

"AS-BUILT" CERTIFICATION

I HEREBY CERTIFY THAT THE CIRCLED INFORMATION IS EXISTING AS OBTAINED ON THE SITE _____ 20____ AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JOSEPH GUTOSKEY P.S. #7567

LEGEND	○	DRAWN BY CG	SCALE 1"=20'
	○	CHK'D BY JG	DATE 7/31/25
	---	REV.	
	○	REV.	
○	REV.		

STORM MANHOLE
SANITARY MANHOLE
EXISTING CONTOURS
PROPOSED CONTOURS
EXIST. ELEV. 100.0
100.0 PROP. ELEV.
DIRECTION OF SURFACE DRAINAGE →→

SITE PLAN

for: **TED KNIGHT & SONS CONSTRUCTION**

620	TEREX RD	HUDSON
ADDRESS	STREET	CITY
UNIT 2	2 LAUREL LAKE DRIVE	
UNIT	STREET	VOL PAGE
	HUDSON	OHIO
LOT	CITY	

GUTOSKEY & ASSOCIATES INC.
Civil Engineers, Surveyors and Land Planners

10135 GOTTSCHALK PKWY, SUITE 4 Tel (440) 543-8900
CHAGRIN FALLS, OHIO 44023 Fax (440) 543-7176

2 WORKING DAYS BEFORE YOU DIG
CALL TOLL FREE 800-362-2764
OHIO UTILITIES PROTECTION SERVICE

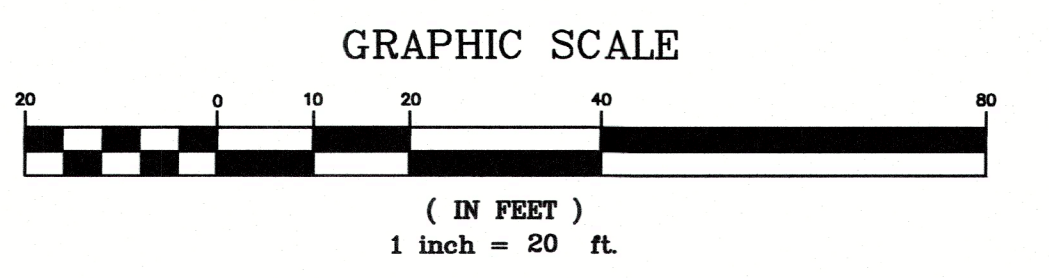
CONTRACTOR SHALL VERIFY ELEVATIONS OF LATERAL INVERTS IN THE FIELD AT THE TIME OF FOUNDATION EXCAVATION.

CHECK LIST

LOT DIMENSIONS & BEARINGS
TIE TO NEAREST STREET
SUBLOT No. (PARCEL No.)
SURROUNDING OWNERS
BUILDING DIMENSIONS
SETBACK, SIDEYARD, REARYARD
FINISHED GRADES
DRIVE & APRON TYPE, WIDTH, THICKNESS
SIDEWALK TYPE, WIDTH, THICKNESS
CULVERT TYPE, DIAM., LENGTH
WATER MAIN SIZE, LOCATION
SAN. SEWER SIZE, % GRADE, LOCATION
SAN. M.H. CAST. ELEV., INV. ELEV.
SAN. CONN. SIZE, % GRADE, LOCATION
STORM SEWER SIZE, % GRADE, LOCATION
STORM M.H. CAST. ELEV., INV. ELEV.
PAV'T. TYPE, GRADE, CURBS
GAS LINE LOC. SIZE
SEPTIC SYSTEM & DUPLICATION
WELL LOCATION & ISOLATION RADIUS

