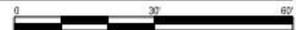


2

SITE PLAN

SCALE: 1" = 30'



FLOOR PLAN GENERAL NOTES

VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION

PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS

BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE

CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.

ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.

COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.

PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.

ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS

ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.

ALL MILLWORK TO BE CUSTOM PER DRAWINGS.

REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES

FLOOR TRUSS CRITERIA

TCL= 30 PSF
 TCUL= 10 PSF
 BCDL= 10 PSF
 NET UPLIFT= 15 PSF
 19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF
 TCUL= 10 PSF
 BCDL= 10 PSF
 NET UPLIFT= 10 PSF
 ATTIC LL= 40 PSF
 ΔTTL < L/360
 USE (2) SIMPSON SWDC15600 SCREWS AT TRUSS BRG

WOOD HEADERS (U.I.O.)

OPENING	HEADERS	NON BEARING	BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING	2 JACK, 1 KING
6'-1" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING	2 JACK, 1 KING
8'-1" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING	3 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

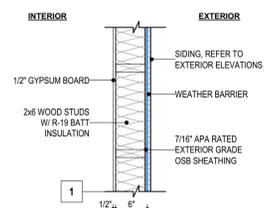
INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



PROJECT #: 2311

ISSUE	ID	DATE

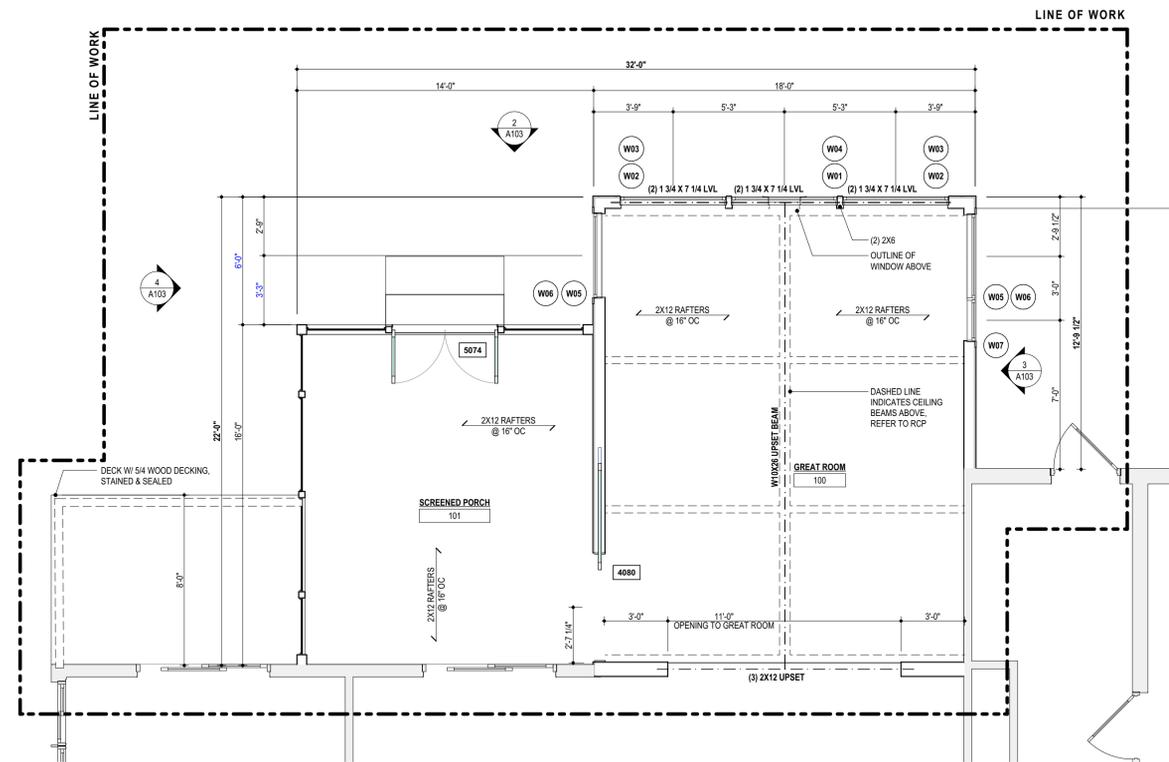
