

5 Thirty Acres Street
Hudson, Ohio 44236

CONNOR'S RESIDENCE - Proposed Addition & Renovation

May 11, 2026

Issued for Architectural Review Board

PREPARED FOR:

OWNER:
JAMIE M CONNORS AND ALLYSSA ROSE MANNING
5 THIRTY ACRES STREET
HUDSON, OHIO 44236

PREPARED BY:

ARCHITECT:
CLEVELAND DRAW ARCHITECTURE
3342 AVALON DRIVE
SHAKER HEIGHTS, OHIO 44120

CONTACT: MATT PLECNIK
T: 440.796.4623

STRUCTURAL ENGINEER:

MAKARICH STRUCTURAL ENGINEERING, LLC
P.O. BOX 1389
WILLOUGHBY, OHIO 44096

CONTACT: MIKE MAKARICH
T: 440.283.7252

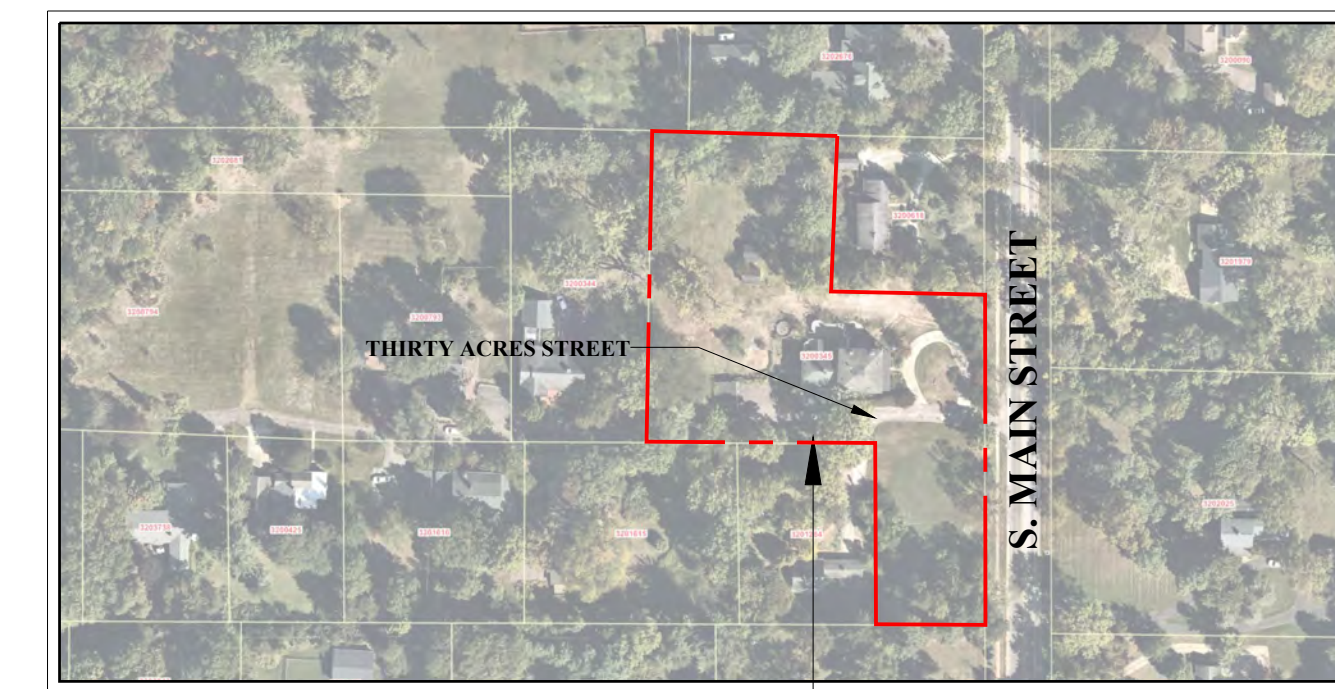
MECH / ELEC/ PLUMBING ENGINEER:

WHS ENGINEERING
16017 DETROIT AVENUE
LAKEWOOD, OH 4410

T: 216.227.8505



VICINITY LOCATION MAP:



Site Location:
Parcel #: 3200345
5 THIRTY ACRES STREET
HUDSON, OHIO 44236

SITE LOCATION MAP:



Site Location:
Existing Single-Family Residence

SYMBOL LEGEND:

TYPICAL DESIGNATION TAGS

	EARTH	NAME OR AREA ROOM#		ROOM NAME & ROOM NUMBER
	POROUS FILL	DOOR TYPE DESIGNATION		DOOR TYPE DESIGNATION
	CONCRETE	WALL TYPE DESIGNATION		WALL TYPE DESIGNATION
	CONCRETE / MASONRY	FINISH TYP.		FINISH DESIGNATION
	BRICK / MASONRY	FIXTURE TYPE DESIGNATION		FIXTURE TYPE DESIGNATION
	GYPSUM WALLBOARD	KEY NOTE DESIGNATION		KEY NOTE DESIGNATION
	RIGID INSULATION	PROPOSED NEW COLUMN LINE		PROPOSED NEW COLUMN LINE
	BATT INSULATION	EXISTING COLUMN LINE		EXISTING COLUMN LINE
	WOOD: SOLID SECTION	INTERIOR ELEVATION TAG SHEET DESIGNATION		INTERIOR ELEVATION TAG SHEET DESIGNATION
	WOOD: BLOCKING	ELEVATION DESIGNATION		ELEVATION DESIGNATION
	WOOD: BLOCKING (CUT)	SECTION TAG		SECTION TAG
	WOOD: PLYWOOD	SECTION DESIGNATION		SECTION DESIGNATION
	EXISTING DOOR SYMBOL	SHEET DESIGNATION		SHEET DESIGNATION
	PROPOSED NEW DOOR SYMBOL	INTERIOR ELEVATION TAG SHEET DESIGNATION		INTERIOR ELEVATION TAG SHEET DESIGNATION
	FLOOR LEVEL ELEV = +0'-0"	ELEVATION DESIGNATION		ELEVATION DESIGNATION
	REVISION CLOUD & REV. DESIGNATION	EXTERIOR ELEVATION TAG		EXTERIOR ELEVATION TAG

PROJECT SCOPE & DATA:

SITE INFO:

PARCEL NUMBER: 3200345

ZONING: 3-OUTER VILLAGE RESIDENTIAL NBHD.

ACRES: 2.32

BUILDING INFO:

PROPOSED BUILDING: AN ADDITION & RENOVATION TO AN EXISTING SINGLE-FAMILY RESIDENCE

PROPOSED CONSTRUCTION TYPE: VB (SAME AS PREVIOUS)

PROPOSED BLDG. HEIGHT: ≈21'-3 3/4" / 2 STORY

PROPOSED NEW BLDG. AREA: 3,082 G.S.F. TOTAL (ALSO REFER TO TABLE FOR BREAK-OUT INFO)

EXIST. BLDG. RENOVATION AREA: 2,688 G.S.F. TOTAL (ALSO REFER TO TABLE FOR BREAK-OUT INFO)

BASEMENT LEVEL

EXISTING AREA TO REMAIN 2,289 G.S.F.

LEVEL 1 (GROUND FLOOR AREA)

EXISTING AREA TO REMAIN 1,608 G.S.F.

RENOVATION AREA 1,345 G.S.F.

PROPOSED ADDITION (KITCHEN) 420 G.S.F.

TOTAL: 3,373 G.S.F.

RENOVATED VERANDA 336 G.S.F.

PROPOSED ADDITION (GARAGE) 1,013 G.S.F.

LEVEL 2 (SECOND FLOOR AREA)

EXISTING AREA TO REMAIN 1,608 G.S.F.

RENOVATION AREA 697 G.S.F.

PROPOSED ADDITION 1,004 G.S.F.

TOTAL: 3,309 G.S.F.

RENOVATED VERANDA 310 G.S.F.

PROPOSED NEW ROOF DECK 395 G.S.F.

OVERALL TOTAL: 11,025 G.S.F.

SCOPE OF WORK:

THE SCOPE OF WORK CONSISTS OF A PROPOSED NEW ADDITION TO AN EXISTING SINGLE-FAMILY RESIDENCE AS WELL AS SELECTIVE RENOVATION OF THE EXISTING BUILDING SHELL & INTERIORS. THE ADDITION WILL BE CONSTRUCTED TO ADJOIN THE EXISTING RESIDENCE LOCATED DIRECTLY TO THE WEST AND WILL ACCOMMODATE A GARAGE (3 CAR) WITH BEDROOMS ABOVE. THE OVERALL BUILDING WILL BE LOWER THAN THE EXISTING ROOF LINE OF THE EXISTING RESIDENTIAL STRUCTURE.

