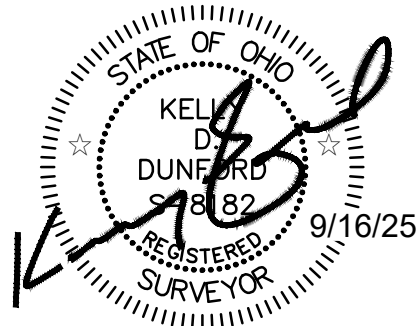




REVISIONS:

1.)

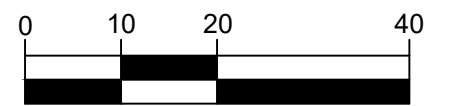
SITE NOTE:
1.) CONCRETE WASHOUT PIT TO
BE INSTALLED AT ENTRANCE
TO DEVELOPMENT.

BUILDER:
LDA BUILDERS, INC.
6683 OLDE EIGHT RD.
PENINSULA, OH 44264
TONY LUNARDI
(330) 528-3800

TOPOGRAPHIC SURVEY & SITE PLAN

for
~The Milleson Residence~
to be built by
LDA Builders, Inc.

Situated in the City of Hudson, County of Summit and
State of Ohio: And known as being Lot No. 10 in
the Hudson Preserve Subdivision, as
recorded in Doc. #56826538.



SCALE: 1" = 20'

DATUM:

B.O.B.: RECORD PLAT
VERT: IMPROVEMENT PLANS

LEGEND

- 998 - Ex. Contour
- 1002 - PR. CONTOUR
- Ex. Tree Line
- PR. CLEARING LIMITS
- TREE TO BE REMOVED
- PR. CONC. WASHOUT PIT, CONST. ENTRANCE & SILT FENCE
- PR. DRAINAGE DIRECTION/SWALE
- PR. WELL
- PR. DOWNSPOUT
- Ex. Utility Pole & Pedestals
- Ex. Mailbox
- Ex. San./Stm. MH.
- Ex. Stm. Inlet/Basins & Downspout Location
- Ex. Gas Valve & Shutoff
- Ex. Hyd., Valve/ Shutoff & Well
- Iron Pin Set
- Rebar or Iron Rod/Pin Fnd.
- Iron Pipe Fnd.
- Mon. Fnd.

CONSTRUCTION NOTES:

- Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
- Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
- Silt fence must surround all excavation areas so that no silt escapes site.
- A construction entrance shall be constructed in the same location as the permanent drive, consisting of #1&2 aggregate and be a minimum of 70 feet long.
- All grades shall comply w/corresponding government office.
- Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
- Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.

- All sewer connections must maintain a minimum slope of 1%.
- Footer drain & downspouts are to be tied into the storm drain. Refer to house plans for downspout locations.
- A foundation sump pump is required unless otherwise determined by contractor.
- The location of utilities shown hereon are based on observed evidence of above ground appurtenances used along with plan information provided to the surveyor. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
- There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.



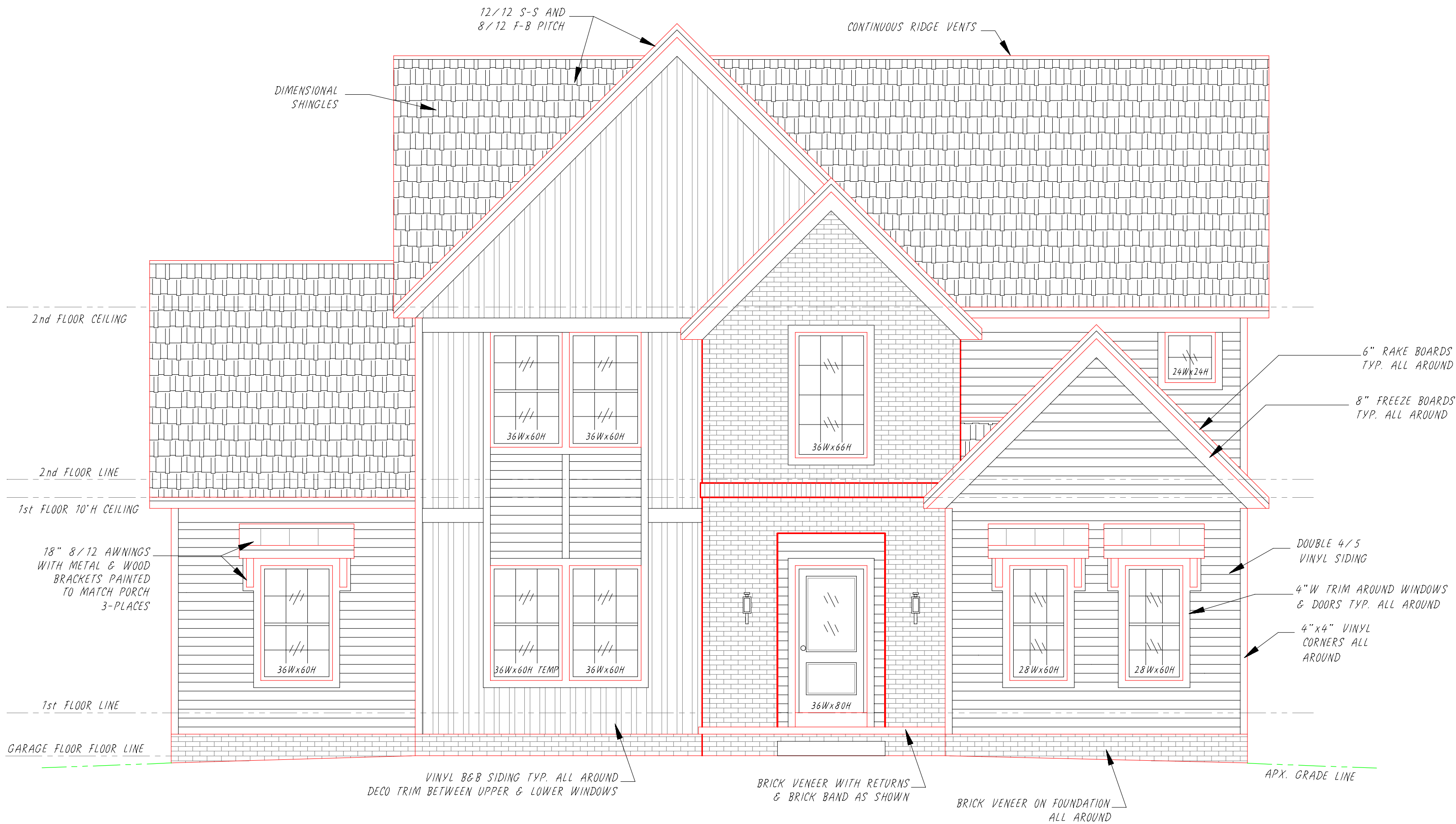
Know what's below.
Call before you dig.