STATE OF OHIO
JOSEPH GUTOSKEY
7567
REGISTERED
PROFESSIONAL SURVEYOR

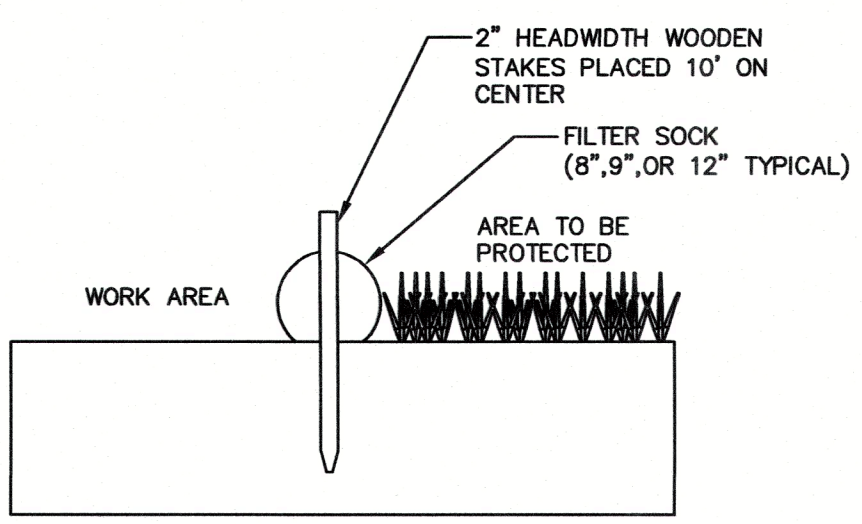
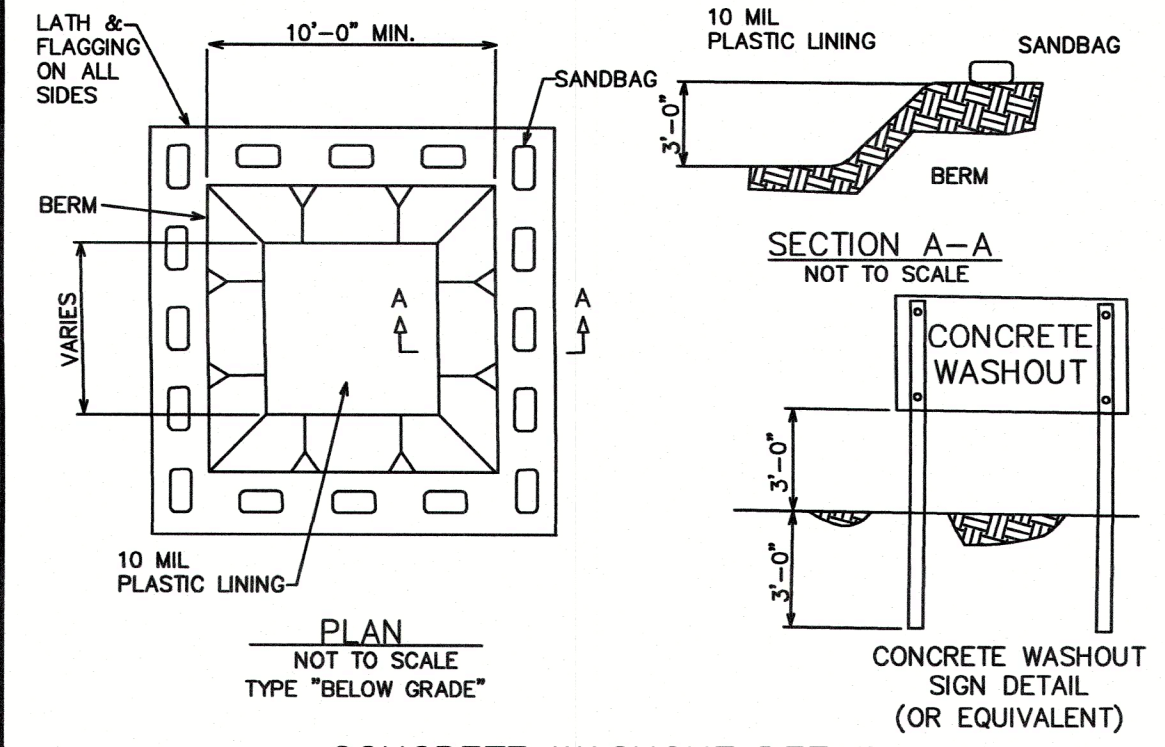
STATE SEAL



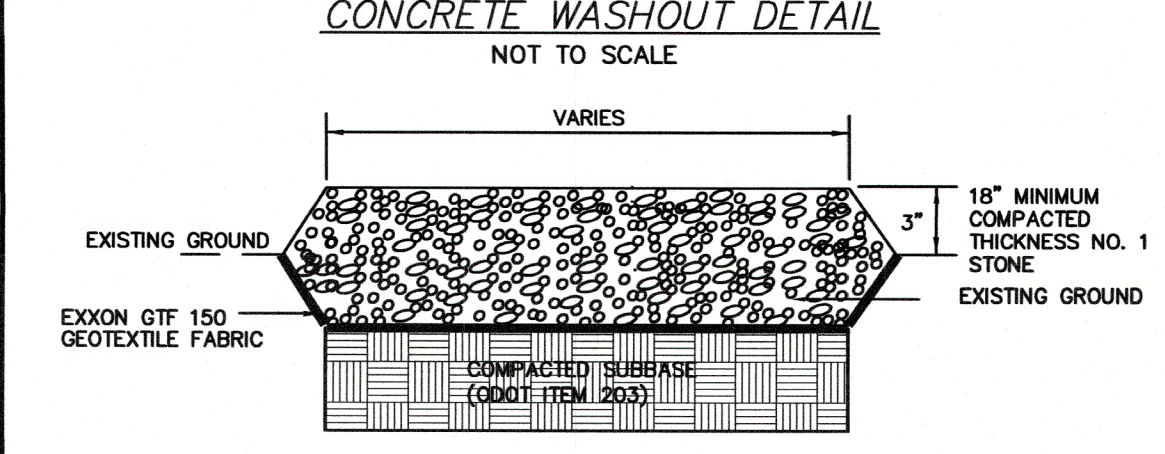
DESIGN CERTIFICATION

THIS PLAT WAS PREPARED BY ME, AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

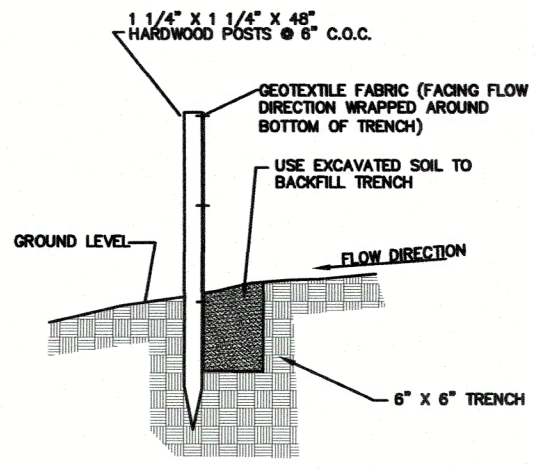
Joseph Gutoskey 8/11/25
JOSEPH GUTOSKEY P.S. 7567 DATE



SILT SOCK DETAIL
(TYPICAL CROSS SECTION)



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



SILT FENCE DETAIL
(TYPICAL CROSS SECTION)

X ——— SILT FENCE (SF)

NOTE: SEEDING OR MULCHING SHALL BE COMPLETED WITHIN 30 DAYS OF COMPLETION OF BUILDING.