WORK SHALL INCLUDE, BUT NOT LIMITED TO:

- PROPOSED NEW RESIDENTIAL STRUCTURE:
 - NEW CONCRETE AND MASONRY FOUNDATION
 - NEW WOOD-FRAMED FLOORS, WALLS, CEILINGS, ROOF, FENESTRATION, ETC.
 - NEW INTERIOR FINISHES
 - NEW MECHANICAL HVAC & DISTRIBUTION
 - NEW ELEC. POWER, DATA, LIGHTING & DISTRIBUTION
 - NEW LANDSCAPING
- PROPOSED RENOVATION OF EXISTING RESIDENTIAL STRUCTURE
 - AN EXISTING FRONT PORCH WILL BE SELECTIVELY DEMOLISHED & RE-CONSTRUCTED TO CURRENT BUILDING CODES
 - AN EXISTING 'CONSERVATORY' WILL BE SELECTIVELY DEMOLISHED & RE-CONSTRUCTED TO SERVE AS A NEW KITCHEN
 - SELECTIVE RENOVATION OF SEVERAL INTERIOR AREAS WITHIN

SHEET INDEX:

TITLE SHEET / GENERAL:

T0-00 TITLE SHEET, GENERAL NOTES, SHEET INDEX & PROJECT DATA

CIVIL SURVEY DRAWINGS:

01 BOUNDARY SURVEY

02 SITE SURVEY

CIVIL DRAWINGS:

01 OF 02 EXISTING CONDITIONS & DEMOLITION PLAN

02 OF 02 SITE PLAN

ARCHITECTURAL DRAWINGS:

AS-D1 ARCHITECTURAL SITE DEMOLITION PLAN

AS-D1 ARCHITECTURAL SITE PLAN

A0-00 EXISTING BUILDING PHOTOS

AD-00 BASEMENT: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN

AD-01 GROUND FLOOR: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN

AD-02 SECOND FLOOR: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN

AD-03 ROOF: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN

ARCHITECTURAL RENDERINGS:

R1 CONCEPTUAL RENDERING 1

R2 CONCEPTUAL RENDERING 2

R3 CONCEPTUAL RENDERING 3

GENERAL NOTES:

- GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. ANY DISCREPANCIES SHOULD BE REPORTED DURING THE BIDDING PROCESS AND BEFORE START OF CONSTRUCTION. EXTRAS WILL NOT BE ALLOWED FOR UN-VERIFIED EXISTING JOB CONDITIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, NEW AND EXISTING, IN THE FIELD AND NOTIFY ARCHITECT OF ANY SUBSTANTIAL VARIANCES FROM THE CONSTRUCTION DOCUMENTS.
- 1.1 THE CONSTRUCTION DOCUMENTS AS DEFINED BY THE DRAWING INDEX ARE ALL NECESSARY TO DEFINE THE TOTAL PROJECT. PARTIAL PLANS SHOULD NOT BE ISSUED BY THE GENERAL CONTRACTOR FOR BIDDING OR CONSTRUCTION. THE GENERAL CONTRACTOR & SUB-CONTRACTOR'S ARE RESPONSIBLE FOR THE ENTIRE DRAWING SET.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMAN LIKE MANNER AND IN NO WAY SHALL DAMAGE OR WEAKEN THE INTEGRITY OF THE BUILDING. ALL DAMAGES SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER. IN ADDITION, THE G.C. IS RESPONSIBLE TO ENSURE THE FOLLOWING:
 - 2.1 ALL WORK SHALL BE PERFORMED TO THE HIGHEST INDUSTRY STANDARDS FOR QUALITY WORKMANSHIP - ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS - MATERIALS AND METHODS SHALL CONFORM TO APPROPRIATE NATIONAL TRADE PUBLICATIONS.
 - 2.2 CODE COMPLIANCE: EACH CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE OHIO BUILDING CODE, CURRENT EDITION, AND WITH ALL OTHER CODES AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER HIS PORTION OF WORK. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR SAFETY PRECAUTION AND PROGRAMS IN CONNECTION WITH HIS PORTION OF THE WORK. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE BUILDING CODES, LOCAL AND STATE RESTRICTIONS INCLUDING ADA ACCESSIBILITY STANDARDS, PERMITS, FEES AND TAXES: THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND DEPOSITS AND BE LIABLE FOR ALL STATE AND FEDERAL SALES TAXES, AND ALL OBLIGATIONS UNDER THE FEDERAL SECURITY ACT. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL OBTAIN CERTIFICATES OF COMPLIANCE, APPROVAL OR ACCEPTANCE FORM ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK AND DELIVER THESE CERTIFICATES TO THE OWNER ALONG WITH OFFICIAL RECEIPTS FOR THE SAME.
 - 2.4 ALL WORK SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY OR REPLACE ANY FAULTY, IMPROPER OR INFERIOR MATERIAL OR WORKMANSHIP WHICH SHALL APPEAR WITHIN A SPECIFIC COMPONENT AFTER THE COMPLETION AND

- ACCEPTANCE OF THE WORK UNDER THIS CONTRACT FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. A SUBSTANTIAL COMPLETION CERTIFICATE WILL BE EXECUTED AND DISTRIBUTED BY THE ARCHITECT.
- 2.5. REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY & HEALTH ACT (OSHA), LATEST EDITION.
 - 2.6. ALL CONTRACTORS ENGAGED BY THE G.C. SHALL BE BONDABLE, LICENSED CONTRACTORS, HAVING GOOD LABOR RELATIONS, CAPABLE OF PERFORMING QUALITY WORKMANSHIP AND CAPABLE OF WORKING IN HARMONY WITH THE GENERAL CONTRACTOR AND OTHER CONTRACTORS.
 - 2.7. PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE. ALL CONTRACTORS FOR THIS WORK ARE REQUIRED TO HAVE INSURANCE OF THE TYPES AND LIMITS SPECIFIED BY THE OWNER AND/OR AS REQUIRED BY LOCAL & STATE AGENCIES.
 - 2.8. ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE AIA GENERAL CONDITIONS DOCUMENT AND IT SHALL BE CONSIDERED PART OF THESE DOCUMENTS AS MODIFIED BY THE SPECIFIC CONDITIONS AND PROVISIONS INCLUDED WITHIN THESE DRAWINGS.
 3. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AND AVOID ON MISSIONS. EACH SUBCONTRACTOR SHALL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED TO COMPLETE CONTRACTED WORK, INCLUDING RIGGING OF MATERIALS AND EQUIPMENT, ALL HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIT, WIRE, FITTINGS, AND/OR SLEEVES.
 4. ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ETC.) MILLWORK AND/OR FIELD CONDITIONS SHALL BE CLARIFIED WITH THE ARCHITECT BEFORE INITIATING WORK.
 5. THE PREMISES SHALL BE KEPT CLEAN DURING ALL PHASES OF THE CONSTRUCTION. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS SO AS TO NOT ACCUMULATE DEBRIS - UPON PROJECT COMPLETION CONTRACTOR IS TO CLEAN WORK AREAS AND JOB SITE THOROUGHLY SO AS TO REMOVE ALL CONSTRUCTION DUST AND RESIDUE AND DEBRIS. DELIVER BUILDING TO OWNER IN CLEAN CONDITION ALLOWING IMMEDIATE OPERATION.
 6. ALL MATERIALS TO BE INSTALLED SHALL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A STANDARDS.
 7. CONTRACTOR SHALL FORWARD TO THE OWNER ALL APPLICABLE WARRANTIES, GUARANTEES, MAINTENANCE MANUALS, ETC. INCLUDING A COPY OF THE CERTIFICATE OF OCCUPANCY PRIOR TO APPLICATION FOR FINAL PAYMENT.
 8. ALL PROPOSED NEW EQUIPMENT, FIXTURES, FINISHES, ETC. SHALL BE INSTALLED PER THE MANUFACTURER'S STANDARD WRITTEN INSTRUCTION TO ACHIEVE MFR'S STANDARD WARRANTY. PREPARE ALL SURFACES, EXISTING

- CONDITIONS, ETC. AS REQUIRED PRIOR TO INSTALLATION.
9. SUBSTITUTIONS AND QUALIFICATIONS: ALL PRICING SHALL BE BASED ON THE CONSTRUCTION DOCUMENTS WITH SUBSTITUTION OR ALTERATION: THE GENERAL CONTRACTOR SHALL CALL OUT AND CLEARLY IDENTIFY PROPOSED SUBSTITUTIONS. PROPOSED SUBSTITUTIONS SHALL BE REVIEWED BY THE OWNER AND ARCHITECT AND HE/SHE SHALL HAVE FINAL AUTHORITY TO ACCEPT OR REJECT SUBSTITUTIONS AS "EQUAL" TO THE SPECIFIED ITEM OR ASSEMBLY. ANY QUALIFICATIONS TO THE BID PROPOSING ALTERNATIVE SYSTEMS, MATERIALS, METHODS, ETC. (WHICH IN THE GENERAL CONTRACTORS OPINION REDUCE THE TOTAL COST OF THE JOB) SHALL BE OUTLINED AND ATTACHED TO THE BID FOR REVIEW BY THE ARCHITECT AND OWNER.
 10. SCHEDULE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SCHEDULE. THE G.C. SHALL ORDER AND SCHEDULE DELIVERY OF MATERIAL IN AMPLIE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR TO HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY. AND MAY BE ASKED TO MAKE RECOMMENDATIONS FOR EQUAL MATERIALS THAT WOULD BE AVAILABLE IN THE SCHEDULED TIME FRAME NECESSARY TO COMPLETE THE PROJECT ON SCHEDULE & BUDGET.
 11. SHOP DRAWINGS & SUBMITTALS: GENERAL CONTRACTOR TO PREPARE AND PROVIDE SHOP DRAWINGS & PRODUCT SUBMITTALS FOR ALL MATERIALS, INTERIOR FINISHES AND MILLWORK FOR ARCHITECT'S REVIEW (DIGITAL COPIES, PDF). THE ARCHITECT'S/ENGINEER'S REVIEW OF SHOP AND ERECTION DRAWINGS IS AN APPROVAL OF GENERAL ORDER AND DOES NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF MAKING, WITHOUT COST TO THE OWNER, CHANGES OR CORRECTIONS DUE TO ERRORS IN FABRICATION OR ERRORS IN DIMENSIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL DIMENSIONS.
 - 11.1. ALL DRAWINGS SHOWN HEREWITIN DESCRIBE & ILLUSTRATE A SPECIFIC DESIGN INTENT ADDRESSING PERFORMANCE & AESTHETIC CRITERIA. IT IS THE CONTRACTOR'S RESPONSIBILITY (INCLUDING SUPPLIERS, MANUFACTURERS, INSTALLERS, ETC.) TO PROVIDE DETAILED DESIGN SHOP DRAWINGS THAT BEAR THE SEAL OF AN OHIO REGISTERED DESIGN PROFESSIONAL THAT MEET OR EXCEED THE DESIGN CRITERIA SET FORTH HEREWITIN & CONFORM TO THESE DOCUMENTS. THE FOLLOWING SEALED DRAWINGS WILL ALSO NEED TO BE SUBMITTED FOR REVIEW & APPROVAL TO AUTHORITIES HAVING JURISDICTION:
 - 11.1.1. TRUSS SHOP DRAWINGS WILL REQUIRE BUILDING DEPARTMENT REVIEW & APPROVAL.
 - 11.1.2. FIRE PROTECTION SHOP DRAWINGS (SPRINKLER, ALARM & DETECTION, ETC.) WILL REQUIRE BUILDING DEPARTMENT & FIRE DEPARTMENT REVIEW & APPROVAL.