PROGRESS

NOT FOR CONSTRUCTION

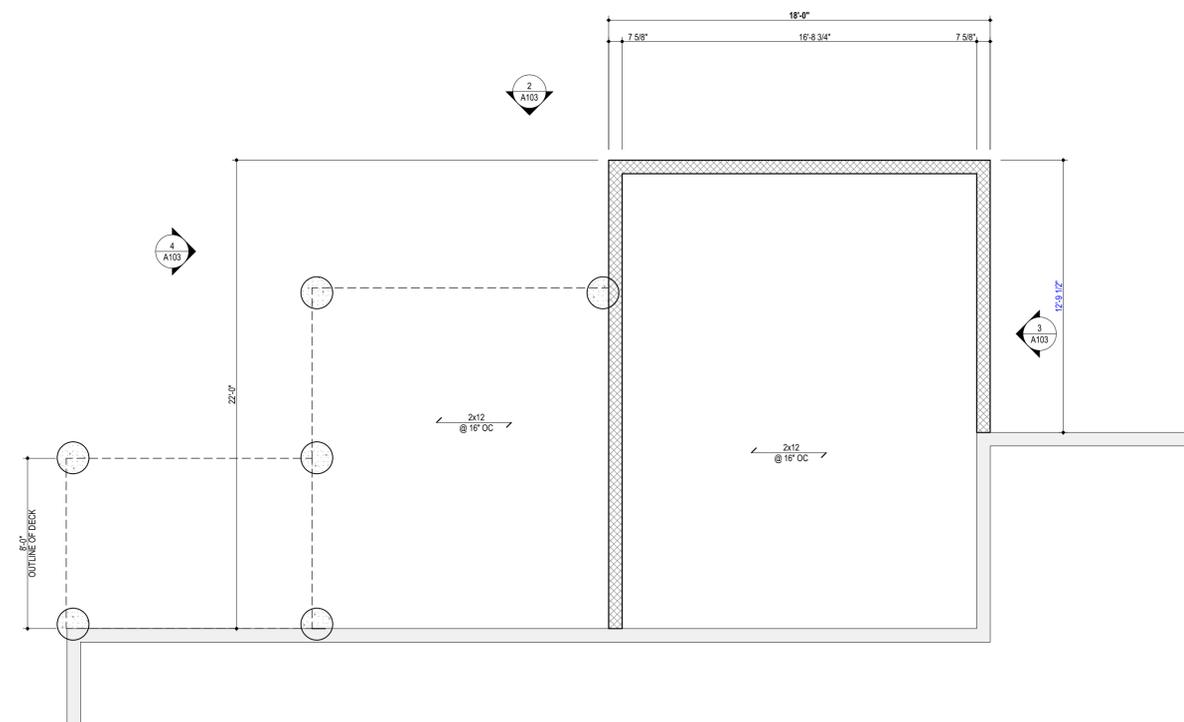
2/5/2024

FLOOR PLANS & NOTES

A101



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

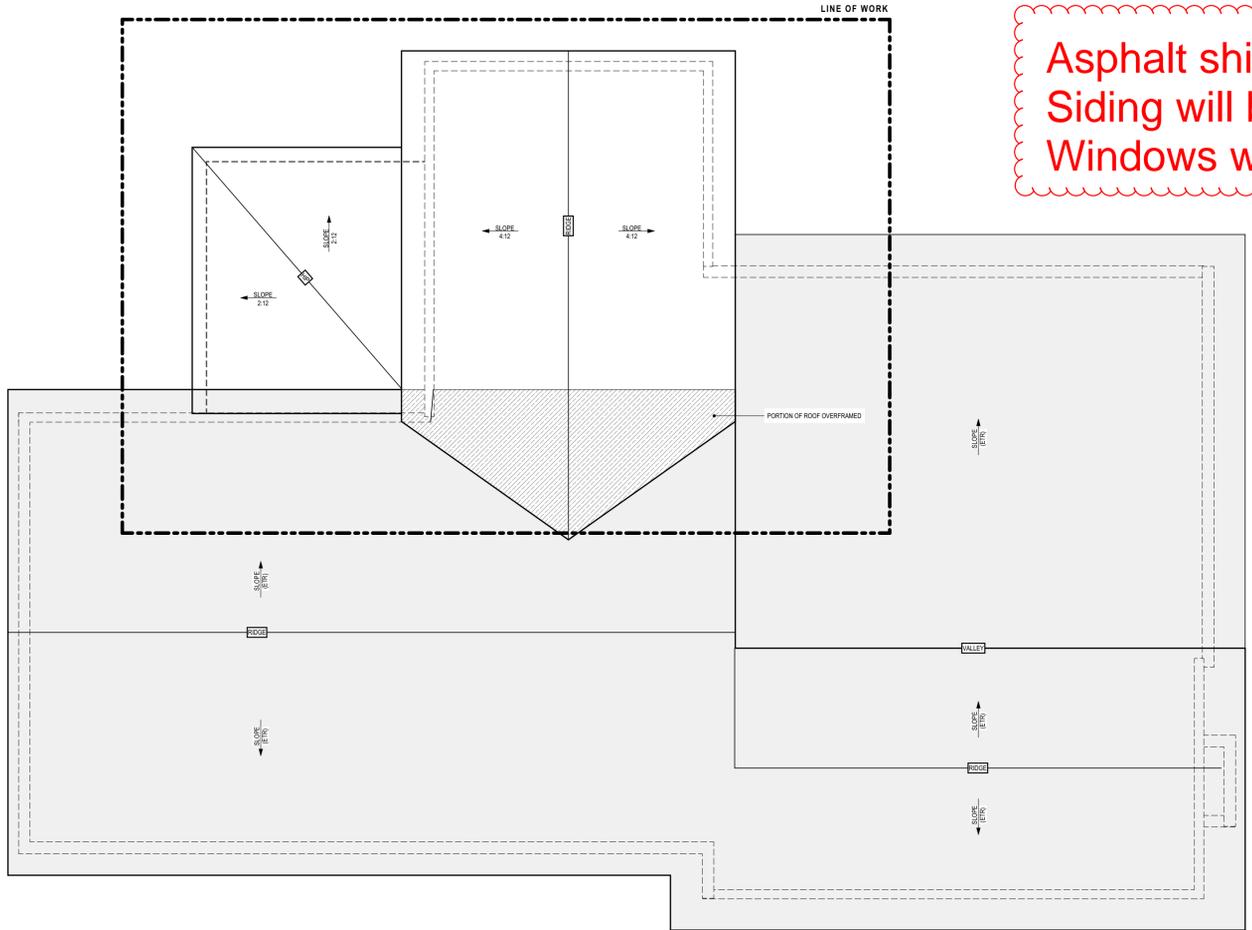


2 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

BOOTH RESIDENCE
 368 ATTERBURY BOULEVARD, HUDSON, OHIO 44236

ISSUE	ID	DATE

Asphalt shingle roofing
 Siding will be horizontal, painted to match
 Windows will be vinyl



1 ROOF PLAN
 SCALE: 3/16" = 1'-0"



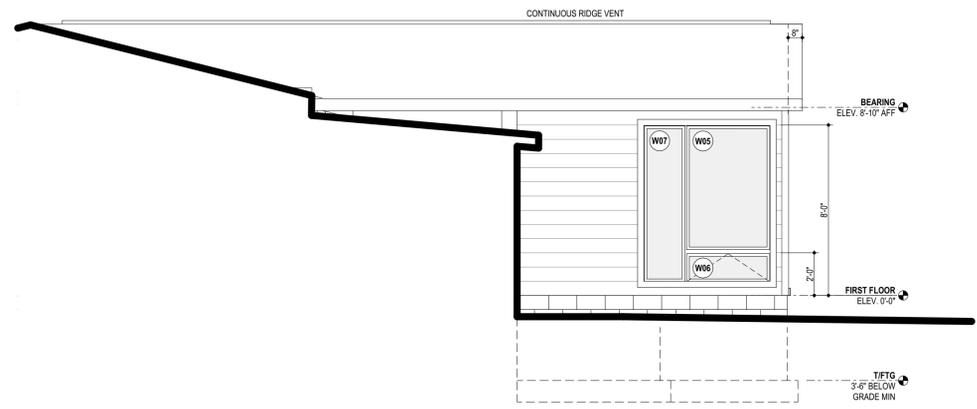
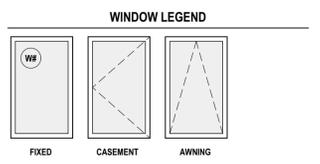
ID	QTY	W x H	REMARKS
W01	1	5'-0" x 7'-6"	
W02	2	5'-0" x 6'-0"	
W03	2	5'-0" x 1'-6"	
W04	1	1'-6" x 2'-0"	
W05	2	4'-0" x 6'-0"	
W06	2	4'-0" x 1'-6"	
W07	1	2'-0" x 7'-6"	