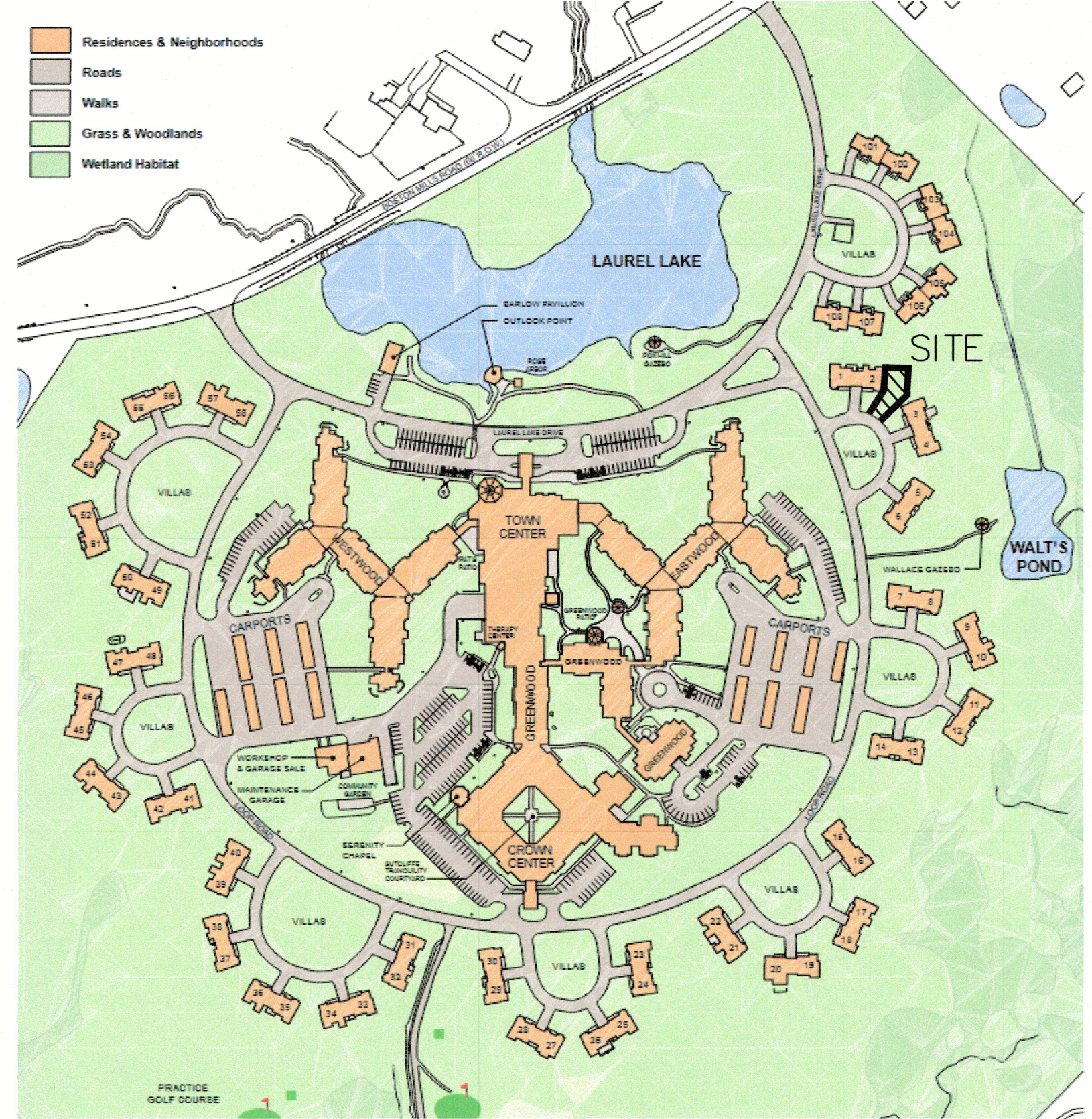
LIMIT OF DISTURBANCE: AS SHOWN.

NOTE: EROSION MEASURES ARE NOT SHOWN TO SCALE

SILT FENCE NOTES:

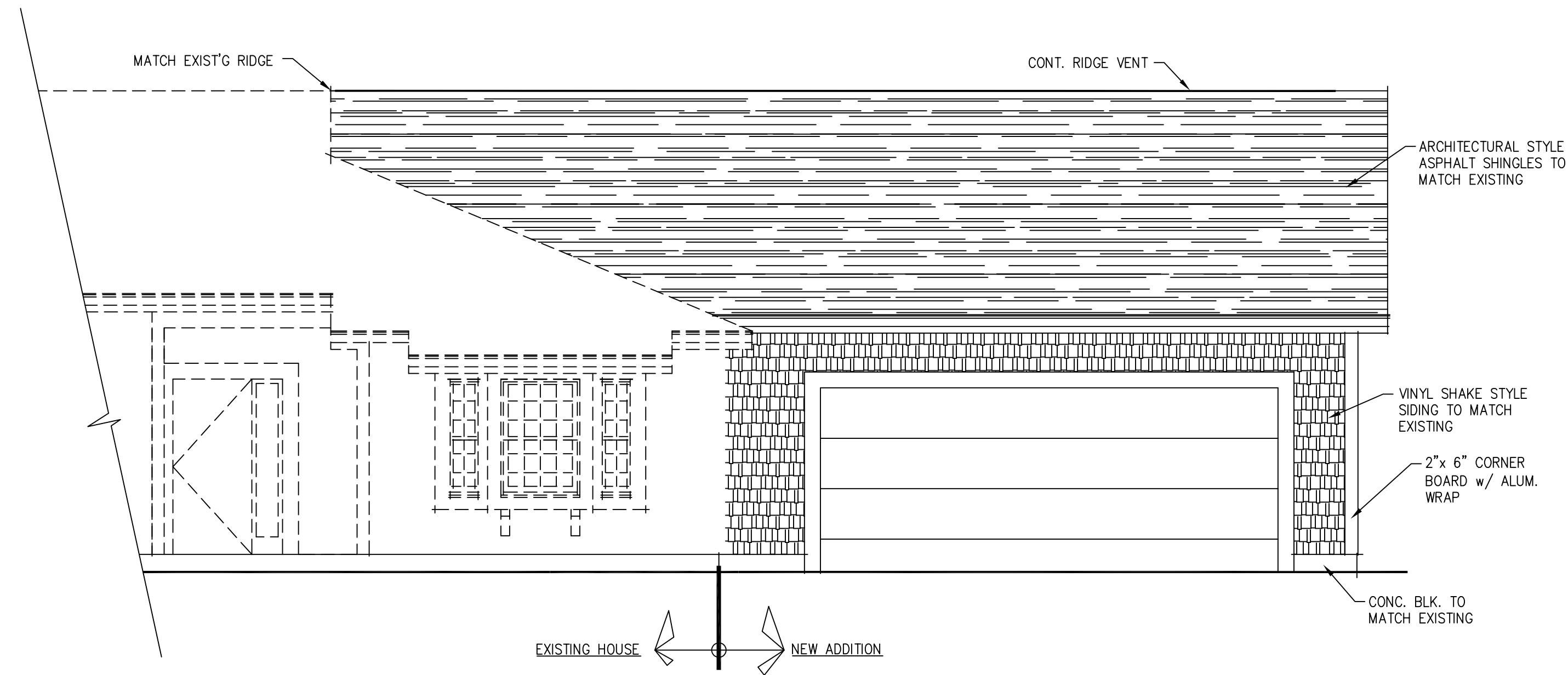
SILT FENCE SHALL CONFORM TO THE FOLLOWING:

- CONSTRUCT BEFORE UPSLOPE LAND DISTURBANCE BEGINS AS CLOSE TO THE CONTOUR AS POSSIBLE.
- CONSTRUCT EACH END UPSLOPE TO HIGHER ELEVATION.
- ANY VEGETATION REMOVED WITH 5' UPSLOPE OF FENCE SHALL BE REESTABLISHED WITHIN 7 DAYS.
- MINIMUM HEIGHT - 16" ABOVE ORIGINAL GRADE.
- INSTALL IN 6" DEEP X 4" WIDE UNIFORM TRENCH. PLACE WITH DOWNSLOPE SIDE OF STAKES ON GEOTEXTILE WITH 8" CLOTH BELOW GRADE. BACKFILL AND COMPACT TRENCH.
- STAPLE FILTER MATERIAL TO STAKES AND EXTEND INTO TRENCH.
- OVERLAP SEAMS OF FENCE SECTIONS WITH END STAKES BEFORE DRIVING INTO GROUND.
- FENCE POSTS SHALL BE 2X2 HARDWOOD, 32" LONG (MIN) AT 10' SPACINGS (MAX).
- BACKFILL AND COMPACT THE EXCAVATED FILL. J. SILT FENCE SHALL MEET:
 - GRAB TENSILE STRENGTH - 90 LB. (MIN) (ASTM D 1682)
 - MULLEN BURST STRENGTH - 190 PSL. (MIN) (ASTM D 3786)
 - SLURRY FLOW RATE - 0.3 GAL./MIN./SQ FT (MAX)
 - EQUIVALENT OPENING SIZE - 40-80 (US STD. SEIVE CW-02215)
 - ULTRAVIOLET RADIATION STABILITY - 90