SURVEYED BY:



KELLY D. DUNFORD, P.S. 8182
2858 FULMER DR., SILVER LAKE, OH
(330) 928-7750
ps8182@sbcglobal.net
www.apexlandsurveying.com

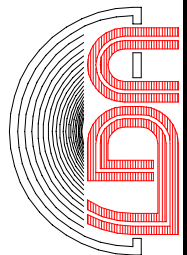
PROJ: 2020163



Front Elevation (S/L 10 - 5235 Preserve Lane)

PARCLE # 30-10394
S/L 10, Hudson Preserve
5235 Preserve Lane, Hudson, OH 44236
Apx. Lot Size - 131.51' Frontage x 249.34' Deep on left, .5219 acres
Overall House Size - 50'Wx50'D, Apx. 2274 Sq ft on lot
2634 Sq ft Living Area,
(1634 Sq ft on First floor & 1000 Sq ft on Second floor)
1507 Sq ft Basement and 451 Sq ft of Garage

HP010



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clevel(330) 528-3800 * Akron(330) 342-4240
TITLE Gateway, modified 2-STORY (2634 sq.ft.)
NO. 25-HP010-10
FRONT ELEVATION

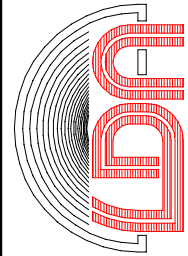
SCALE	DATE	BY	DATE
1/4" = 1'	09/15/23		
DRN	CK'D		
AP'VD			

CUSTOMER
Shaun & Katie
Milesen



Left Side Elevation 091425

CUSTOMER	SHAUN & KATIE MILLERSON			
	LIDA BUILDERS INCORPORATED Boston Hts., Ohio U.S.A. * Phone/Fax Cleve(330) 528-3800 * Akron(330) 342-4240			
	TITLE Gateway, modified 2-STORY (2634 sq.ft.)			
	NO. 25-HP010-11			
SCALE	1/4" = 1'	REVISIONS		
DATE	09/15/25	BY	DATE	
DRN	Z			
AP'VD				





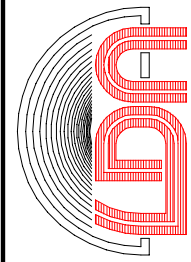
Rear Elevation

CUSTOMER
Shaun & Katie
Milleson

SCALE 1/4" = 1'
DATE 09/15/23
DRN Z
AP'VD

REVISIONS

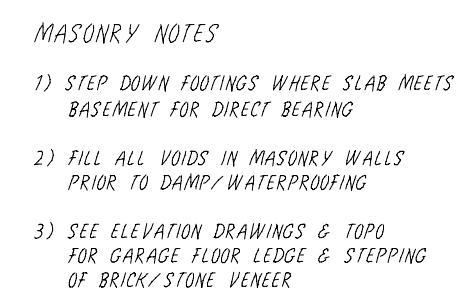
BY DATE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax Clevela(330) 528-3800 * Akron(330) 342-4240
TITLE Gateway, modified 2-STORY (2634 sq.ft.)
NO. 25-HP010-12
RER ELEVATION