SEAL:

ISSUED: _____ DATE: _____

Issued for: Architectural Review Board 03-02-26

Issued for: Planning Dept. Comments 03-12-26

Re-Issued for: Architectural Review Board 05-04-26

CLEVELAND
DRAW
ARCHITECTURE

BROCK
CONSTRUCTION
COMPANY

The
Connor's
Residence
Renovation

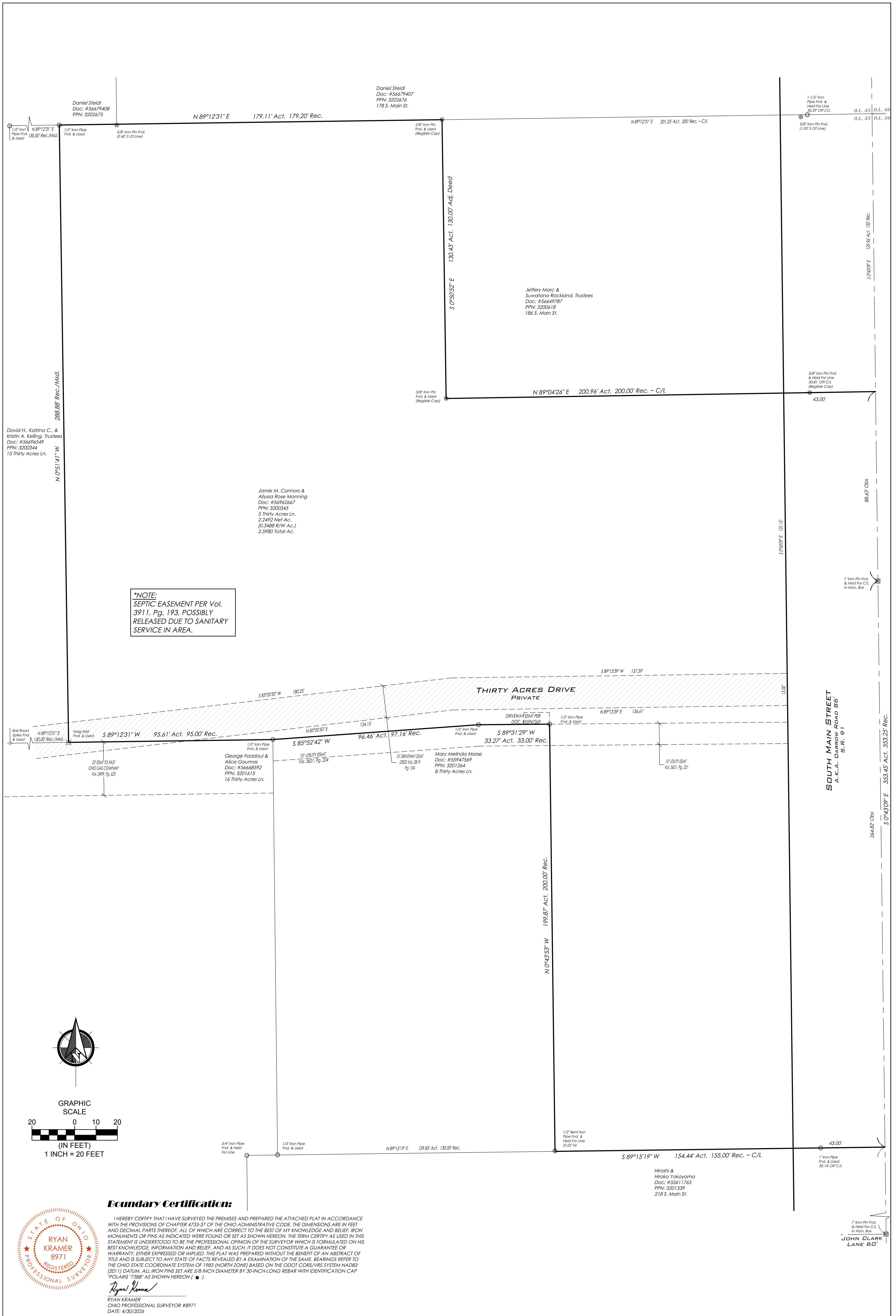
5 Thirty Acres Street
Hudson, Ohio 44236

Interior & Exterior
Renovations to
accommodate an
expanded Kitchen, Living
Areas, Bedrooms &
Garages

TITLE:
TITLE SHEET, GENERAL
NOTES, SHEET INDEX
& PROJECT DATA

ISSUE: _____ DATE: _____
- 05-04-26

SHEET:
T0-00



DATE: 4/30/2026 DRAWN: RMK
SCALE: HOR. 1"=20' VERT. N/A
FOLDER: DWG/Proj_Surveying
FILENAME: 26042 Survey Base
TAB: 00-Boundary
BNDR. BY: RMK
BASE. BY: RMK

BOUNDARY SURVEY



POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARLTON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
www.polaris-es.com

5 THIRTY ACRES LANE
PPN: 3200345

CITY OF HUDSON - SUMMIT COUNTY - OHIO

CONTRACT No.	
26042	
SHEET	OF
01	01



POLARIS ENGINEERING & SURVEYING, INC.
 34600 CHARDON ROAD
 SUITE D
 WILLOUGHBY HILLS, OH 44094
 (440) 944 - 4433
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DATE: 4/30/2026
 SCALE: 1"=20'
 FOLDER: DWG/Survey
 FILENAME: 26042 Survey Base
 TAB: 01-Site Plan
 DRAWN: RMK

