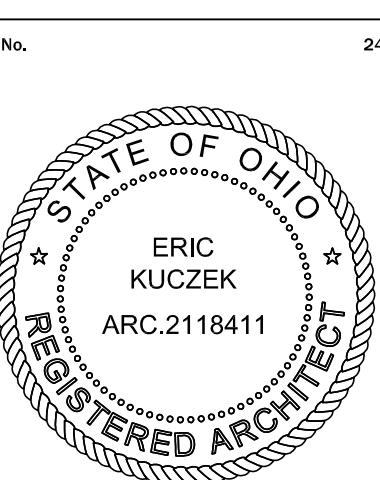
Lot 286

30
0
30



Bearings are based on the
Plot of the Hudson Park
Estates Subdivision No. 7
recorded in Plat Cabinet D,
Slides 604 to 606 of the
Summit County Records





Project No. 24052

Revisions

2025-01-20 PERMIT

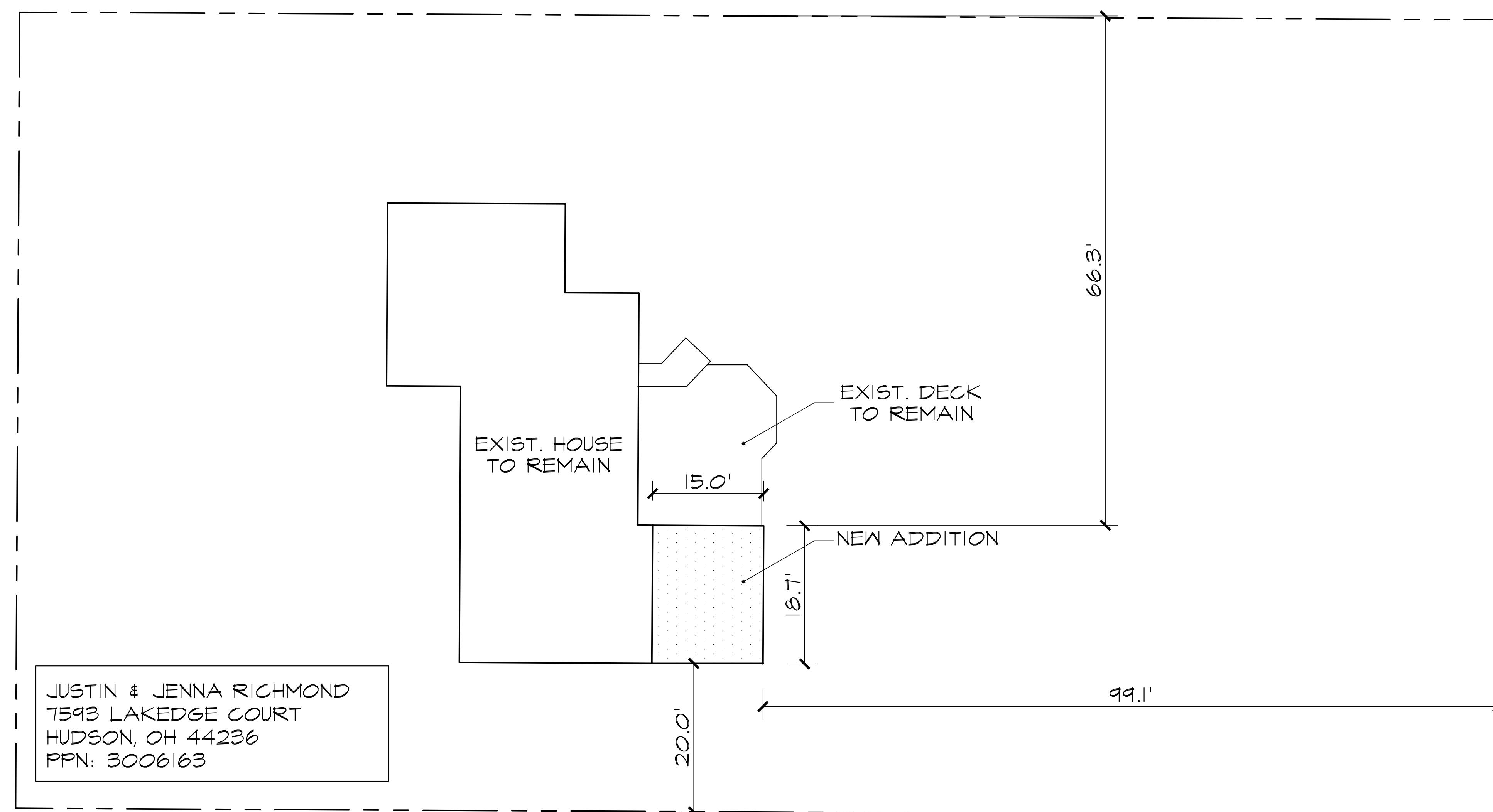
2025-03-20 CITY COMMENTS

Project
LIVING ROOM ADDITION
7593 LAKEEDGE COURT
HUDSON, OH 44236

Client
JUSTIN RICHMOND

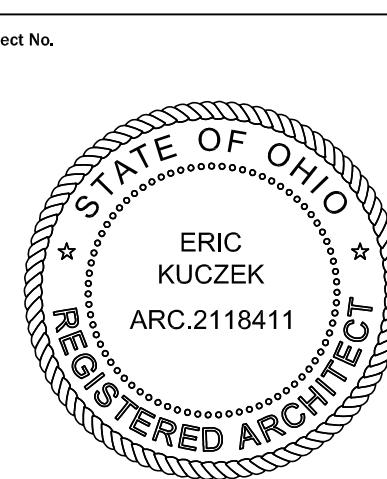
Date Issued
2025.03.20

SITE STUDY



SITE PLAN
S: 1" = 10'-0"

S101



Revisions	
2025-01-20	PERMIT
2025-03-20	CITY COMMENTS

Project:
LIVING ROOM ADDITION
7593 LAKEGE COURT
HUDSON, OH 44236

Client:
JUSTIN RICHMOND

Date Issued:
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FOUNDATION PLAN
S: 1/4" = 1'-0"

A101

FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" x 18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

- (2) #4 REBAR CONTINUOUS THRU WALL FOOTERS.

- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.

- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.

- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

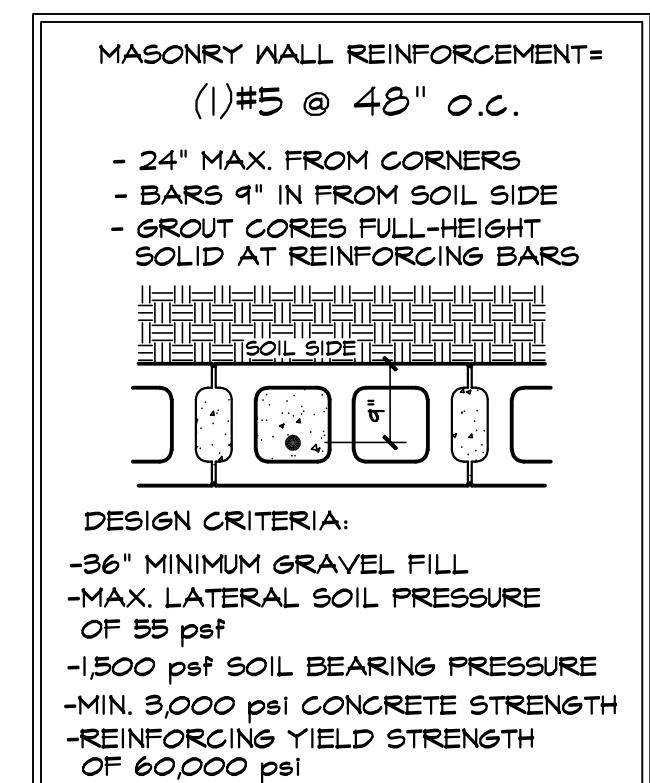
24"x24"(2) #4
30"x30"(3) #4
36"x36"(3) #4
42"x42"(4) #4
48"x48"(5) #4
60"x60"(5) #5
72"x72"(6) #5

POINT LOADS:

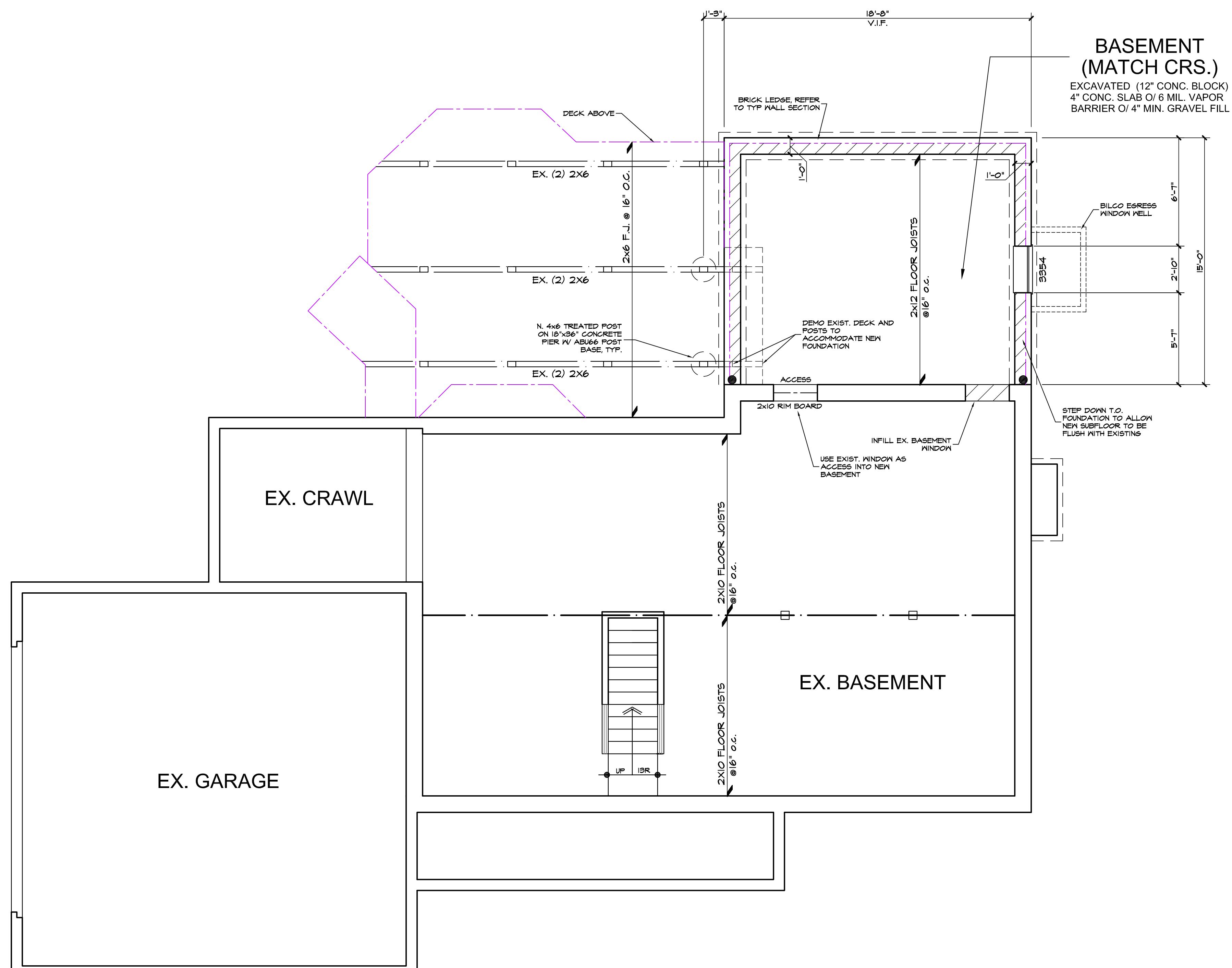
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

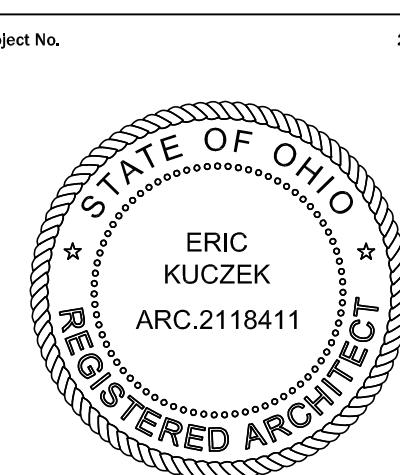
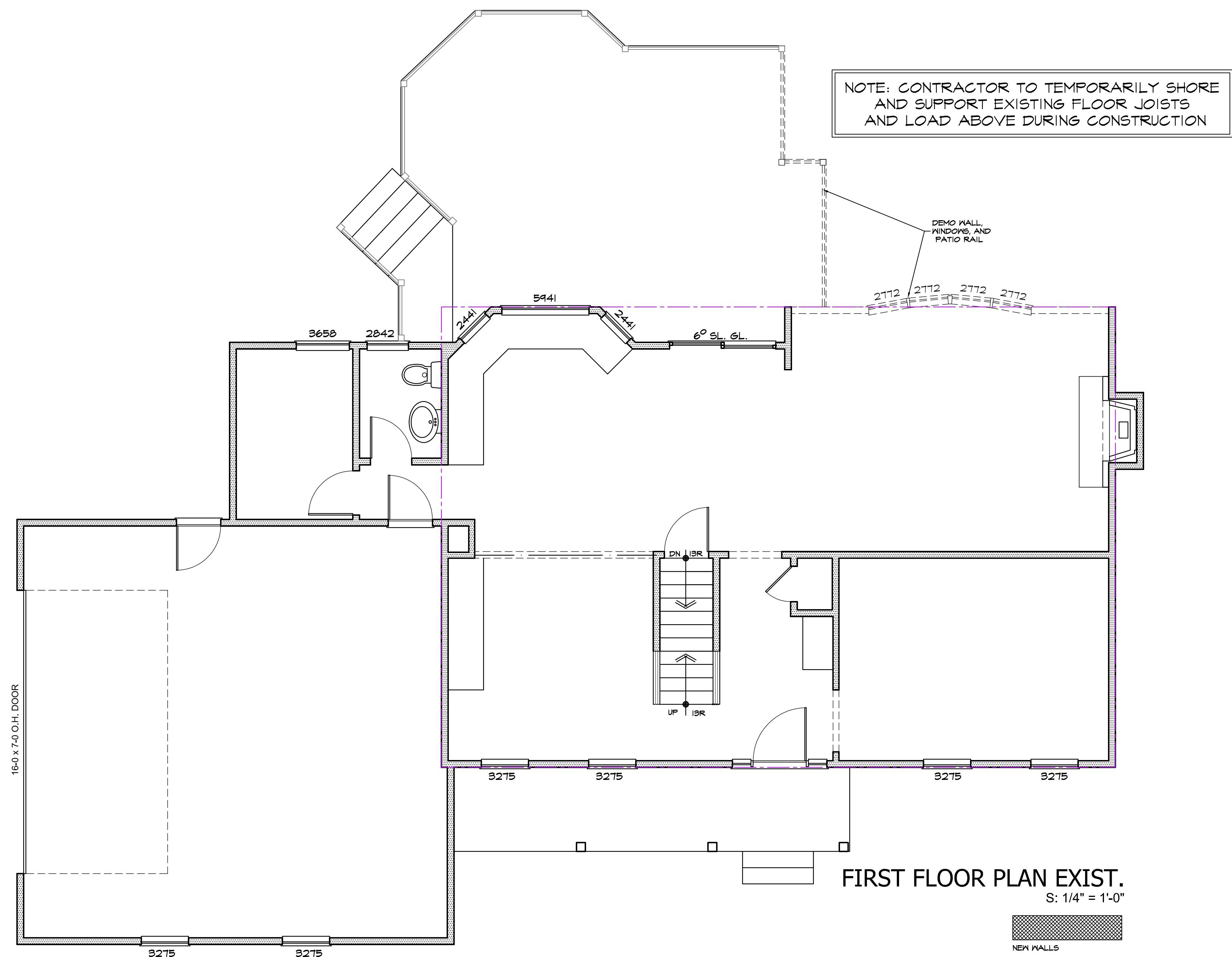
12" CONC. BLOCK REINFORCING DETAIL



NOTE: THIS DETAIL IS ASSUMING BEST CASE SOIL CONDITIONS. FOR MEDIUM OR WORST CASE REFER TO RCO TABLE 404.1(4)



FOUNDATION PLAN
S: 1/4" = 1'-0"



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FIRST FLOOR PLAN EXIST.