Right Side Elevation

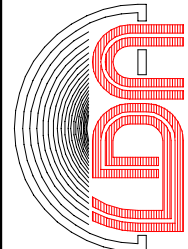
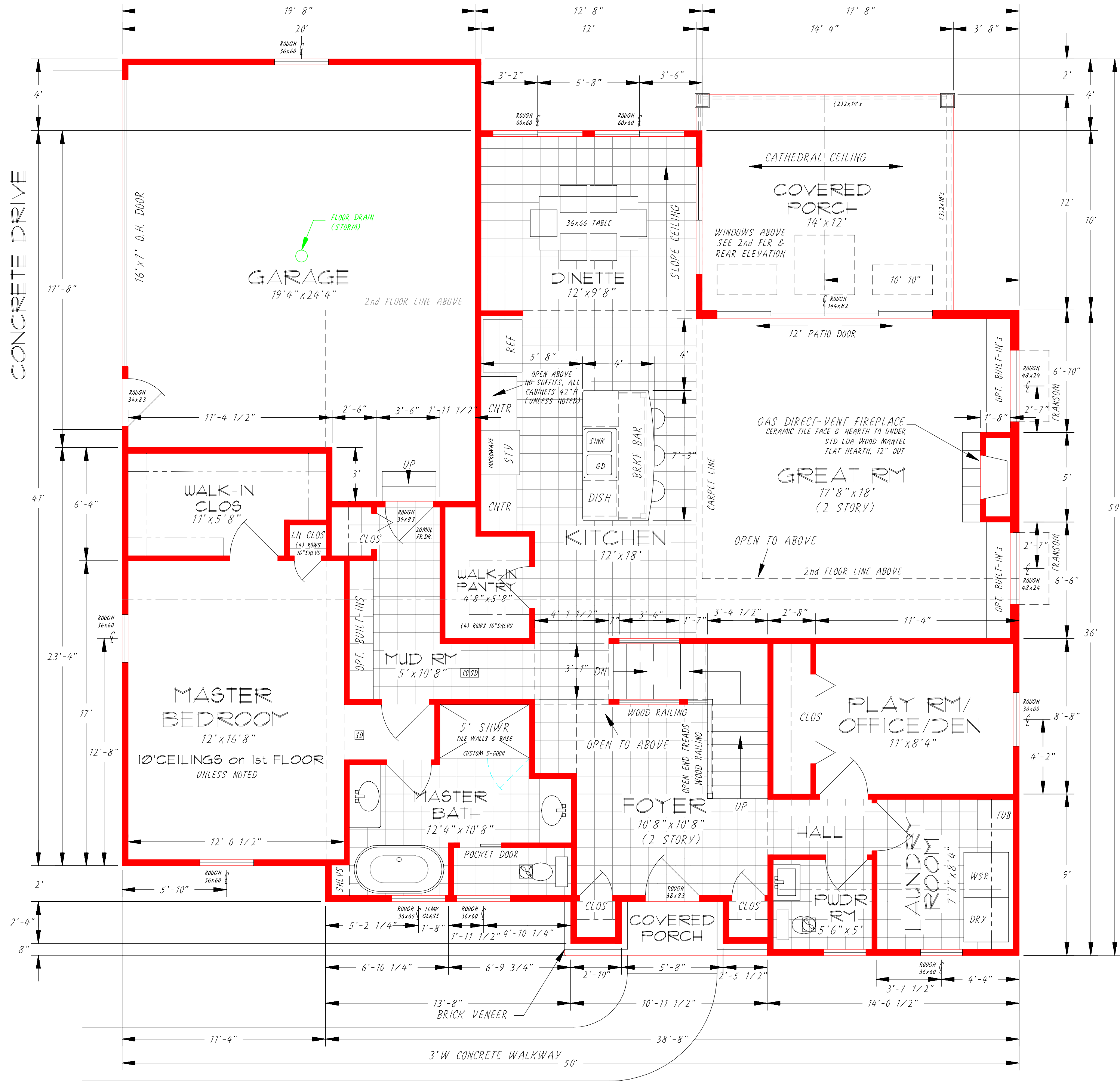


- ## FRAMING NOTES
- 1) PROVIDE DOUBLE JOIST AND CROSS BLOCKING UNDER ALL PARALLEL WALLS
 - 2) ALL FRAMING LUMBER TO BE STRUCTURAL GRADE
 - 3) SPACE FLOOR JOISTS OR HEADER OFF FLOOR JOISTS FOR TOILETS, CENTER OF TOILET 4"D DRAINS ARE 12" OFF WALL
 - 4) FIRESTOP ALL AREAS AS REQUIRED BY MUNICIPALITY CODE

MAIN ELEC
ENTRY HERE
(IF CONDITIONS
ALLOW)

MAIN GAS
ENTRY HERE
(IF CONDITIONS
ALLOW)