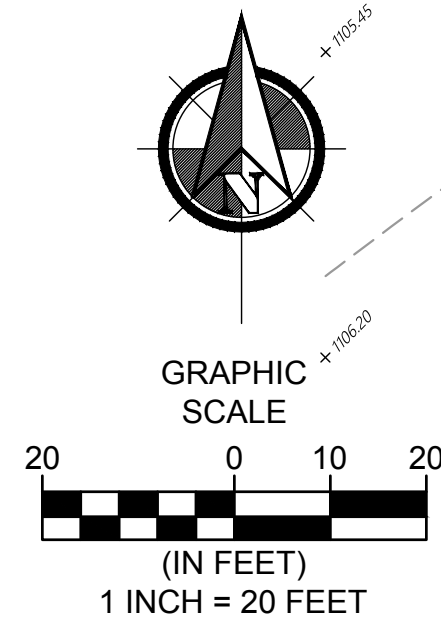
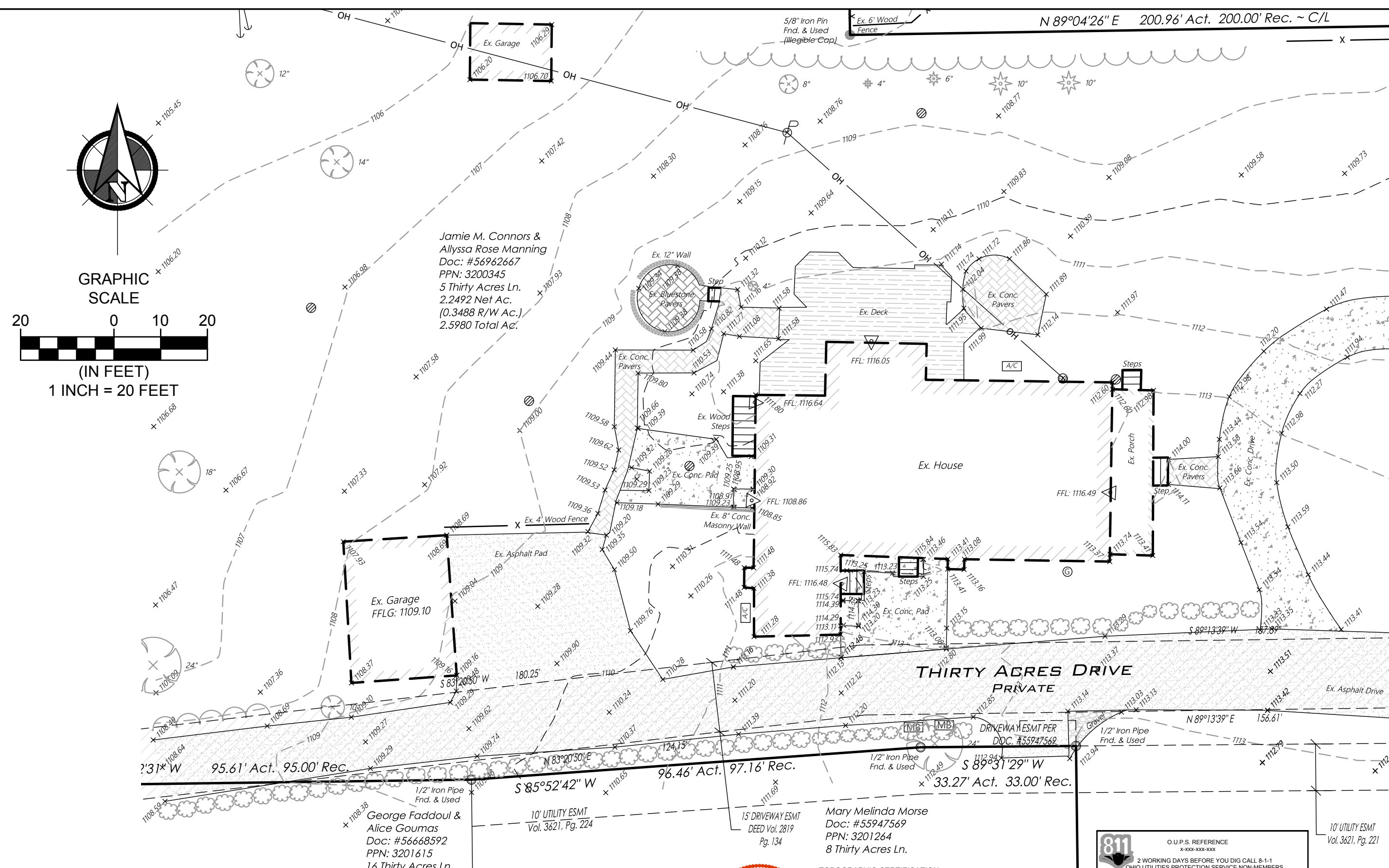
ADDITION SITE PLAN FOR:
5 THIRTY ACRES LANE
PPN: 3200345
 CITY OF HUDSON - SUMMIT COUNTY - OHIO

PREPARED FOR:
CLEVELAND DRAW ARCHITECTURE
 PHONE: (440) 796-4623
 CONTACT: Matt Plecnik
 EMAIL: matt@clevelanddraw.com

SEAL

CONTRACT NO.
26042

SHEET OF
01 01



SYMBOL LEGEND

○	Ex. Clean Out	○	Ex. Sanitary Manhole	⊕	Ex. Water Valve	□	Ex. Electrical Box	⊗	Ex. Tree	⊠	Ex. Monument Box
■	Ex. Catch Basin	●	Prop. Sanitary Manhole	⊙	Ex. Water Meter	—	Ex. Guy Wire	⊙	Ex. Pine Tree	⊠	Power Transformer
■	Prop. Catch Basin	▬	Prop. Curb Inlet	⊕	Ex. Fire Hydrant	⊕	Ex. Power Pole	⊙	Ex. Bush	⊠	Sprinkler Control Box
○	Ex. Yard Drain	▬	Ex. Curb Inlet	⊕	Prop. Hydrant	⊕	Ex. Light Power Pole	⊙	Ex. Mailbox	⊠	Sprinkler Head
○	Ex. Manhole	⊕	Ex. Gas Marker	⊕	Prop. WL Valve	⊕	Ex. Light Pole	⊙	Ex. Sign	⊠	Traffic Signal Pole
○	Ex. Storm Manhole	⊕	Ex. Gas Meter	⊕	Well	⊕	Ex. Light Pole	⊙	Ex. Telephone Box	⊠	Traffic Signal Box
●	Prop. Storm Manhole	⊕	Ex. Gas Valve	⊕	Test Bore	⊕	Prop. Light Pole	⊙	Guard Post		



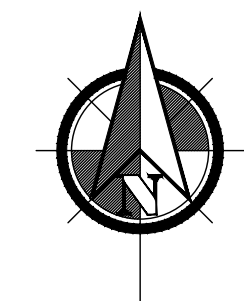
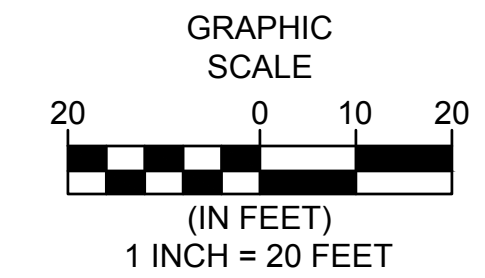
TOPOGRAPHIC CERTIFICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 8TH DAY OF APRIL, 2026, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson, Jr.
 RICHARD A. THOMPSON, JR., P.S. #7388

811 O.U.P.S. REFERENCE
 x-xxx-xxxx-xxxx
 2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
 OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
 MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
 THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

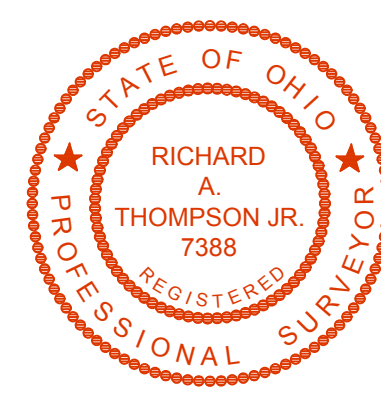


**CONNOR'S RESIDENCE
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CITY OF HUDSON - SUMMIT COUNTY - OHIO

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34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
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**EXISTING CONDITIONS
& DEMOLITION PLAN**



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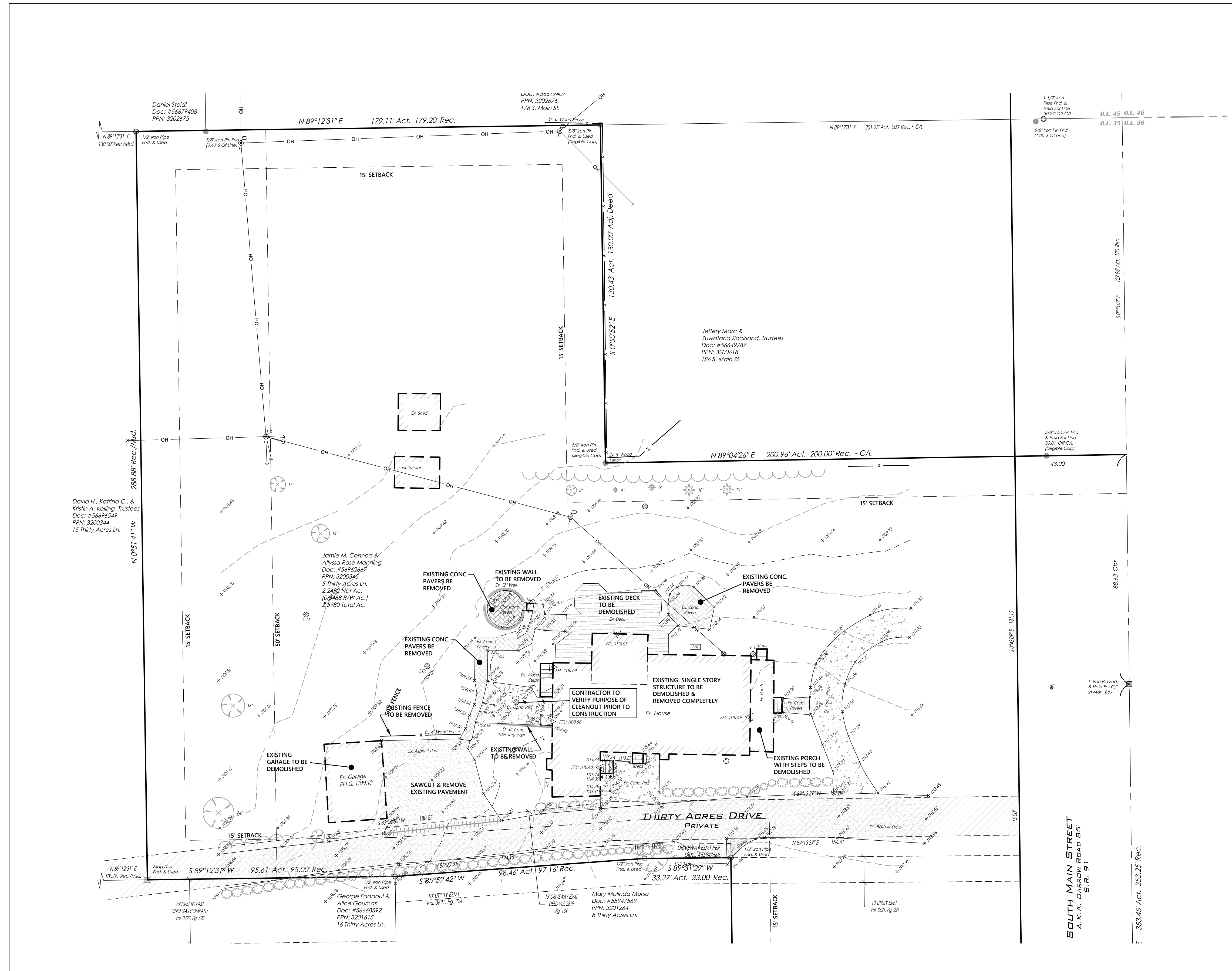
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PREPARED FOR:
CLEVELAND DRAW
13342 AVALON DRIVE
SHAKER HTS, OH 44120
PHONE: (440) 796-4623
CONTACT: MATT PLECNIK

CONTRACT No.