A102



Project No. 24052
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2025-03-20 CITY COMMENTS

Project LIVING ROOM ADDITION
7593 LAKEGE COURT
HUDSON, OH 44236
Client JUSTIN RICHMOND

Date Issued 2025.03.20

FIRST FLOOR PLAN
A103

FIRST FLOOR NOTES
Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2019 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:

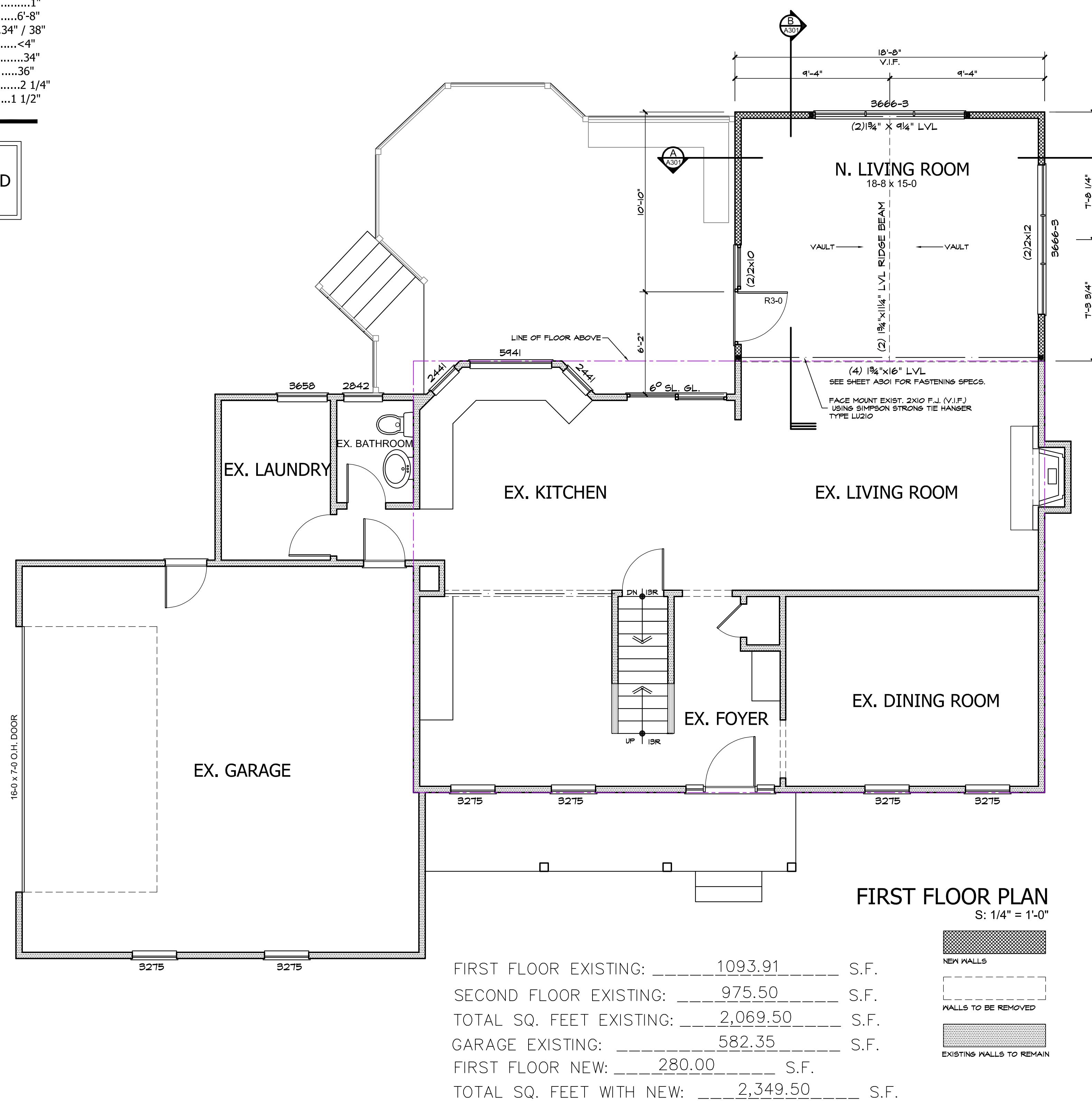
MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
MINIMUM NET CLEAR OPENING HEIGHT.....24"
MINIMUM NET CLEAR OPENING WIDTH.....20"
MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPGN.

POINT LOADS ARE REPRESENTED BY (●)

STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
MINIMUM TREAD DEPTH.....9"
MAXIMUM RISER HEIGHT.....8 1/4"
MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
MINIMUM NOSING PROJECTION.....1"
MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"
MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"
MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"
MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"
MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"
MAXIMUM HAND GRIP WIDTH.....2 1/4"
MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



SECOND FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
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- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

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FIREPLACES:

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WINDOWS:

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WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

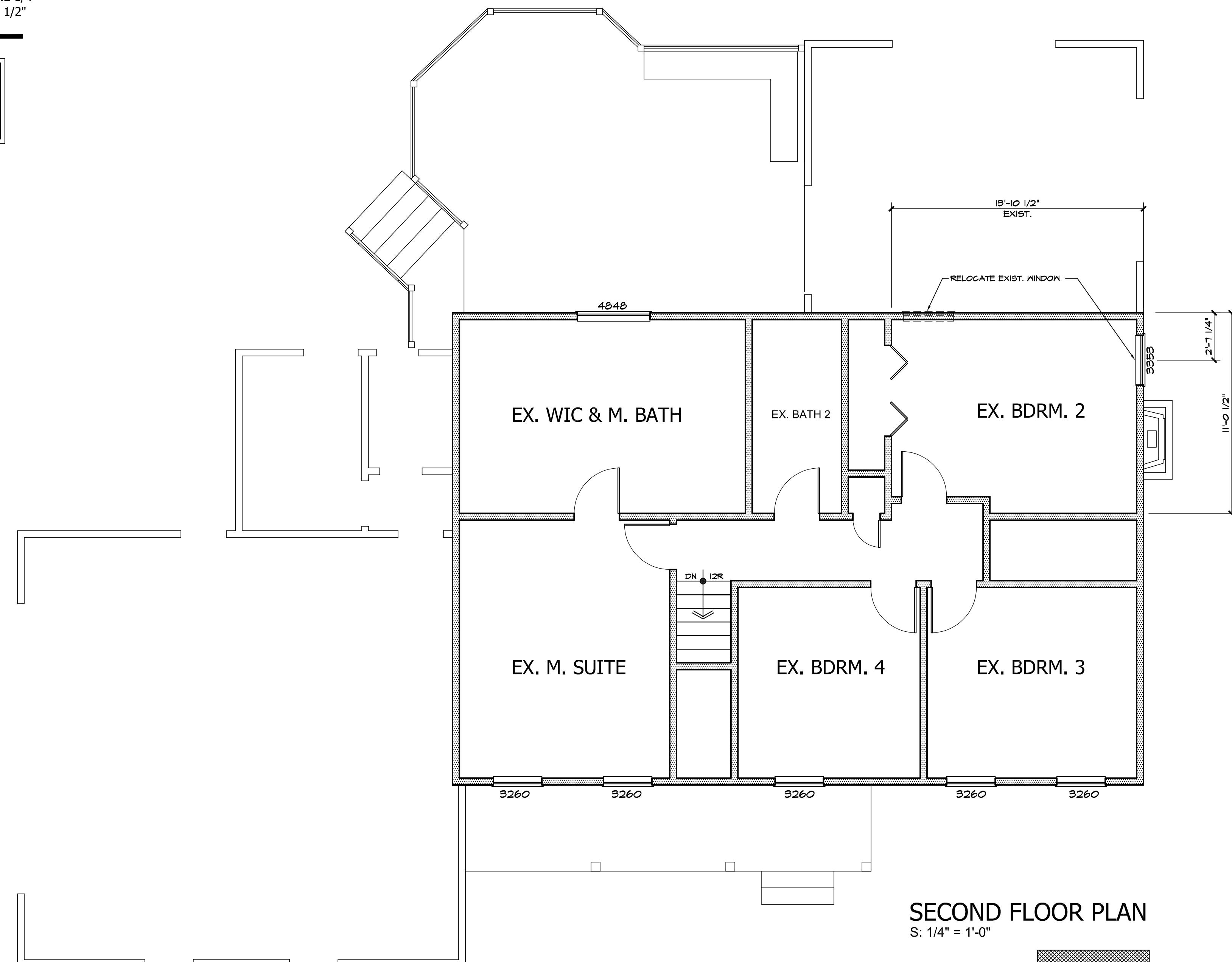
EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44" MINIMUM NET CLEAR OPENING HEIGHT.....24" MINIMUM NET CLEAR OPENING WIDTH.....20" MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