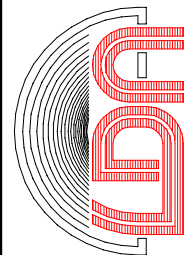
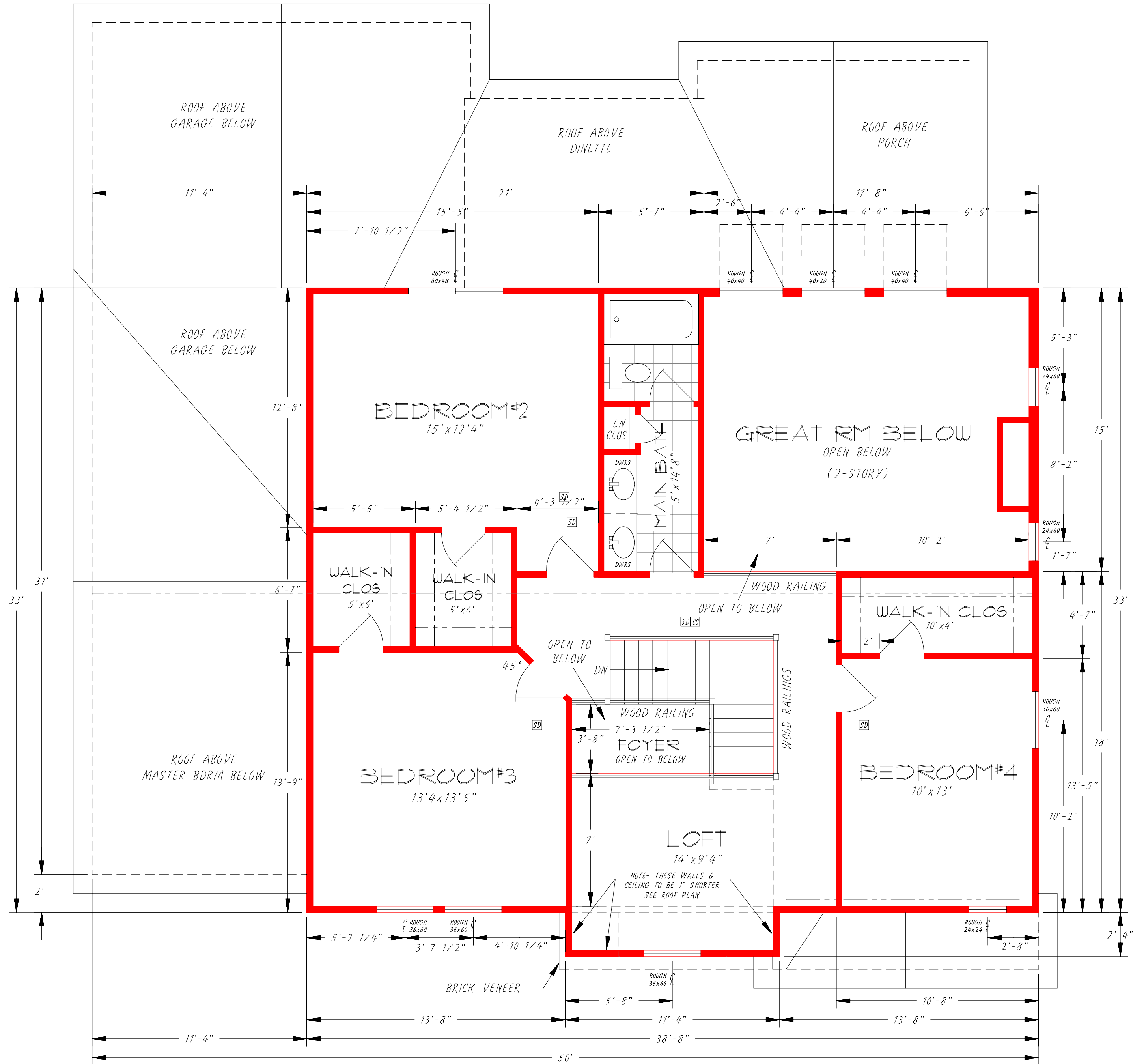
CONCRETE DRIVE



LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. • Phone/Fax: (330) 528-3800 • Akron (330) 342-4240
No. 25-HP010-23
TITLE Gateaway, modified 2-STORY (2634 sq.ft.)
FLOOR PLAN (1st Floor)