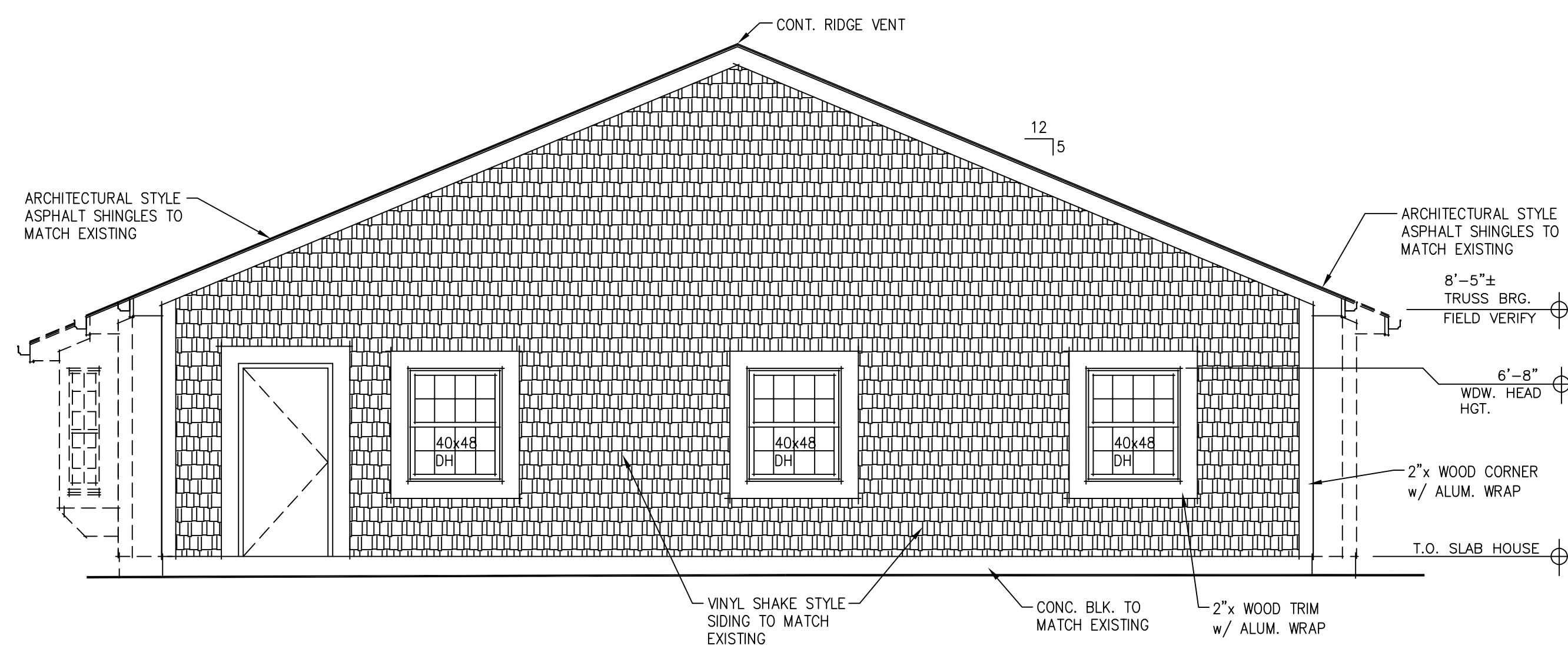


08/12/2025

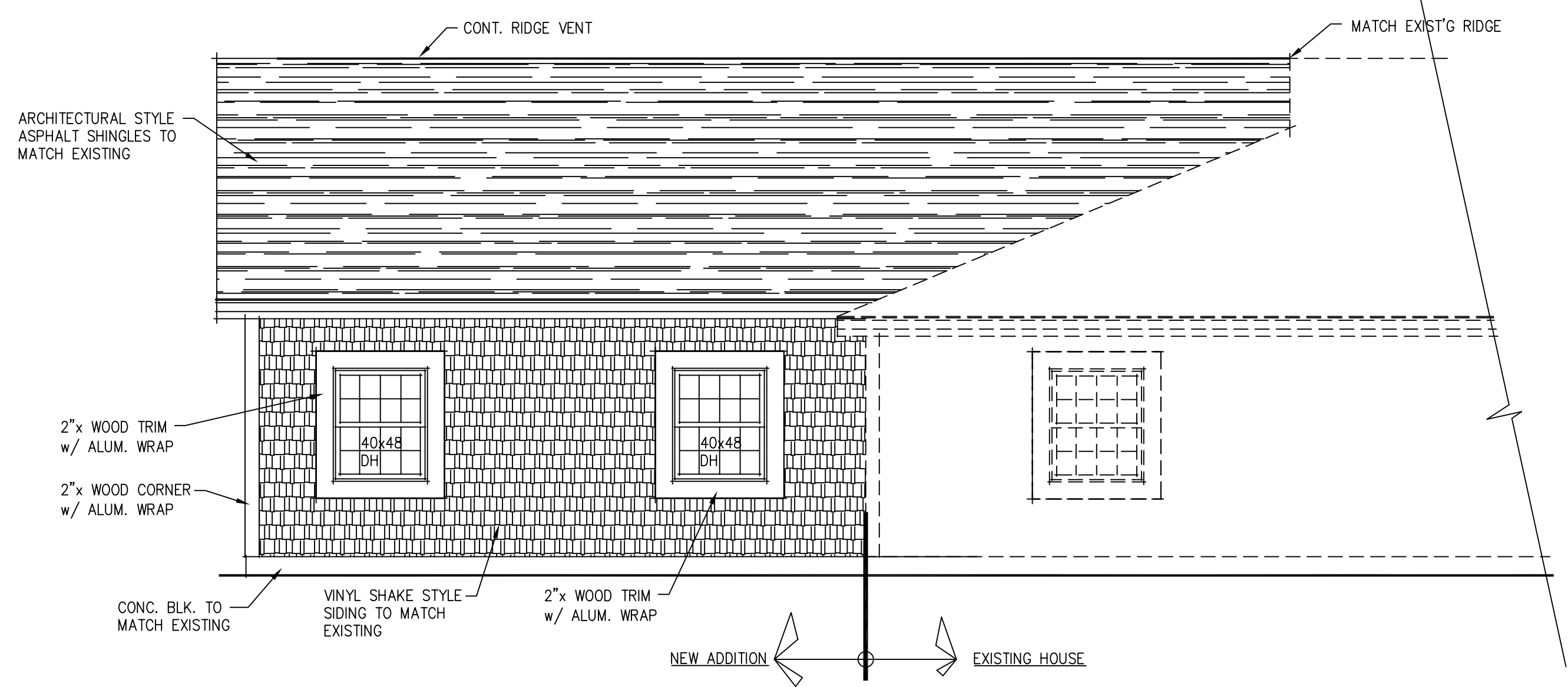
Designed	DESIGN
Drafted	DRAFTED
Checked	CHECKED
Revisions	