25221

SHEET	OF
01	02

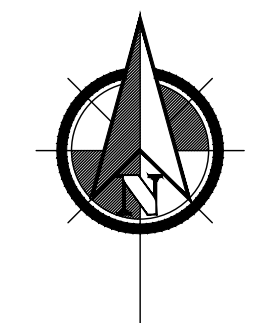
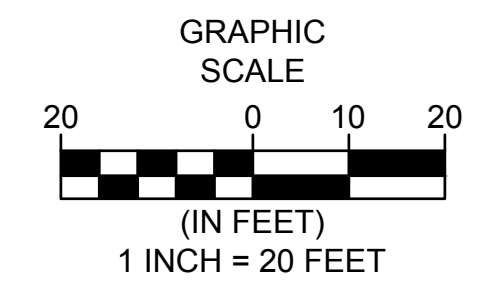


REV. No.	DATE	BY



DATE: 5/7/26 DRAWN: RY
SCALE: HOR. 1"=20' VERT. N/A
FOLDER: DWG/Proj. Engineering
FILENAME: 26042 Site Plan
TAB: 01-Ex. Cond & Demo
BNDY. BY: RMK
BASE. BY: RMK

SYMBOL LEGEND	
⊙	Ex. Clean Out
■	Ex. Catch Basin
■	Prop. Catch Basin
○	Ex. Yard Drain
○	Ex. Manhole
○	Ex. Storm Manhole
●	Prop. Storm Manhole
⊙	Ex. Sanitary Manhole
⊙	Prop. Sanitary Manhole
■	Prop. Curb Inlet
■	Ex. Curb Inlet
○	Ex. Gas Marker
⊙	Ex. Gas Meter
⊙	Ex. Gas Valve
⊙	Ex. Water Valve
⊙	Ex. Water Meter
⊙	Ex. Fire Hydrant
⊙	Prop. Hydrant
⊙	Prop. WL Valve
⊙	Well
⊙	Test Bore
⊙	Ex. Electrical Box
⊙	Ex. Guy Wire
⊙	Ex. Power Pole
⊙	Ex. Light Power Pole
⊙	Ex. Light Pole
⊙	Prop. Light Pole
⊙	Ex. Tree
⊙	Ex. Pine Tree
⊙	Ex. Bush
⊙	Ex. Mailbox
⊙	Ex. Sign
⊙	Ex. Telephone Box
⊙	Guard Post
⊙	Ex. Monument Box
⊙	Power Transformer
⊙	Sprinkler Control Box
⊙	Sprinkler Head
⊙	Traffic Signal Pole
⊙	Traffic Signal Box

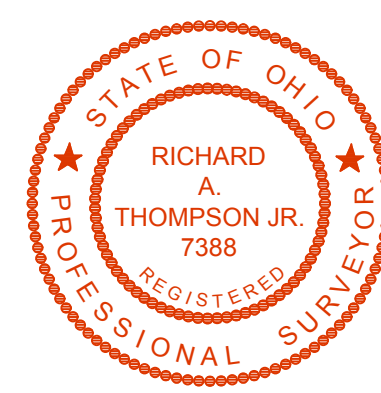
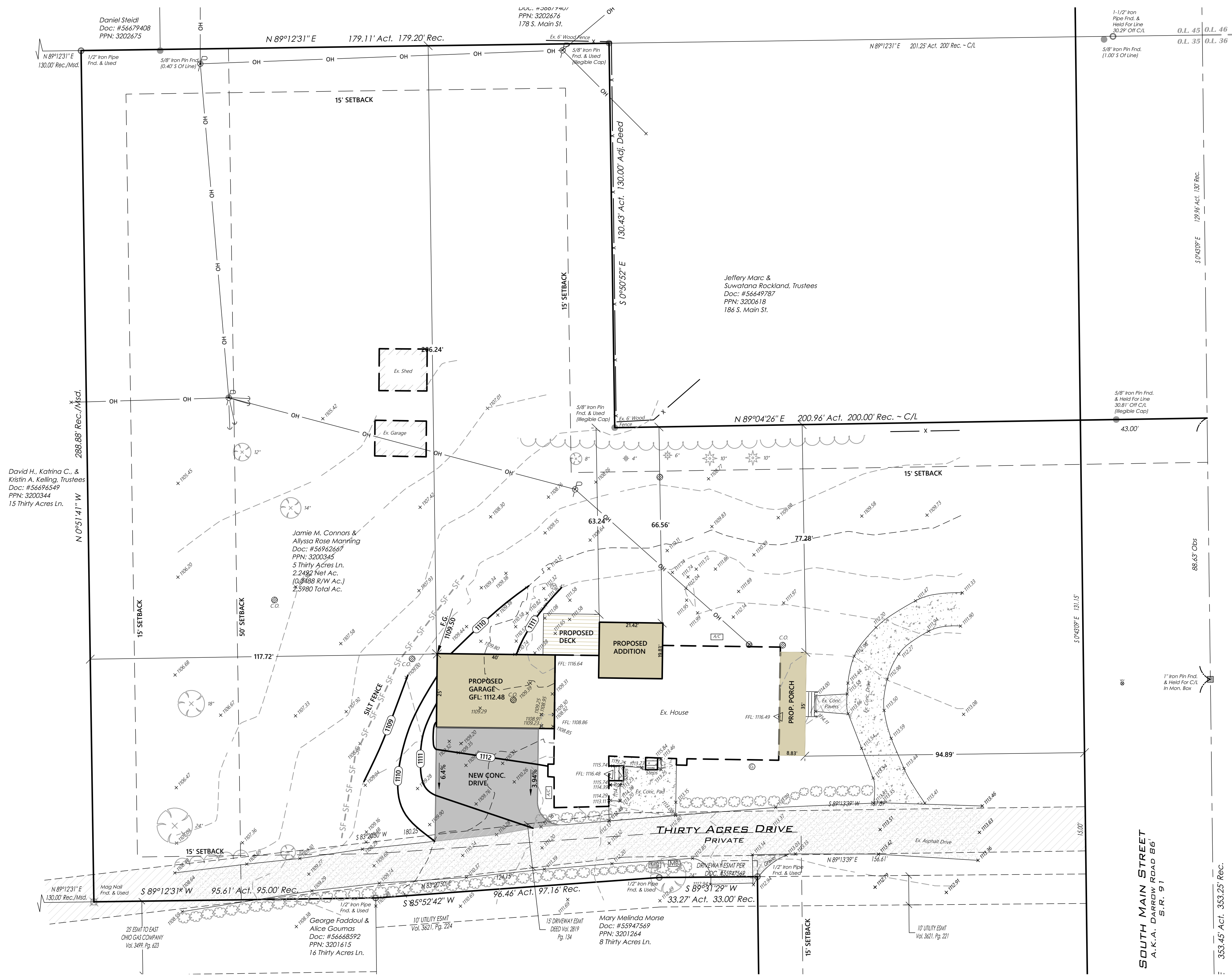


**CONNOR'S RESIDENCE
5 THIRTY ACRES STREET**
CITY OF HUSON - SUMMIT COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
www.polaris-es.com



SITE PLAN



TOPOGRAPHIC CERTIFICATION:
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS TOPOGRAPHY, INDICATED BY 1' CONTOURS, AND ELEVATIONS SHOWN HEREON, REPRESENT AN ACTUAL FIELD SURVEY MADE BY ME ON THE 8TH DAY OF APRIL, 2026, AND THAT THE ELEVATIONS WERE TAKEN AT APPROPRIATE INTERVALS AND THAT AS OF THAT DATE THEY EXISTED AS INDICATED HEREON. VERTICAL DATUM IS BASED ON NAVD88.

Richard A. Thompson, Jr.
RICHARD A. THOMPSON, JR., P.S. #7388

811 O.U.P.S. REFERENCE
x-xxx-xxx-xxx
2 WORKING DAYS BEFORE YOU DIG CALL 8-1-1
OHIO UTILITIES PROTECTION SERVICE NON-MEMBERS
MUST BE CALLED DIRECT

EXISTING UNDERGROUND UTILITIES NOTE:
THE SIZE AND LOCATION, BOTH HORIZONTAL AND VERTICAL OF THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED HEREON. VERIFICATION BY FIELD OBSERVATION HAS BEEN CONDUCTED, WHERE PRACTICAL. HOWEVER, POLARIS ENGINEERING & SURVEYING, INC. DOES NOT GUARANTEE THE COMPLETENESS NOR ACCURACY THEREOF.