SCALE	DATE	BY	DATE	REVISIONS
1/4" = 1'	09/15/23			
DATE	09/15/23	BY	DATE	REVISIONS
DRN	7/2	CR'D		
APP'D				

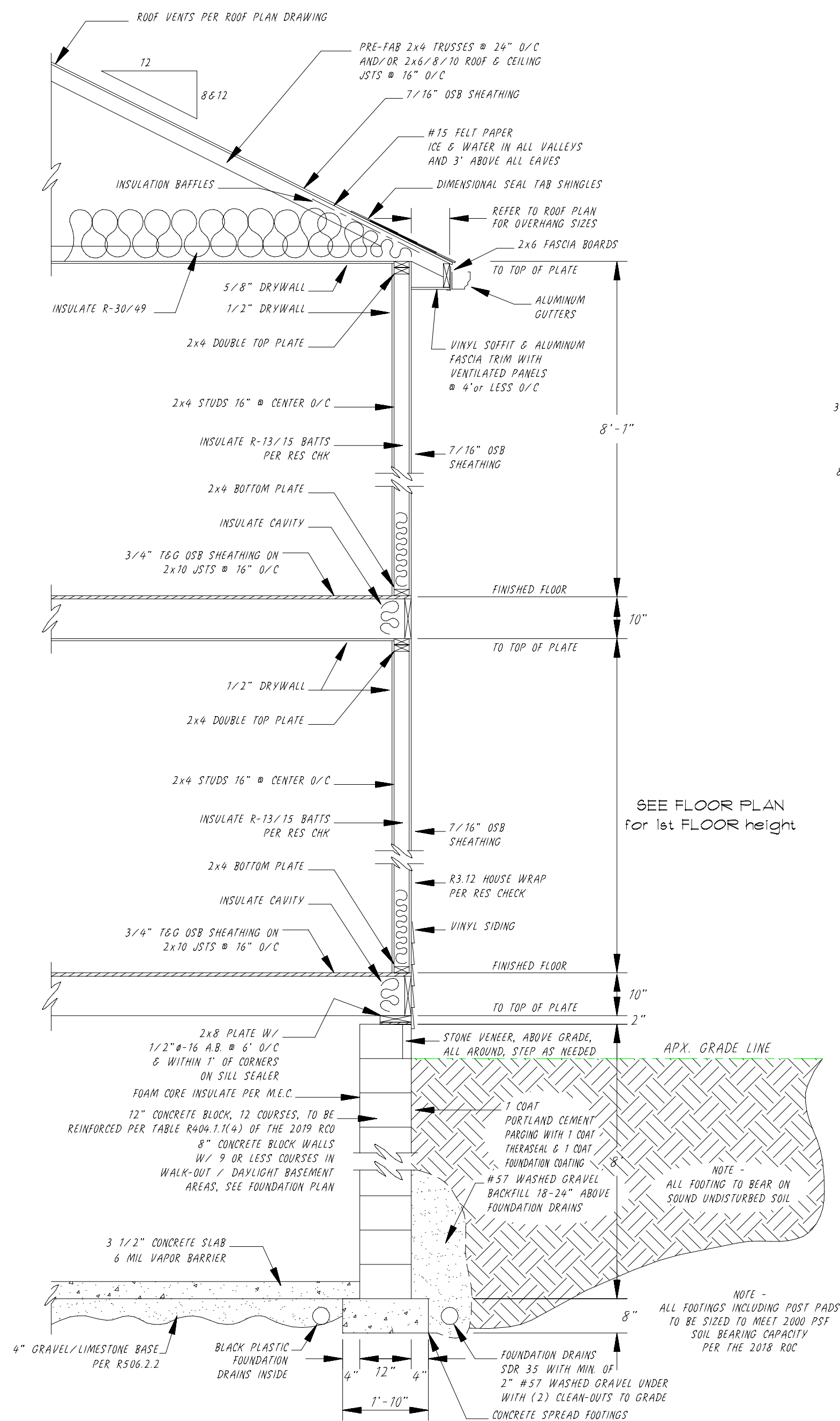
CUSTOMER
Shaun & Katie
Milesen



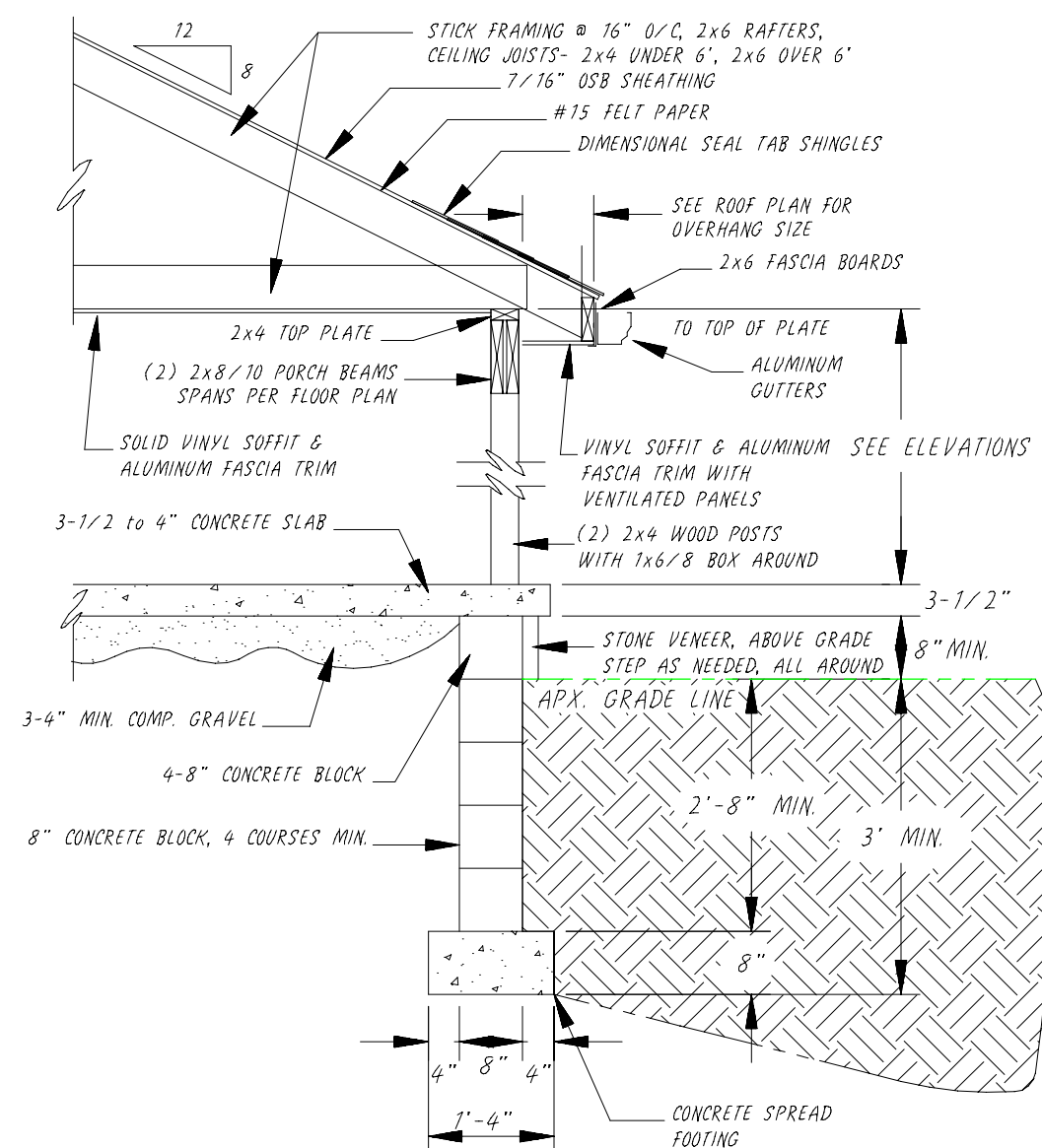
SCALE	DATE	BY	DATE
1/4" = 1'	09/15/23		
DRN	CK'D		
AP'VD			