STAIR REQUIREMENTS:

MIN. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0" MINIMUM TREAD DEPTH.....9" MAXIMUM RISER HEIGHT.....8 1/4" MAXIMUM VARIANCE IN RISER HEIGHT.....3/8" MINIMUM NOSING PROJECTION.....1" MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8" MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38" MAXIMUM BALUSTER SPACING (CLEAR OPENING).....4" MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34" MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36" MAXIMUM HAND GRIP WIDTH.....2 1/4" MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



Project No. 24052
Revisions
2025-01-20 PERMIT
2025-03-20 CITY COMMENTS

Project
LIVING ROOM ADDITION
7593 LAKEGE COURT
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Client

JUSTIN RICHMOND

Date Issued
2025.03.20

SECOND FLOOR
PLAN

A104



Project No. 24052
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ROOF PLAN AND
TYP. WALL SECTION

A105

ROOF NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHED AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. $\frac{5}{16}$ " OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT SOJOURN ARCHITECTS IN ORDER TO UPDATE THE DRAWINGS.

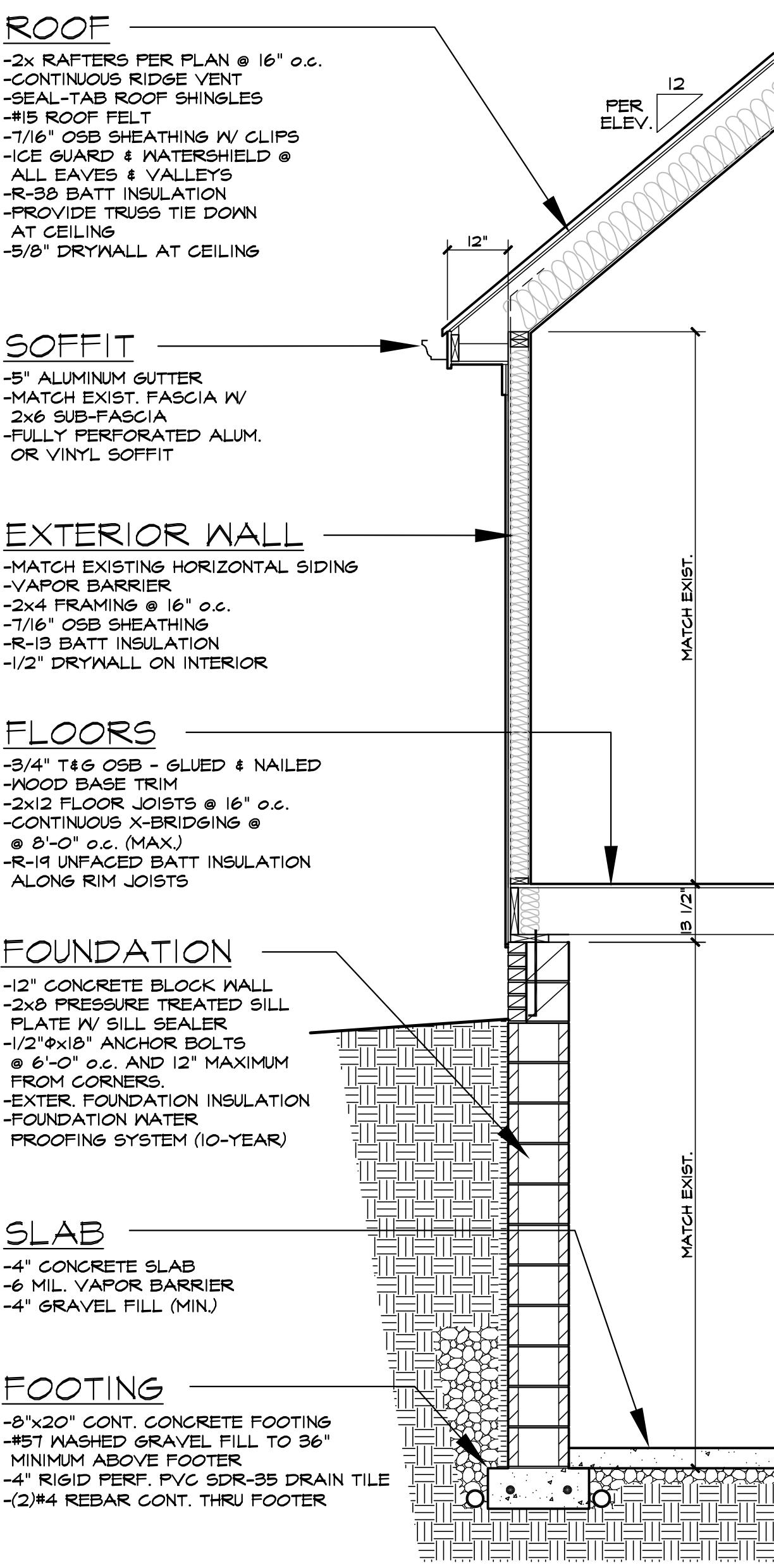
OVER-LAY RAFTERS:

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"
USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"
USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"
USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

LIVE LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:
ROOF/SNOW.....25psf ATTIC.....20psf
FIRST FLOOR.....40psf SECOND FLOOR.....40psf
BALCONIES.....60psf BASIC WIND SPEED.....90mph



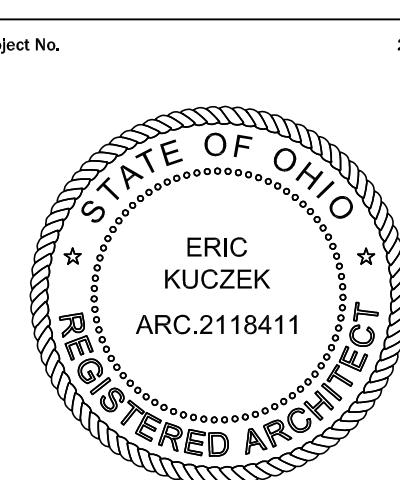
TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



ROOF PLAN

S: 1/4" = 1'-0"