NOTE: THIS SURVEY SUBJECT TO CHANGE UPON RECEIPT OF ANY ADDITIONAL AVAILABLE UNDERGROUND UTILITY INFORMATION.

PREPARED FOR:
CLEVELAND DRIVE
3342 AVALON DRIVE
SHAKER HTS., OH 44120
PHONE: (440) 796-4623
CONTACT: MATT PLECNIK

CONTRACT No.	
25221	
SHEET	OF
02	02

REV. No.	DATE	BY



DATE: 5/7/2026 DRAWN: RY
SCALE: HOR. 1"=20' VERT. N/A
FOLDER: DWG/Proj_Engineering
FILENAME: 26042 Site Plan
TAB: 02-Site Plan
BNDY. BY: RMK
BASE. BY: RMK

SYMBOL LEGEND	
	Ex. Clean Out
	Ex. Catch Basin
	Prop. Catch Basin
	Ex. Yard Drain
	Ex. Manhole
	Ex. Storm Manhole
	Prop. Storm Manhole
	Ex. Sanitary Manhole
	Prop. Sanitary Manhole
	Prop. Curb Inlet
	Ex. Curb Inlet
	Ex. Gas Marker
	Ex. Gas Meter
	Ex. Gas Valve
	Ex. Water Valve
	Ex. Water Meter
	Ex. Fire Hydrant
	Prop. Hydrant
	Prop. WL Valve
	Well
	Test Bore
	Ex. Electrical Box
	Ex. Guy Wire
	Ex. Power Pole
	Ex. Light Power Pole
	Ex. Light Pole
	Prop. Light Pole
	Ex. Tree
	Ex. Pine Tree
	Ex. Bush
	Ex. Mailbox
	Ex. Sign
	Ex. Telephone Box
	Guard Post
	Ex. Monument Box
	Power Transformer
	Sprinkler Control Box
	Sprinkler Head
	Traffic Signal Pole
	Traffic Signal Box



SEAL:

ISSUED:	DATE:
Issued for: Architectural Review Board	03-02-26
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CLEVELAND
DRAW
ARCHITECTURE

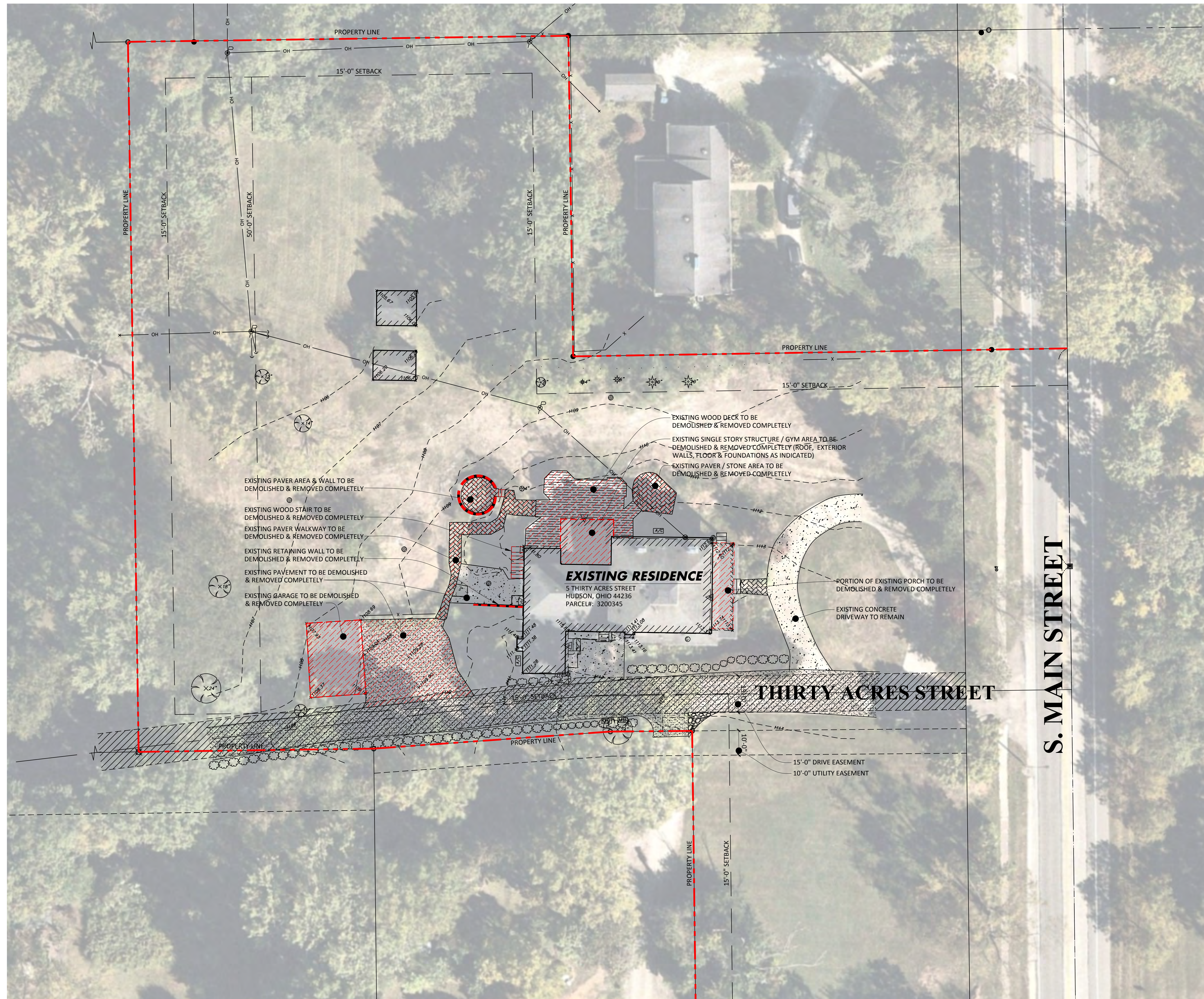
BROCK
CONSTRUCTION
COMPANY

**The
Connor's
Residence**
Renovation
5 Thirty Acres Street
Hudson, Ohio 44236
*Interior & Exterior
Renovations to
accommodate an
expanded Kitchen, Living
Areas, Bedrooms &
Garages*

TITLE:
**EXISTING BUILDING
PHOTOS**

ISSUE: - DATE: 05-04-26

SHEET:
A0-00



SEAL:

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CLEVELAND
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The
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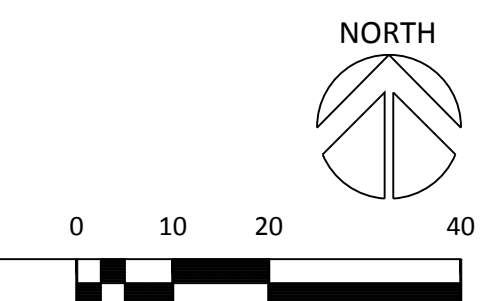
5 Thirty Acres Street
Hudson, Ohio 44236

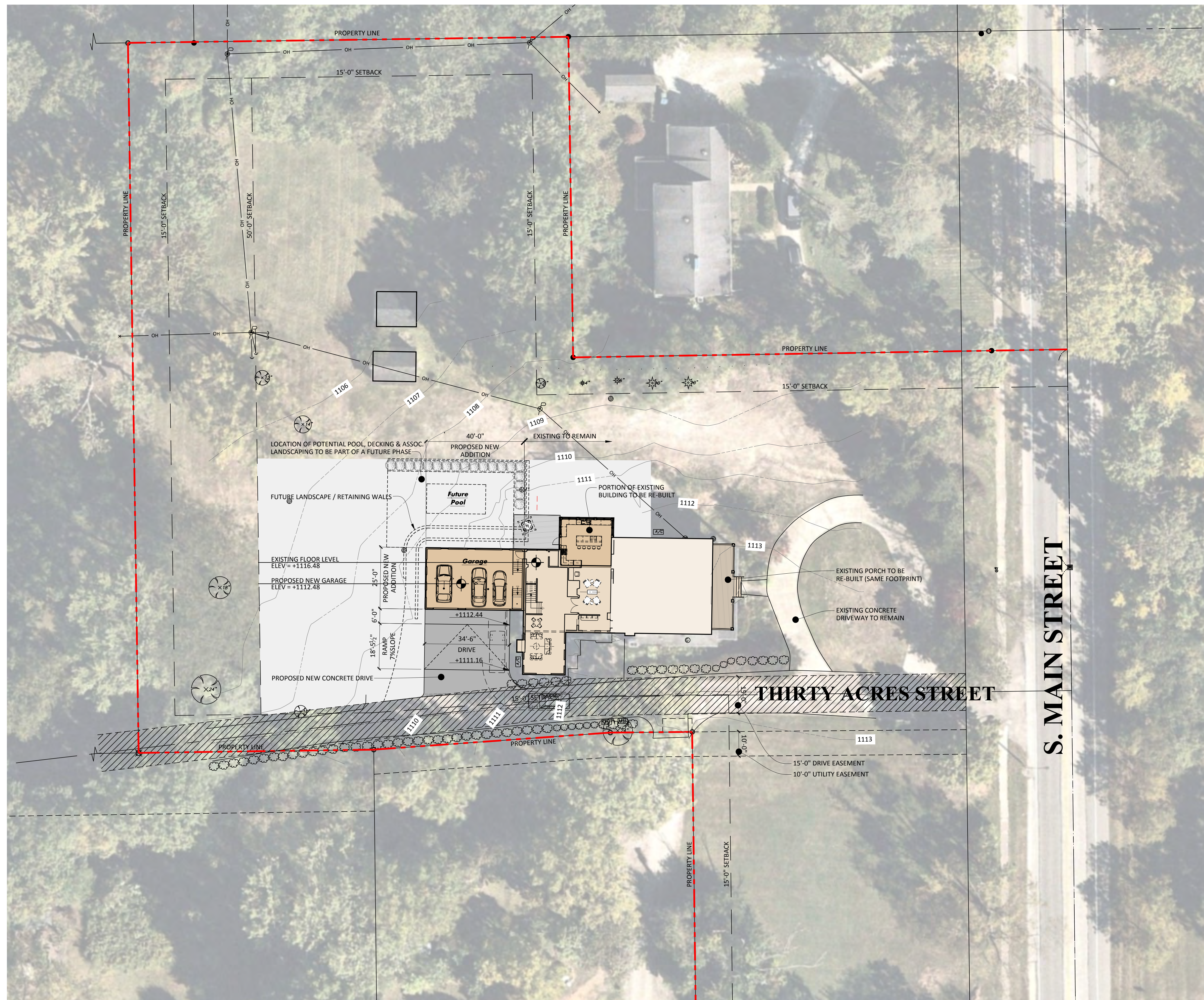
*Interior & Exterior
Renovations to
accommodate an
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TITLE:
**ARCHITECTURAL SITE
DEMOLITION PLAN**