CUSTOMER
Shawn & Katie Milesen

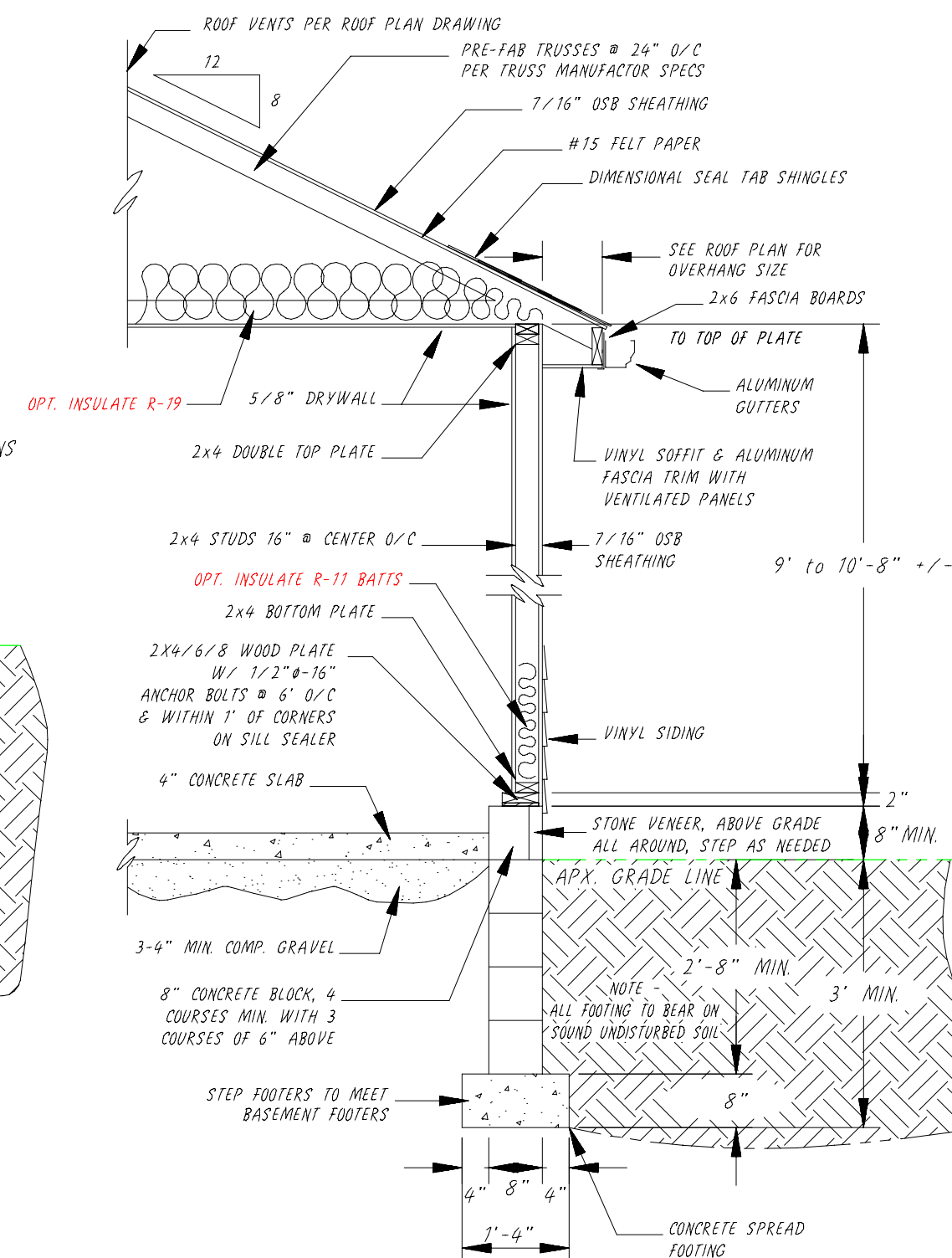
LIDA BUILDERS
INCORPORATED
Boston Hts., Ohio U.S.A. * Phone/Fax: (330) 528-3800 * Akron (330) 342-4240
TITLE: **Gateway, modified 2-STORY (2634 sq.ft.)**
NO. **25-HP00-24**
FLOOR PLAN (2nd Floor)