EXTERIOR ELEVATION GENERAL NOTES

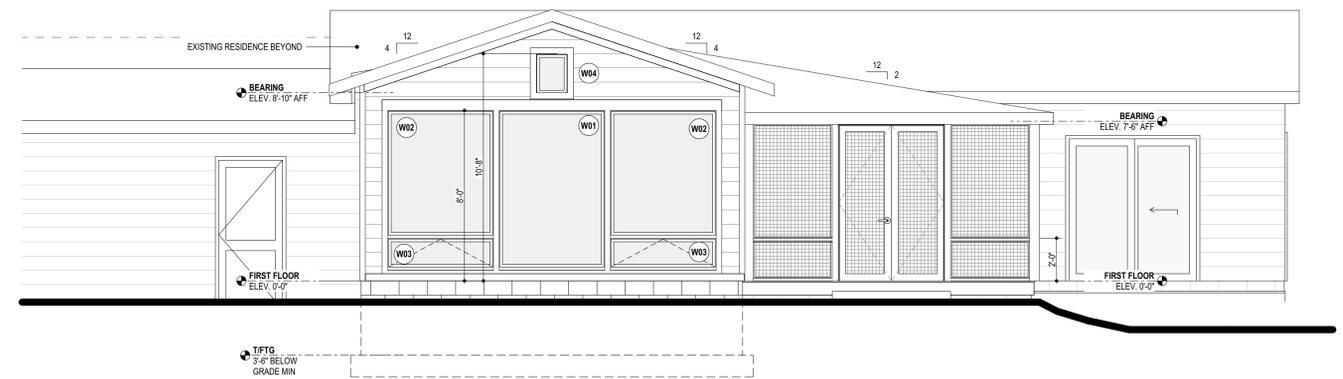
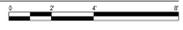
ROOF SOFFITS TO BE AC PLYWOOD WITH A CONTINUOUS LINEAR VENT UNLESS NOTED OTHERWISE.
 ALL FIBER CEMENT EXTERIOR TRIM TO BE AZEK OR BORAL, PAINTED, OR APPROVED EQUAL.
 ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE DOUG FIR, STAINED AND SEALED. COORDINATE FINAL COLOR WITH ARCHITECT AND OWNER.
 ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
 GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
 SAFETY GLAZING TO BE IN ACCORDANCE WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R308).
 BEDROOM EGRESS WINDOWS TO COMPLY WITH THE 2019 RESIDENTIAL CODE OF OHIO (SECTION R310).

ROOF PLAN GENERAL NOTES

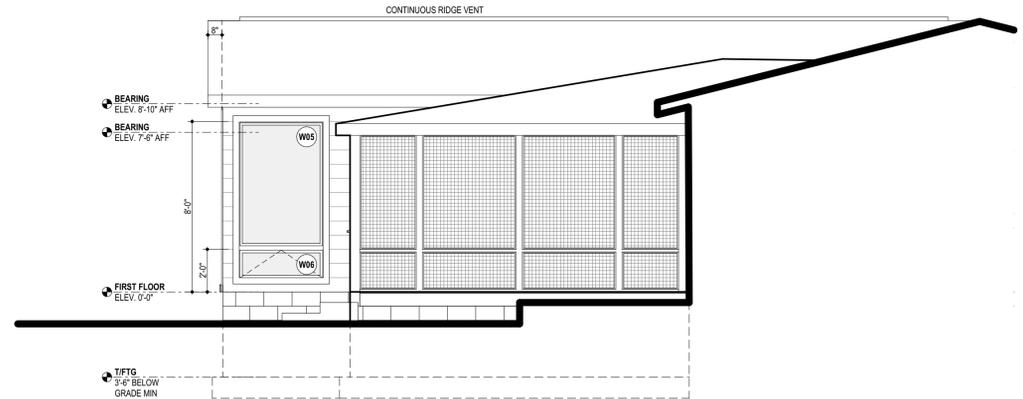
OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.
 ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.
 OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.
 ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.
 FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.
 IN THE EVENT THAT A LIGHTNING PROTECTION SYSTEM IS TO BE PROVIDED, G.C. TO COORDINATE WITH E.C. FOR ALL SYSTEM COMPONENTS.
 GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.
 PROVIDE A MINIMUM OF 36" ICE GUARD AT ALL EAVES. WRAP OVER FASCIA AND UP VALLEY 8"



3 NORTH ELEVATION (SIDE OF HOUSE)
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION (REAR OF HOUSE)
 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION (SIDE OF HOUSE)
 SCALE: 1/4" = 1'-0"