ISSUE: - DATE: 05-04-26

SHEET:
AS-D1





SEAL:

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CLEVELAND
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The Connor's Residence
Renovation

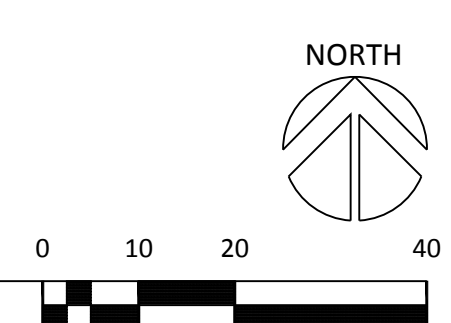
5 Thirty Acres Street
Hudson, Ohio 44236
Interior & Exterior Renovations to accommodate an expanded Kitchen, Living Areas, Bedrooms & Garages

TITLE:
ARCHITECTURAL SITE PLAN

ISSUE: - DATE: 05-04-26

SHEET:
AS-01

1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"








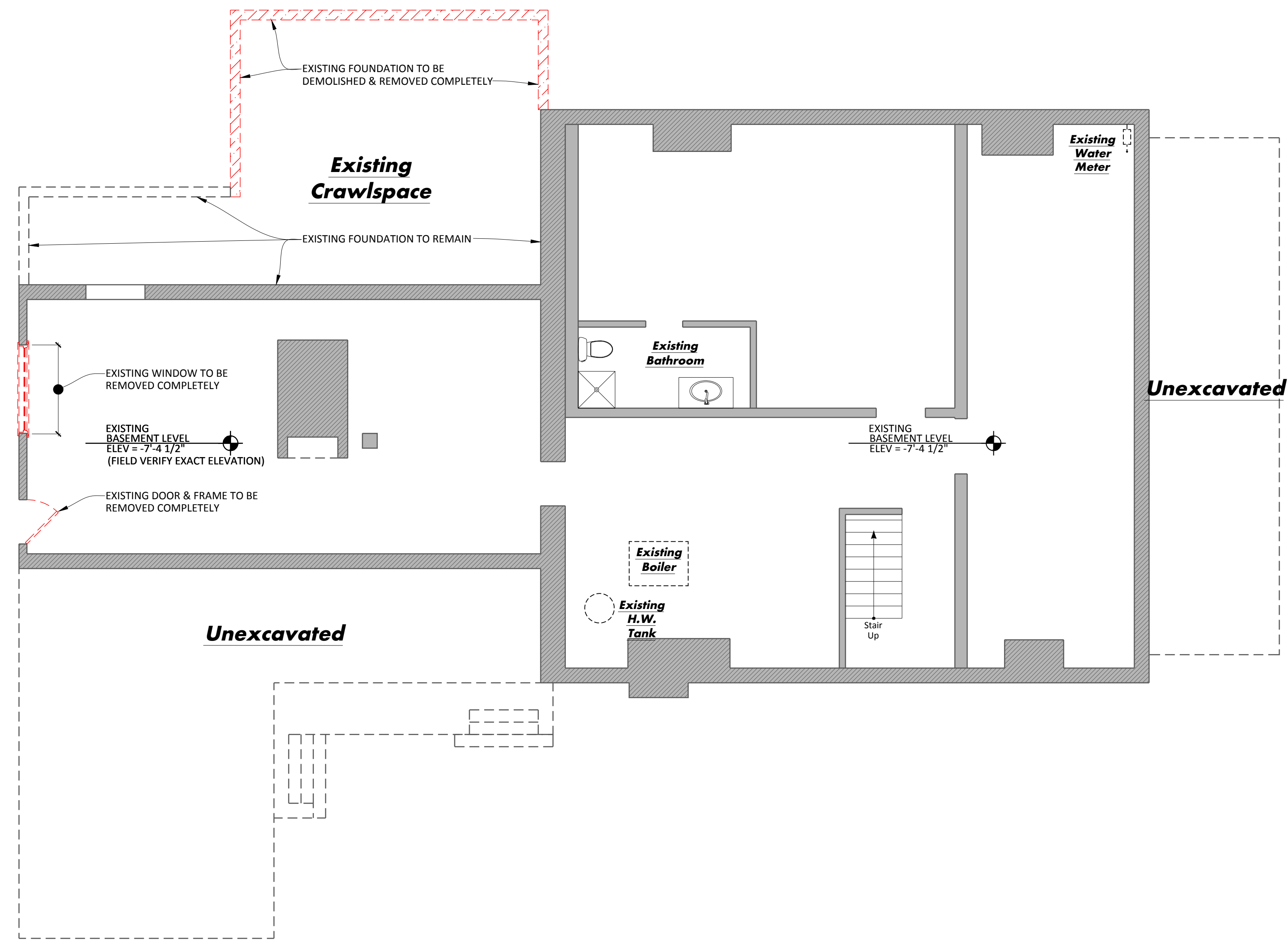
DEMOLITION PLAN & NOTES

DEMOLITION GENERAL NOTES

1. DEMOLITION SHALL NOT BE LIMITED TO THE ITEMS SPECIFICALLY SHOWN IN THE DRAWINGS. THE INTENT IS TO SHOW THE GENERAL SCOPE OF DEMOLITION REQUIRED TO PREPARE THE SPACES FOR NEW CONSTRUCTION.
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DEMOLITION PLAN KEY

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-  EGRESS / EXIT ACCESS



SEAL:

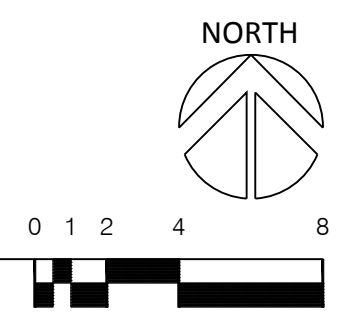
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CLEVELAND
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ARCHITECTURE

BROCK
CONSTRUCTION
COMPANY

The Connor's Residence
Renovation
5 Thirty Acres Street
Hudson, Ohio 44236
Interior & Exterior Renovations to accommodate an expanded Kitchen, Living Areas, Bedrooms & Garages

TITLE:
BASEMENT: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN
ISSUE: - DATE: 05-04-26
SHEET:
AD-00