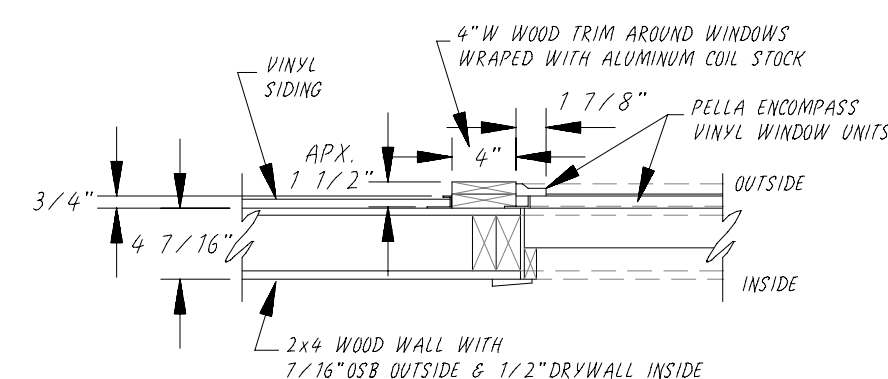
Main House Wall Cross Section View



Typical Porch Cross Section View



Garage Wall Cross Section View



Typical Window Section View

- CONSTRUCTION NOTES (2019 CODE)
- 1) ALL ROOF PITCHES TO BE AN 12/12
SIDE TO SIDE & AN 8/12 FRONT TO BACK,
UNLESS NOTED, INCLUDING GARAGES, PORCHES
AND CANTILEVERS
 - 2) ALL PARALLEL WALLS TO HAVE
DOUBLE JOISTS AND CROSS BLOCKING
UNDER THEM
 - 3) GARAGE WALLS, BETWEEN GARAGE &
HOUSE, AND GARAGE CEILING
TO HAVE 5/8" FIRECODE DRYWALL
 - 4) BLOCK WALLS TO REINFORCED PER TABLE
R404.1.1(4) OF THE 2019 ROC AND HAVE
HORIZONTAL DOWRWALL EVERY APX. 3 COURSES
 - 5) ALL HEADERS TO BE A MIN. OF (2) 2x10'S
WITH 7/16" OSB CENTER, OR LARGER
AS INDICATED ON FLOOR PLANS
 - 6) ALL ROOF STICK FRAMING & OVERBUIDS TO BE
A MIN. OF 2x6 FOR SPANS UNDER 14',
A MIN. OF 2x8 FOR SPANS 14' TO 18' AND
INCLUDE 2x8 SHOE PLATES, 2x8 RIDGE BOARDS
AND 2x4 COLLAR TIES
 - 7) TRUSS ANCHORS TO BE INSTALLED PER SECTION
R802.10.5 OF THE 2019 ROC.
 - 8) ALL DEAD AND LIVE LOADS TO BE PER THE
2018 ROC, AND MINIMUM UNIFORMLY DISTRIBUTED
LIVE LOADS TO BE PER TABLE R301.5
 - 9) THE MAIN DOOR BETWEEN THE HOUSE AND
GARAGE IS TO COMPLY WITH SECTION
R309.1 OF THE 2019 ROC.



COMMUNITY DEVELOPMENT • 115 Executive Parkway, Suite 400 • Hudson, Ohio 44236 • (330) 342-1790

Residential Landscaping Requirements

To be completed at application for new house construction

The following information must be submitted at application for new residential construction. The Land Development Code requires the planting (or preservation) of up to three trees within the site limits of disturbance. The total number of trees required will be determined by a review of the approved site plan and noted as a condition on the zoning certificate.

I, _____ accepts responsibility for the
Owner or Applicant (Please Type or Print)

planting of trees as noted within the conditions of the Zoning Certificate for the house construction at:

5235 Preserve Lane
Street # or S/L# Street Name

as required by Land Development Code Section 1207.04(j)(1). Tree planting must be completed within **18 months** from the start of construction and **24 months** from the issuance of the Zoning Certificate.

Signature of Applicant or Owner

Date

□ □ □ □

This tree planting responsibility is not transferable unless the City of Hudson receives the form below executed by the property owner or purchaser.

I, _____ accept the above stated responsibility for
Owner or Purchaser (Please Type or Print)

planting trees within the time period specified or otherwise approved by the City.

Signature of Owner or Purchaser

Date

FAILURE TO FULFILL THE REQUIREMENTS AS ENUMERATED HEREIN WILL RESULT IN CIVIL AND/OR CRIMINAL LIABILITY TO THE PERSON OR ENTITY SIGNING THIS ACKNOWLEDGEMENT PURSUANT TO THE MANDATES OF THE HUDSON LAND DEVELOPMENT CODE

A photograph of a residential lot. In the foreground, a dark asphalt road curves from the bottom left towards the center. A black pickup truck is parked on the left side of the road, facing away from the camera. To the right of the road is a large, flat, sandy area, likely a cleared lot. In the background, there is a dense line of trees with green and some autumn-colored foliage. Behind the trees, a red barn with a grey roof is visible, along with a smaller grey house. The sky is a clear, bright blue with a few wispy clouds. The overall scene is captured in a wide-angle shot, typical of a smartphone camera.

Lot 10 –5235 Preserve Lane Subject lot

Galaxy A32 5G

A photograph of a residential lot. In the foreground, there is a dark asphalt road. To the right of the road is a concrete curb. Beyond the curb is a sandy, cleared area. In the background, there is a line of trees, including a large, tall, brown-leaved tree on the left and several green evergreen trees on the right. A house with a dark roof and a red barn-like structure is visible behind the trees. The sky is blue with a few wispy clouds and a single contrail.

Lot 11– 5223 Preserve Lane
First lot to the right

Galaxy A32 5G



Lot 9 - 5247 Preserve Lane,
1st lot to the left, north



Lot 8 - 5259 Preserve Lane,
2nd lot to the left, north



Lot 7 –5272 Preserve Lane 3rd lot to the left

A wide-angle photograph of a dirt lot. In the center, a grey portable toilet stands on a small patch of grass. Behind it is a dense line of tall, green trees. To the right, a house with white siding and a dark roof is partially visible, with some construction materials nearby. The sky is blue with large, white, fluffy clouds. The foreground is a flat, light-colored dirt surface.