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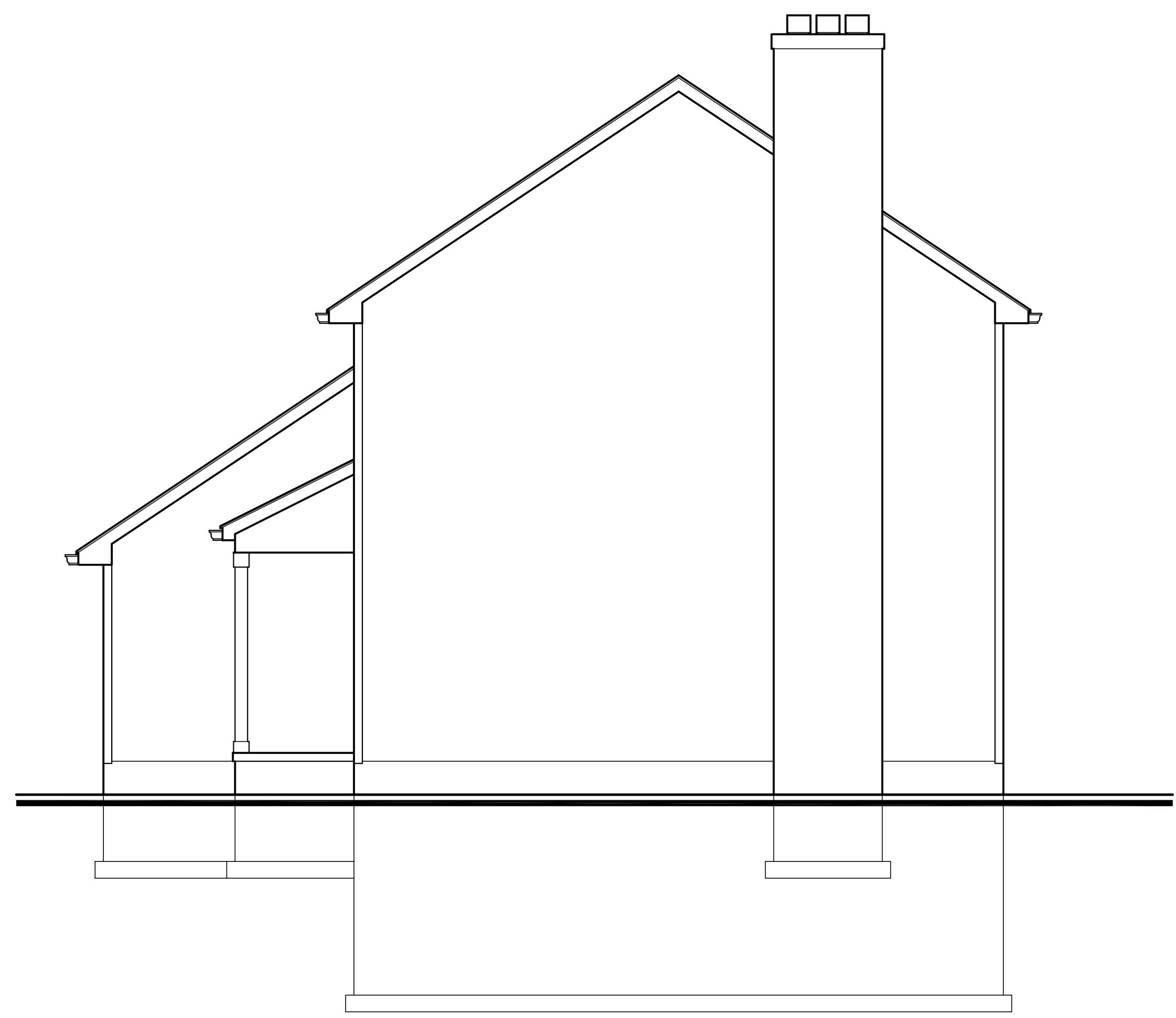
EXISTING
EXTERIOR
ELEVATIONS

A201

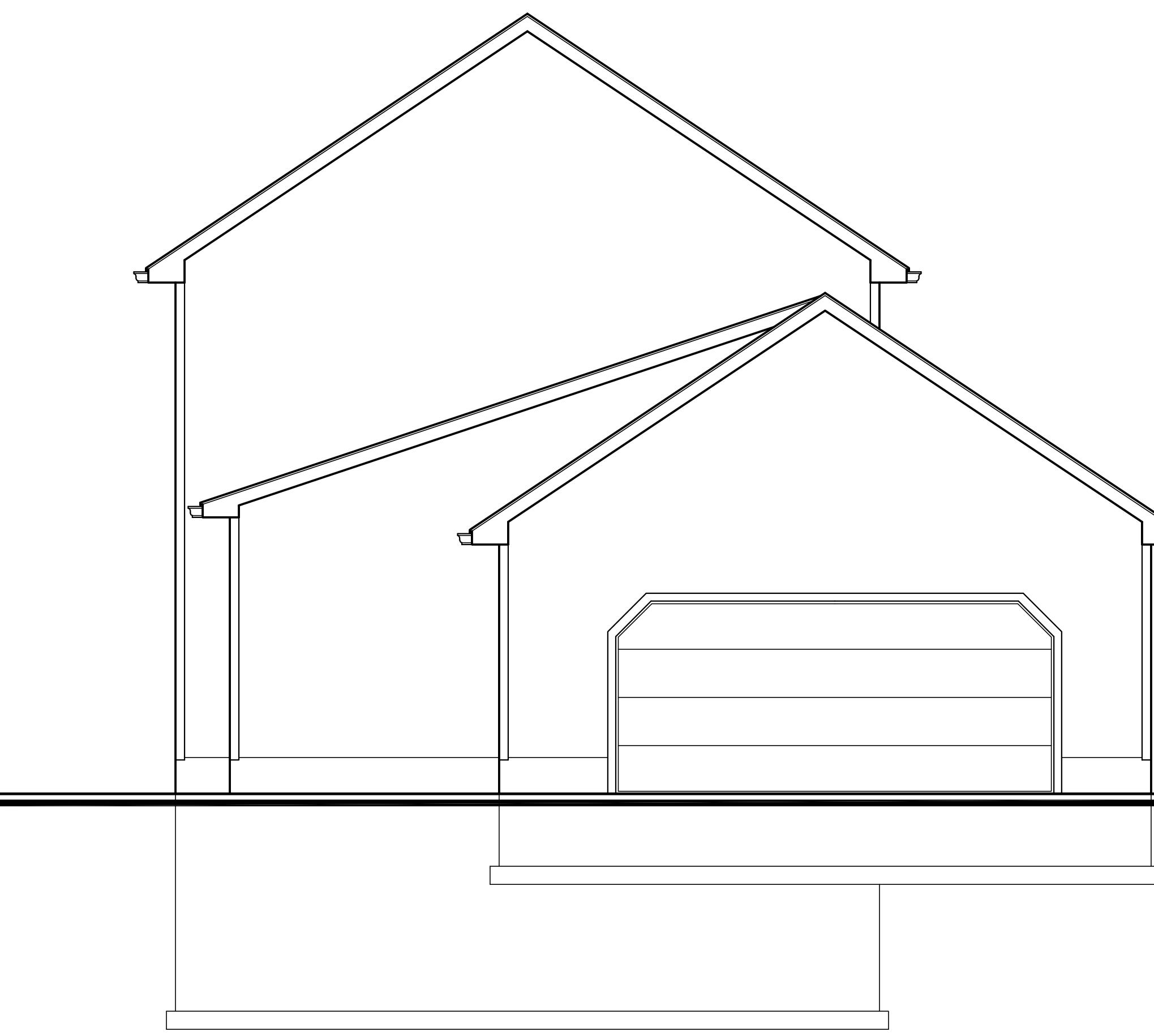
Sheet No. ©2024



REAR ELEVATION EXIST.
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION EXIST.
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION EXIST.
S: 1/4" = 1'-0"

ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

ATTICS:

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REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

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WINDOWS:

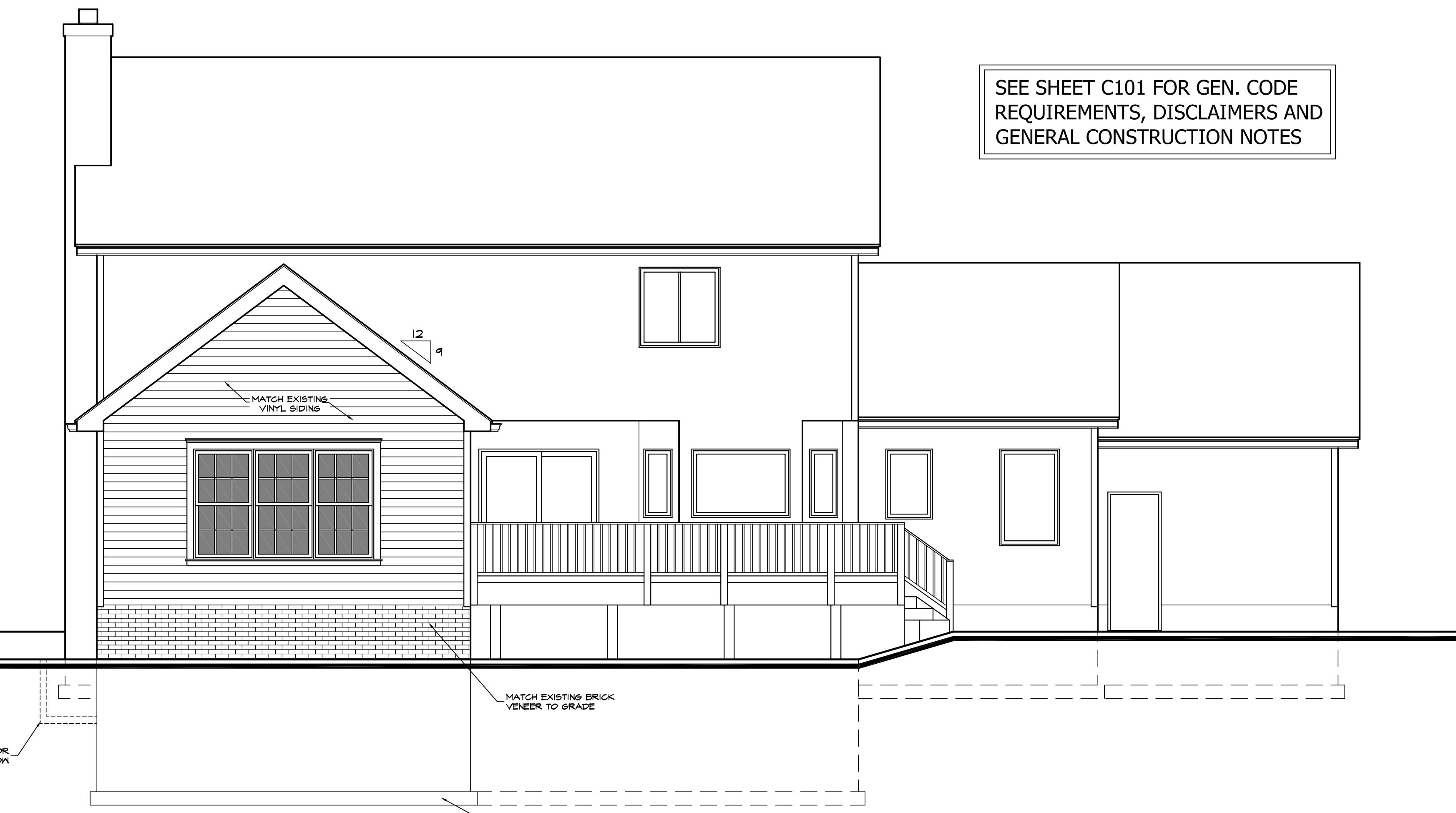
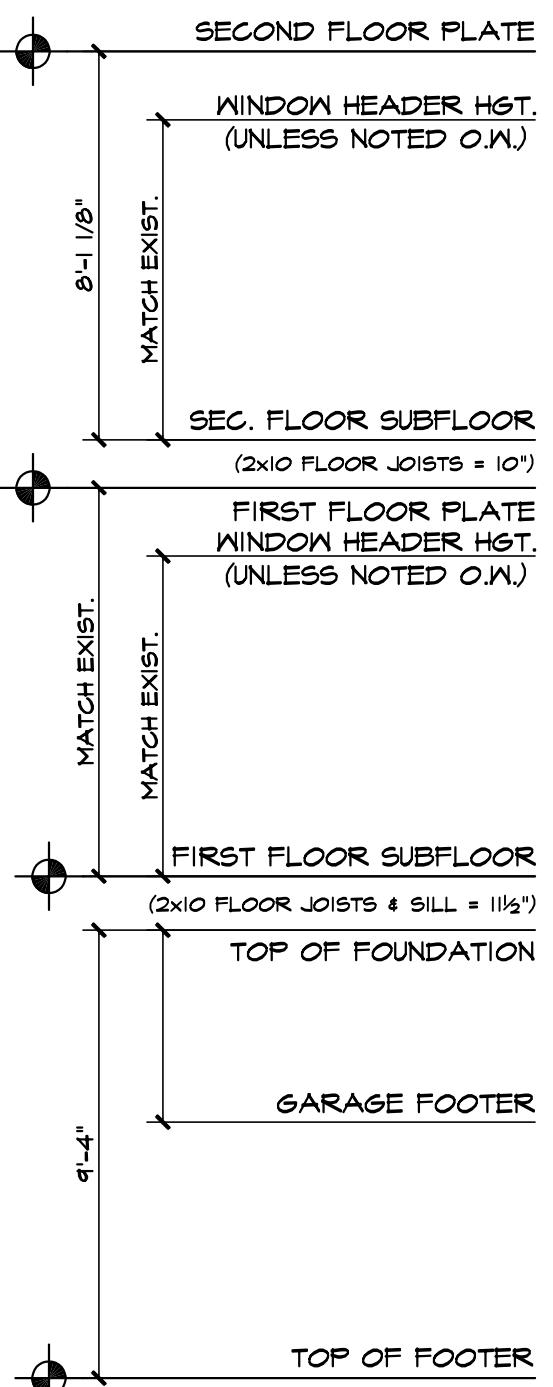
ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