FRONT ELEVATION 3
SCALE 1/4"=1'-0" A-2.1



SIDE ELEVATION 2
SCALE 1/4"=1'-0" A-2.1



REAR ELEVATION 1
SCALE 1/4"=1'-0" A-2.1

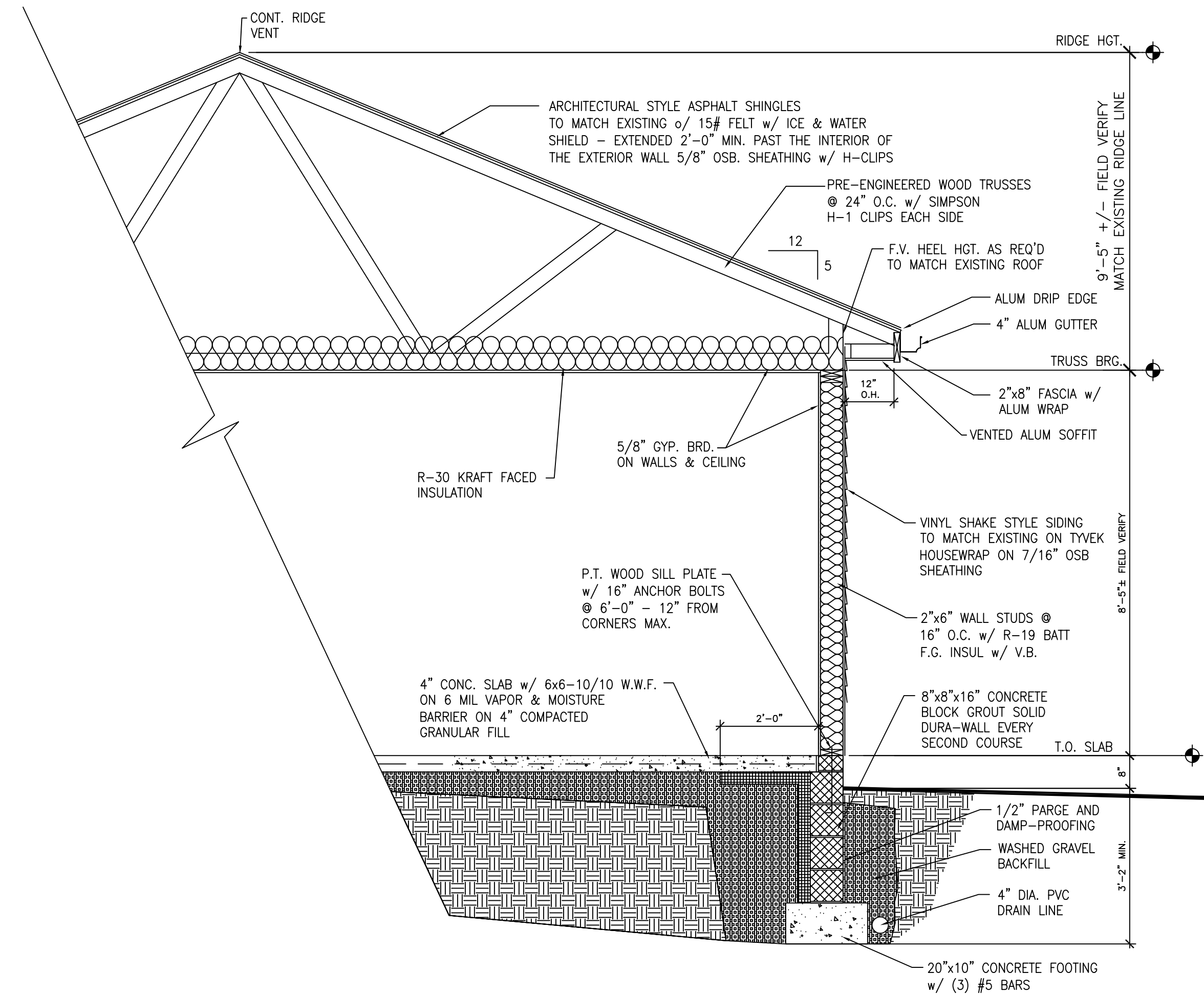
LOADS:

ROOF: DL = 15 psf
LL = 20 psf

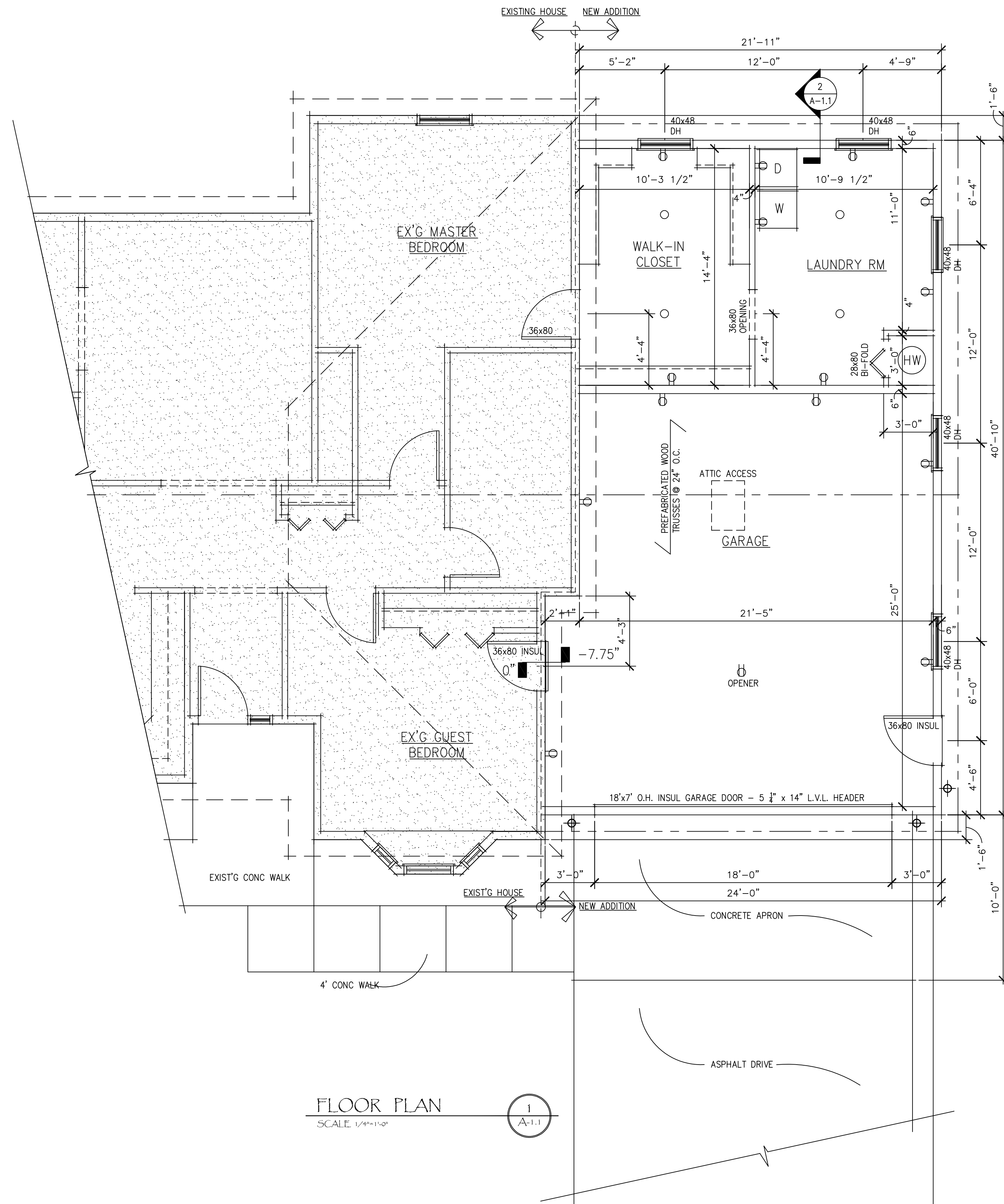
FLOOR: TYPICAL 4" CONCRETE FLOOR SLAB 40 psf

WOOD FRAMING NOTES:

- ALL WOOD SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION, NDS (ANSI/AWC NDS-2015 EDITION) AND THE 2017 OHIO BUILDING CODE CHAPTER 23.
- TREATED BOTTOM PLATES WHERE THERE IS CONTACT WITH CONCRETE OR MASONRY.
- JOISTS, RAFTERS, STUDS & HEADERS—(SPF, NO.1/NO.2, DOUGLAS FIR OR SOUTHERN PINE), DESIGN VALUES SHALL EQUAL OR EXCEED THE FOLLOWING:
 - .a. Fb = 875 P.S.I.
 - .b. Fv=135 P.S.I.
 - .c. E = 1,400,000 P.S.I.
- NAILING OF ALL FRAMING MEMBERS SHALL MEET THE RECOMMENDED FASTENING SCHEDULE (TABLE 2304.10.1) CONTAINED IN THE OBC, CHAPTER 23.
- CONNECT ROOF RAFTERS TO TOP PLATE WITH A SIMPSON "HI" TIE UNLESS NOTED OTHERWISE.
- NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY SHOWN, NOTED OR APPROVED.
- PROVIDE A MINIMUM OF (1) JACK AND (1) KING STUD, UNLESS NOTED OTHERWISE, AT SIDES OF ALL OPENINGS, WINDOWS, AND DOORS. PROVIDE A MINIMUM OF (2) JACK STUDS BENEATH ALL WOOD BEAMS, GIRDER TRUSSES, AND HEADERS UNLESS NOTED OTHERWISE ON PLANS. DOUBLE STUDS BENEATH WOOD BEAMS, GIRDER TRUSSES, AND HEADERS SHALL BE CARRIED THROUGH TO THE TOP OF FOOTINGS OR MASONRY FOUNDATION WALLS.
- SHEATHING: FOR BOTH WALL AND ROOF SHEATHING USE 24/16 APA RATED STRUCTURAL WALL SHEATHING EXPOSURE. ALL SHEATHING TO BE NAILED WITH 8d NAILS (COMMON SMOOTH, RING OR SCREW-SHANK NAILS FOR ROOF SHEATHING, COMMON SMOOTH, RING OR SCREW-SHANK OR GALVANIZED BOX NAILS FOR WALL SHEATHING & RING OR SCREW-SHANK NAILS FOR FLOOR SHEATHING) AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE.