Lot 6 – across the street 2nd lot north west

Galaxy A32 5G



Lot 5 – across the street, 1st lot northwest

Galaxy A32 5G



Lot 4 – across the street

Galaxy A32 5G



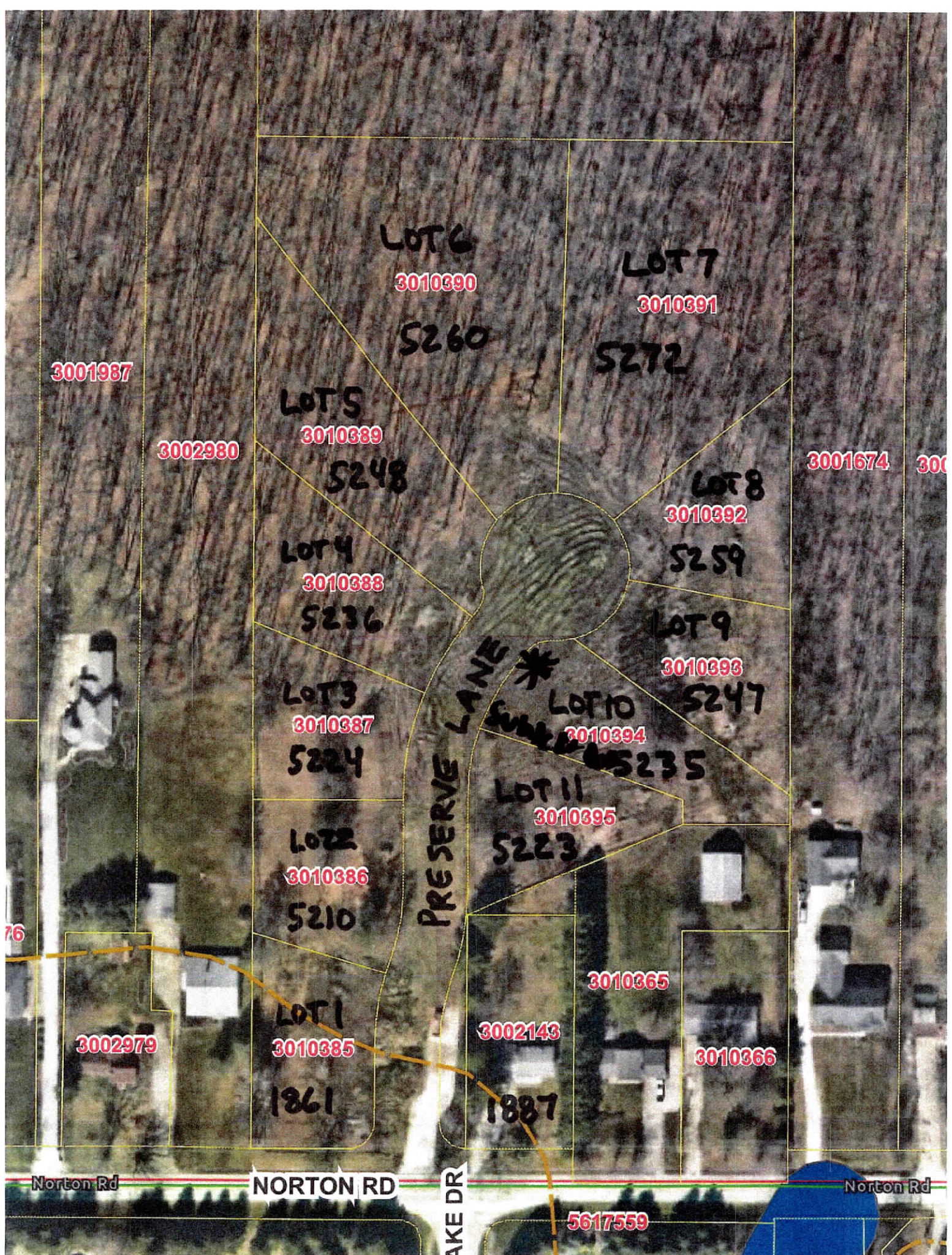
Lot 3 – 5224 across the street, west

Galaxy A32 5G

A photograph showing a residential lot across a street. The lot is mostly bare earth with some sparse vegetation. It is surrounded by mature trees with green and some yellowing leaves, suggesting autumn. The sky is clear blue with a few wispy clouds. The sun is visible in the upper left, creating a lens flare. In the foreground, there is a dark asphalt road with shadows from trees off-camera. On the right side of the lot, there is a stack of materials, possibly lumber or siding.

Lot 2 – across the street, southwest

Galaxy A32 5G



REGIONAL INCOME TAX AGENCY

CITY OF HUDSON
MUNICIPAL INCOME TAX

REGISTRATION OF CONTRACTORS

PROPERTY ADDRESS: 5235 Preserve Lane, Hudson OHDATE: 9/16/25

APPLICATION #:

AMT. OF CONTRACT

\$519,506.00

ZONING PERMIT #:

CONTRACTOR NAME: LDA Builders, IncADDRESS: 6683 Olde Eight Rd.CITY: Peninsula, OH 44264 PHONE: (330) 528-3800FED. I.D. # OR S.S. #: 34-1760118

TYPE	SUB- CONTRACTORS	ADDRESS	SOCIAL SECURITY # OR FED. TAX I.D. #	CONTRACT AMOUNT	ESTIMATED WAGES
CARPENTRY	Mullet Construction	5183 Aurora Rd. Mechanicsburg, OH 43051	291-84-6583		
MASONRY	Dave Miller masonry	673 Stratford Rd. Delaware OH 43013			
EXCAVATION	Bontrager	11087 Cleveland Ave. N.W. Uniontown, OH	20-356 0639		
SEP. TANK/SEWER	NIA	NIA	NIA	NIA	NIA
HOT ROOFING	NIA	NIA	NIA	NIA	NIA
PLUMBING	Hershberger	15325 Georgia Rd. Middlefield OH 44062	271-74-8220		
SHEET METAL	NIA	NIA	NIA	NIA	NIA
ELECTRICAL	Northern Ohio Electric	5457 Hartneck Rd. Valley City, OH 44280	463620490		
REFRIGERATION	NIA	NIA	NIA	NIA	NIA
AIR CONDITION.	A New Image Heating & cooling	4463 Renaissance Parkway Warrensville Hts., OH 44128	34-1681284		
WARM AIR HEAT.	Same as above				
STEAM VAPOR	NIA	NIA	NIA	NIA	NIA
HOT WATER	Hershberger	(Same as above - plumbing)			
DRYWALL/PLAST.	Lenwood, Inc	P.O. Box 3160198 Strongsville, OH 44136	34-1521909		
DEMOLITION	NIA	NIA	NIA	NIA	NIA
LANDSCAPING	NIA	NIA	NIA	NIA	NIA
PAINTING/DÉCOR.	Viole H. Painting	3946 Crestview Ave. Warren OH 44148	208-70-0490		
OTHER	Dave Spellman	3456 Summit Rd. Ravenna, OH 44266	34-1906766		
			TOTAL		