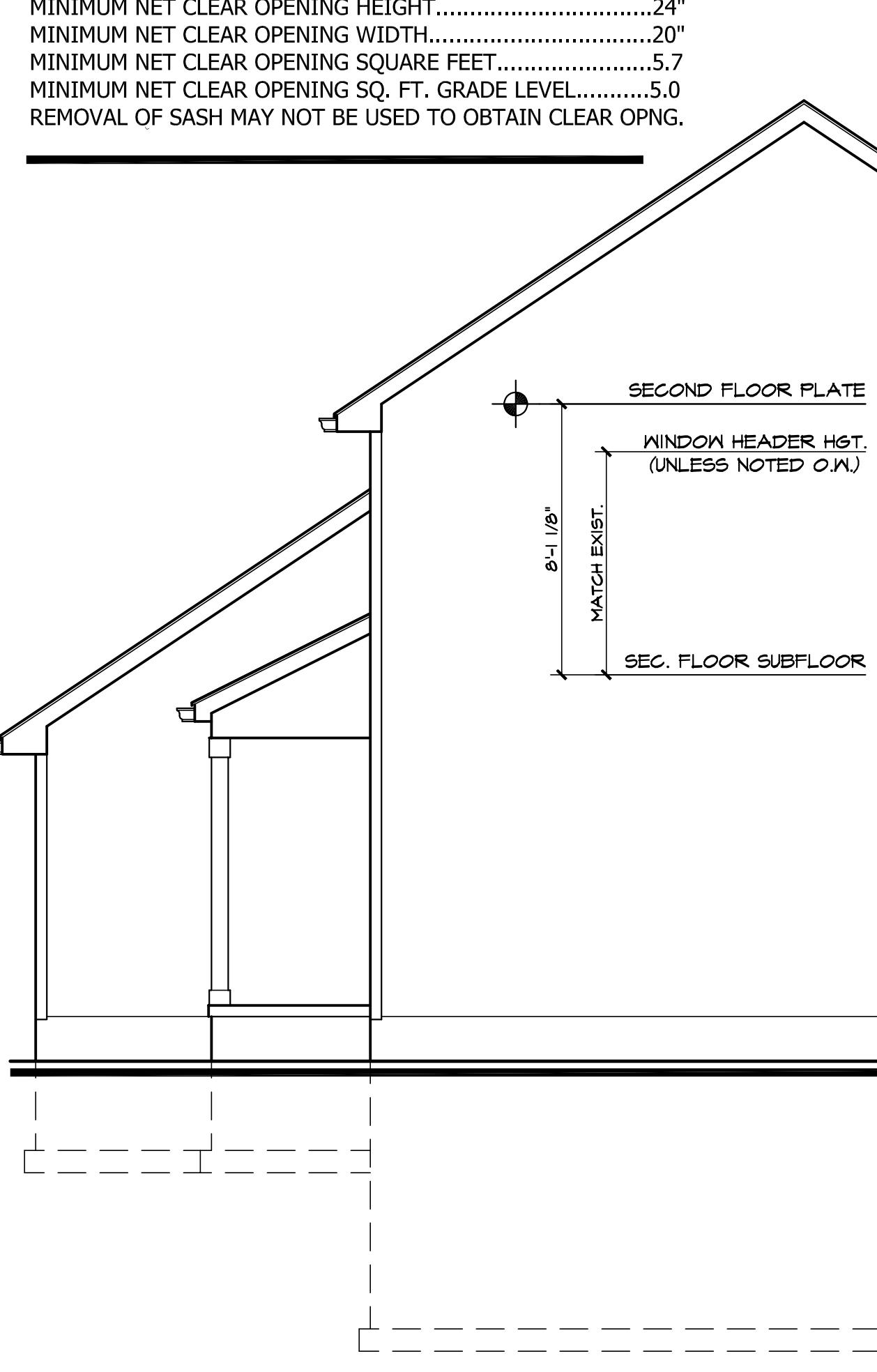
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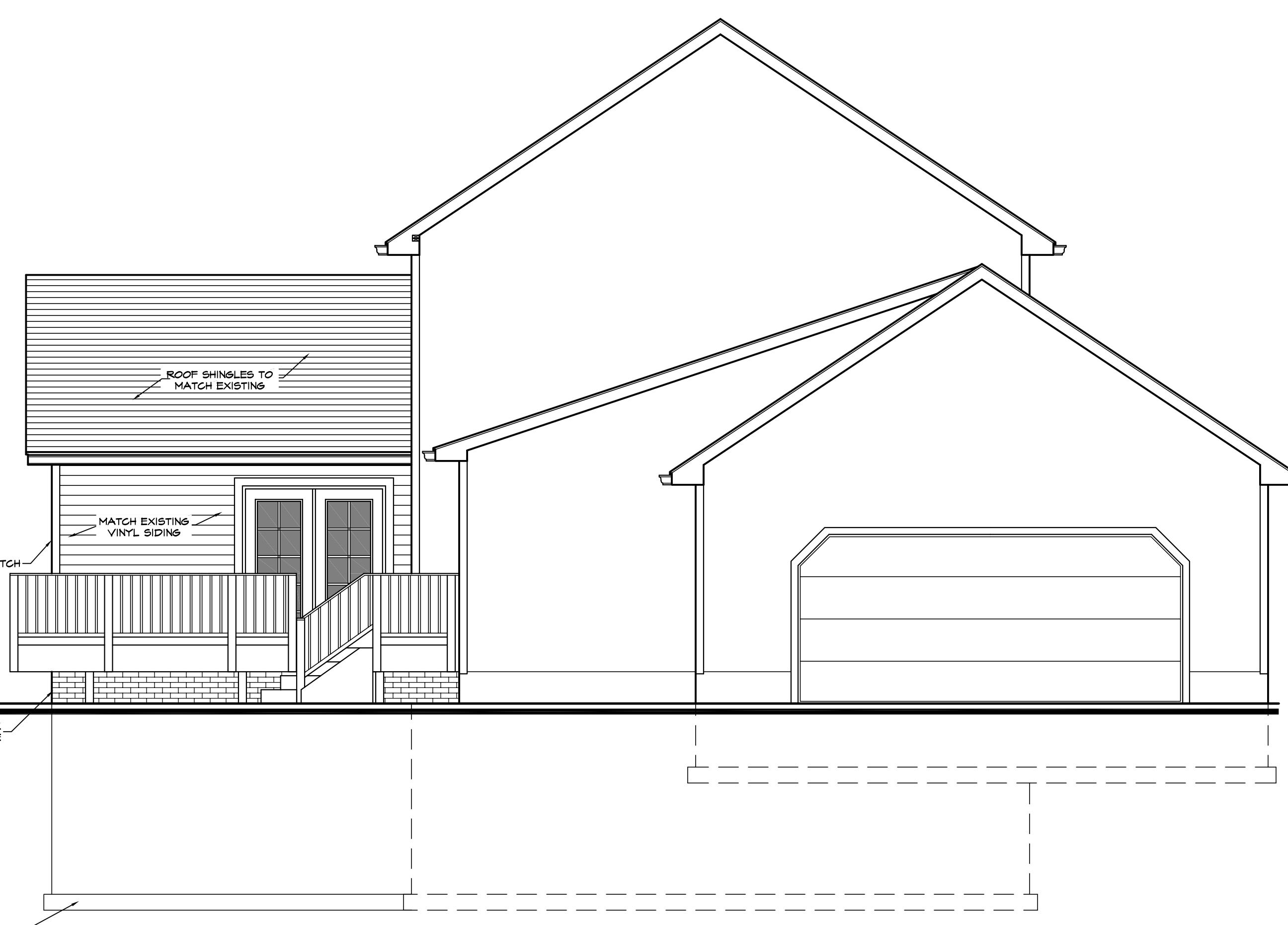


REAR ELEVATION

S: 1/4" = 1'-0"

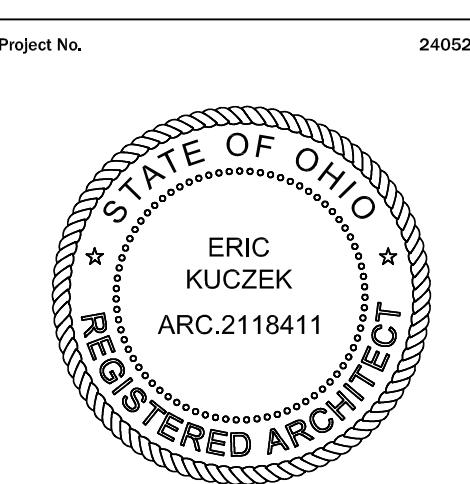


RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION

S: 1/4" = 1'-0"



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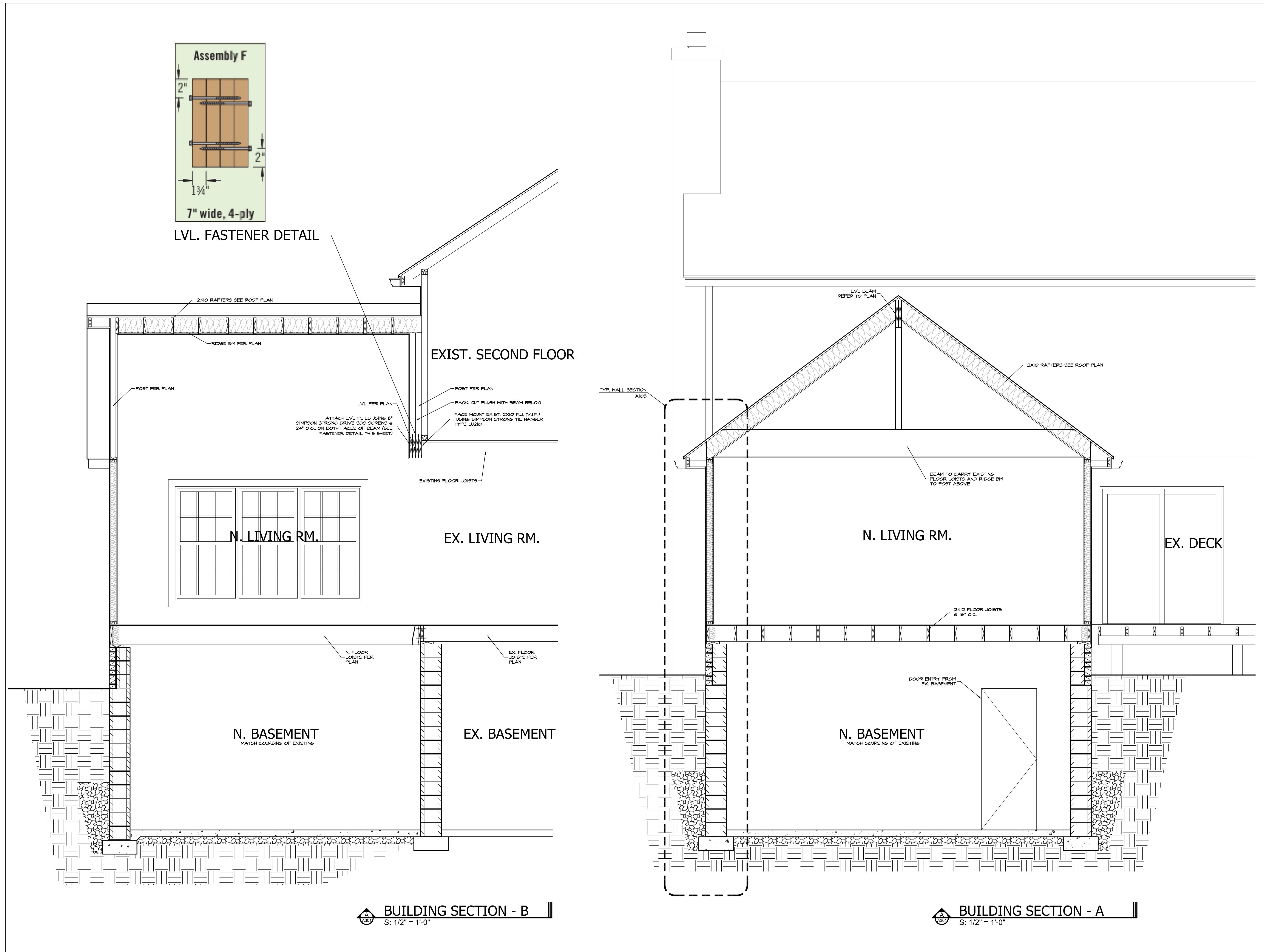
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SECTIONS &
DETAILS