WALL SECTION
SCALE 1/2"=1'-0"



FLOOR PLAN
SCALE 1/4"=1'-0"

08/12/2025
Designed
Drafted
Checked
Revisions

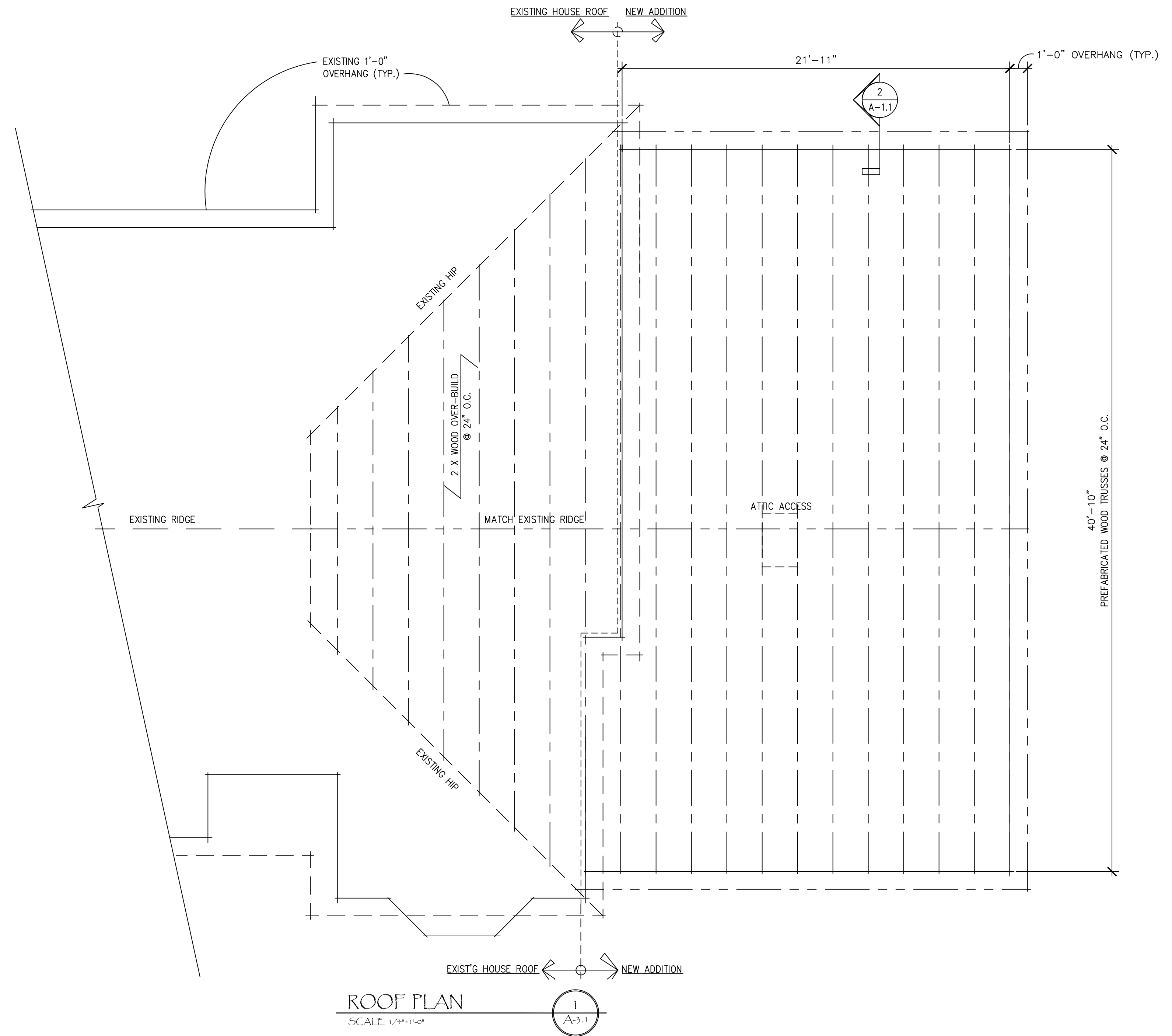
12/13/2025

Designed DESIGN

Drafted DRAFTED

Checked CHECKED

Revisions





Villa 2





LAUREL LAKE RETIREMENT COMMUNITY

Precedent for Front-Facing Garage Doors on Villas

Precedent for Approval of 2-Car Garage Additions to Villas

Laurel Lake Retirement Community was built in 1987-1988. It was originally built with 58 villas (29 duplexes) with attached single-car garages. The City of Hudson approved Laurel Lake's request in 2003-2004 to build 8 more villas with double garages. All villa units have been approved with front-facing garage doors.

Laurel Lake also evaluated our original 58 villas to see which ones might have space to build a 2-car garage addition. A total of 9 possible sites were identified as meeting the City's requirement for minimum space between structures. Of those 9 sites, 7 garage additions (V5, V9, V13, V24, V29, V37, V44) have since been built with the City's approval. Villa 2, the subject of this application, would be the 8th if approved.



CAMPUS MAP WITH 2-CAR GARAGE ADDITIONS MARKED



PHOTOS OF VILLAS WITH FRONT-FACING DOORS



ABOVE: "New" Villas 101-108 with 2-car garages

BELOW: Original Villas 1-58 with 1-car garages



EXAMPLES OF ORIGINAL VILLAS WITH 2-CAR GARAGE ADDITIONS



VILLAS 13 & 14



Villas 9 & 10