A301



MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT SOJOURN ARCHITECTS IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	110V DUPLEX RECEPTICAL
	SWITCH PLUS
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GFI GROUND FAULT CIRCUIT INTERRUPTER
	WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	WALL LIGHT
	CEILING OUTLET (RECESSED FIXTURE)
	CEILING OUTLET (RECESSED EYEBALL FIXTURE)
	EXHAUST FAN
	SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
	CEILING FAN
	FLUORESCENT PANEL

PLAN DESIGN & CONSTRUCTION CRITERIA

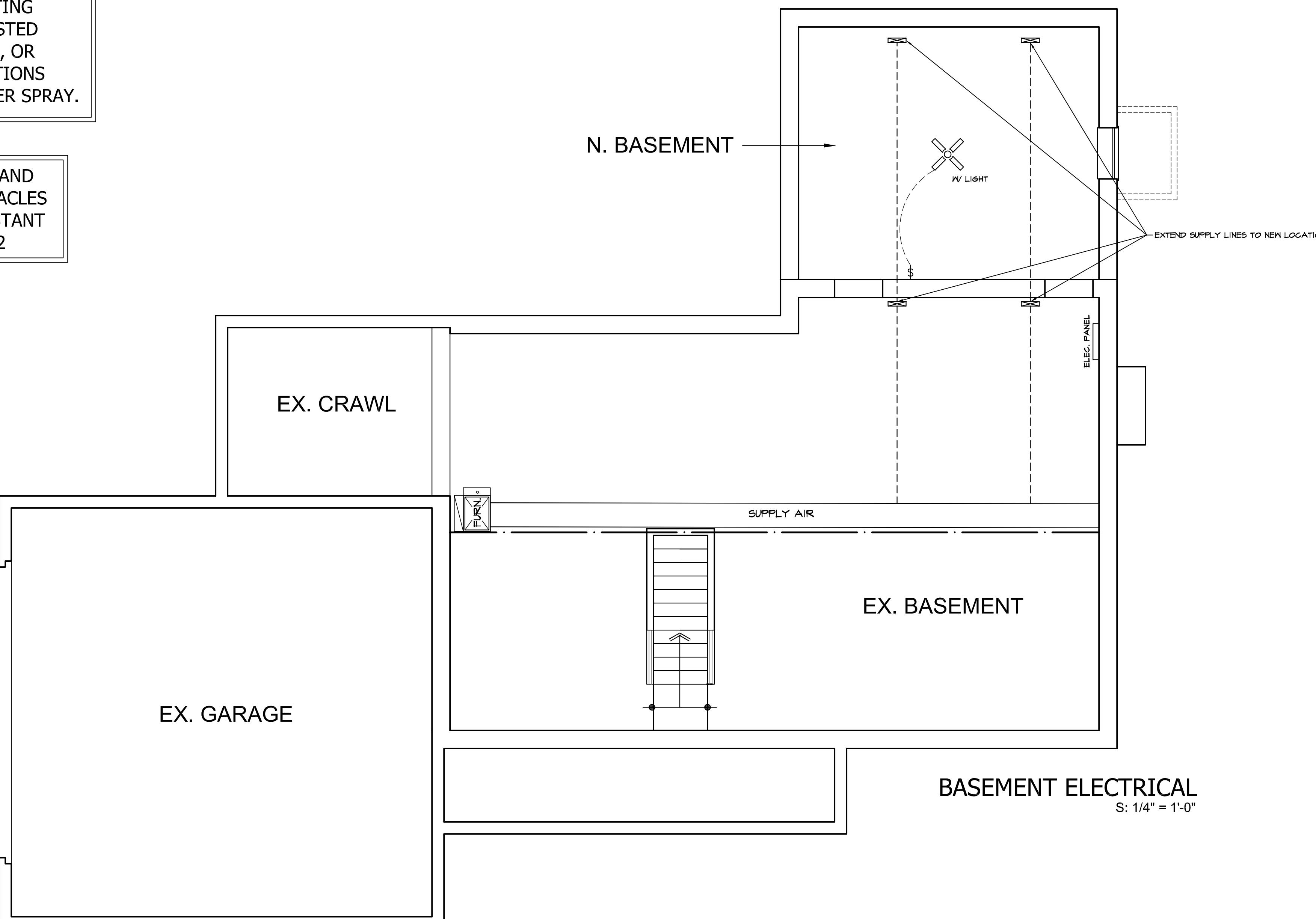
BASED ON THE FOLLOWING CODES:

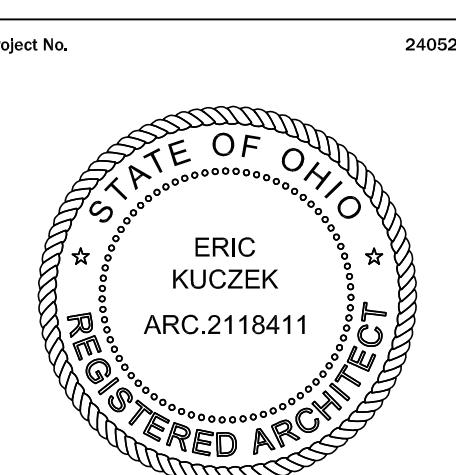
2019 Residential Code of Ohio (RCO)
2017 National Electric Code (NEC)
2024 Ohio Mechanical Code (OMC)
2024 Ohio Plumbing Code (OPC)
2017 International Energy Conservation Code (IECC)

NOTE: IECC REQUIRES THAT AIR INFILTRATION MOVES FROM A 5 TO A 3

NOTE: PER NEC SECTION 410(D)
ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12





Project No. 24052
Revisions
2025-01-20 PERMIT
2025-03-20 CITY COMMENTS

Project
LIVING ROOM ADDITION
7593 LAKEGE COURT
HUDSON, OH 44236

Client
JUSTIN RICHMOND

Date Issued
2025.03.20

MECH / ELECTRICAL
SCHEMATICS

M102

Sheet No. 2024

MECHANICAL NOTES

RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT SOJOURN ARCHITECTS IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	110V DUPLEX RECEPTICAL
	SWITCH PLUS
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GFI GROUND FAULT CIRCUIT INTERRUPTER
	WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	WALL LIGHT
	CEILING OUTLET (RECESSED FIXTURE)
	CEILING OUTLET (RECESSED EYEBALL FIXTURE)
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