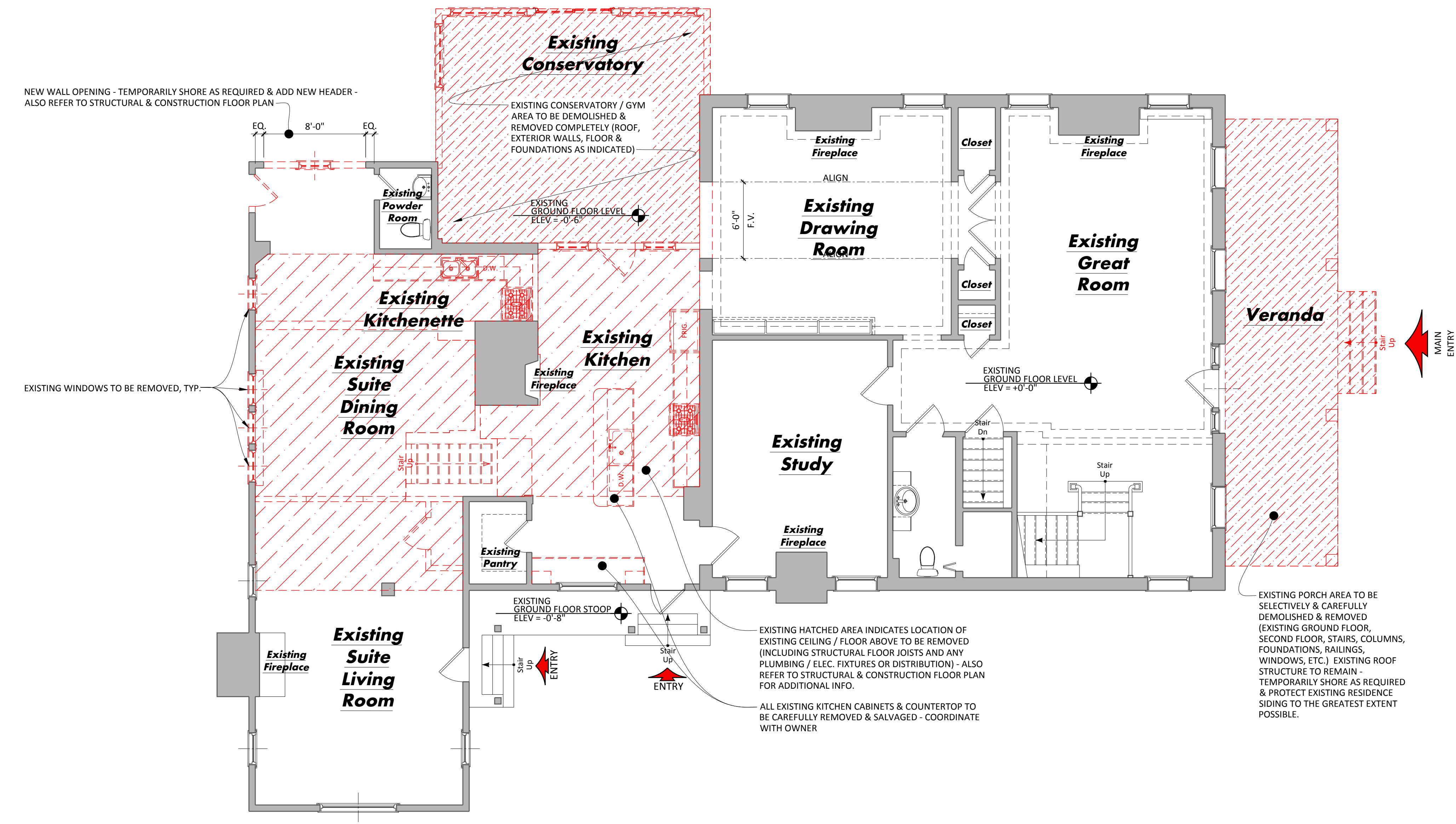
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Architectural Review Board	Architectural Review Board	

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The
Connor's
Residence
Renovation

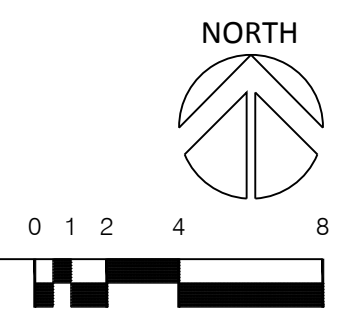
5 Thirty Acres Street
Hudson, Ohio 44236
*Interior & Exterior
Renovations to
accommodate an
expanded Kitchen, Living
Areas, Bedrooms &
Garages*

TITLE:
**GROUND FLOOR:
EXISTING CONDITIONS
& DEMOLITION FLOOR
PLAN**

ISSUE: - DATE: 05-04-26

SHEET:
AD-01

GROUND FLOOR LEVEL
EXISTING CONDITIONS & DEMOLITION FLOOR PLAN
SCALE: 3/16" = 1'-0"








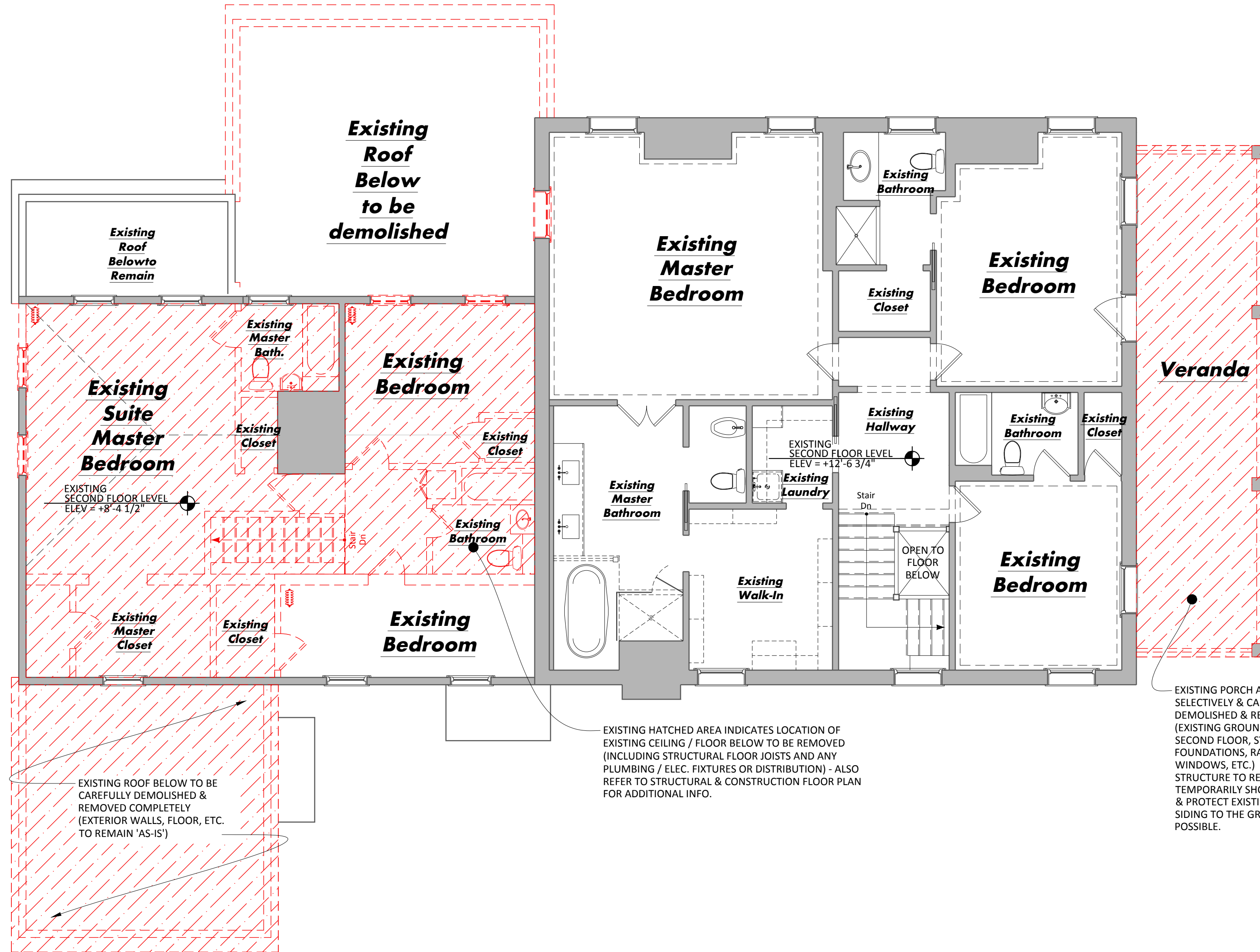
DEMOLITION PLAN & NOTES

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DEMOLITION PLAN KEY

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-  EXIT
-  EGRESS / EXIT ACCESS



EXISTING HATCHED AREA INDICATES LOCATION OF EXISTING CEILING / FLOOR BELOW TO BE REMOVED (INCLUDING STRUCTURAL FLOOR JOISTS AND ANY PLUMBING / ELEC. FIXTURES OR DISTRIBUTION) - ALSO REFER TO STRUCTURAL & CONSTRUCTION FLOOR PLAN FOR ADDITIONAL INFO.

EXISTING PORCH AREA TO BE SELECTIVELY & CAREFULLY DEMOLISHED & REMOVED (EXISTING GROUND FLOOR, SECOND FLOOR, STAIRS, COLUMNS, FOUNDATIONS, RAILINGS, WINDOWS, ETC.) EXISTING ROOF STRUCTURE TO REMAIN - TEMPORARILY SHORE AS REQUIRED & PROTECT EXISTING RESIDENCE SIDING TO THE GREATEST EXTENT POSSIBLE.

EXISTING ROOF BELOW TO BE CAREFULLY DEMOLISHED & REMOVED COMPLETELY (EXTERIOR WALLS, FLOOR, ETC. TO REMAIN 'AS-IS')

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CLEVELAND
DRAW
ARCHITECTURE

BROCK
CONSTRUCTION
COMPANY

The
Connor's
Residence
Renovation

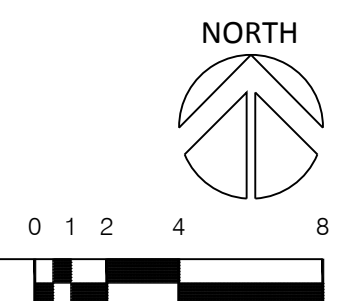
5 Thirty Acres Street
Hudson, Ohio 44236

*Interior & Exterior
Renovations to
accommodate an
expanded Kitchen, Living
Areas, Bedrooms &
Garages*

TITLE:
**SECOND FLOOR:
EXISTING CONDITIONS
& DEMOLITION FLOOR
PLAN**

ISSUE: - DATE: 05-04-26

SHEET:
AD-02



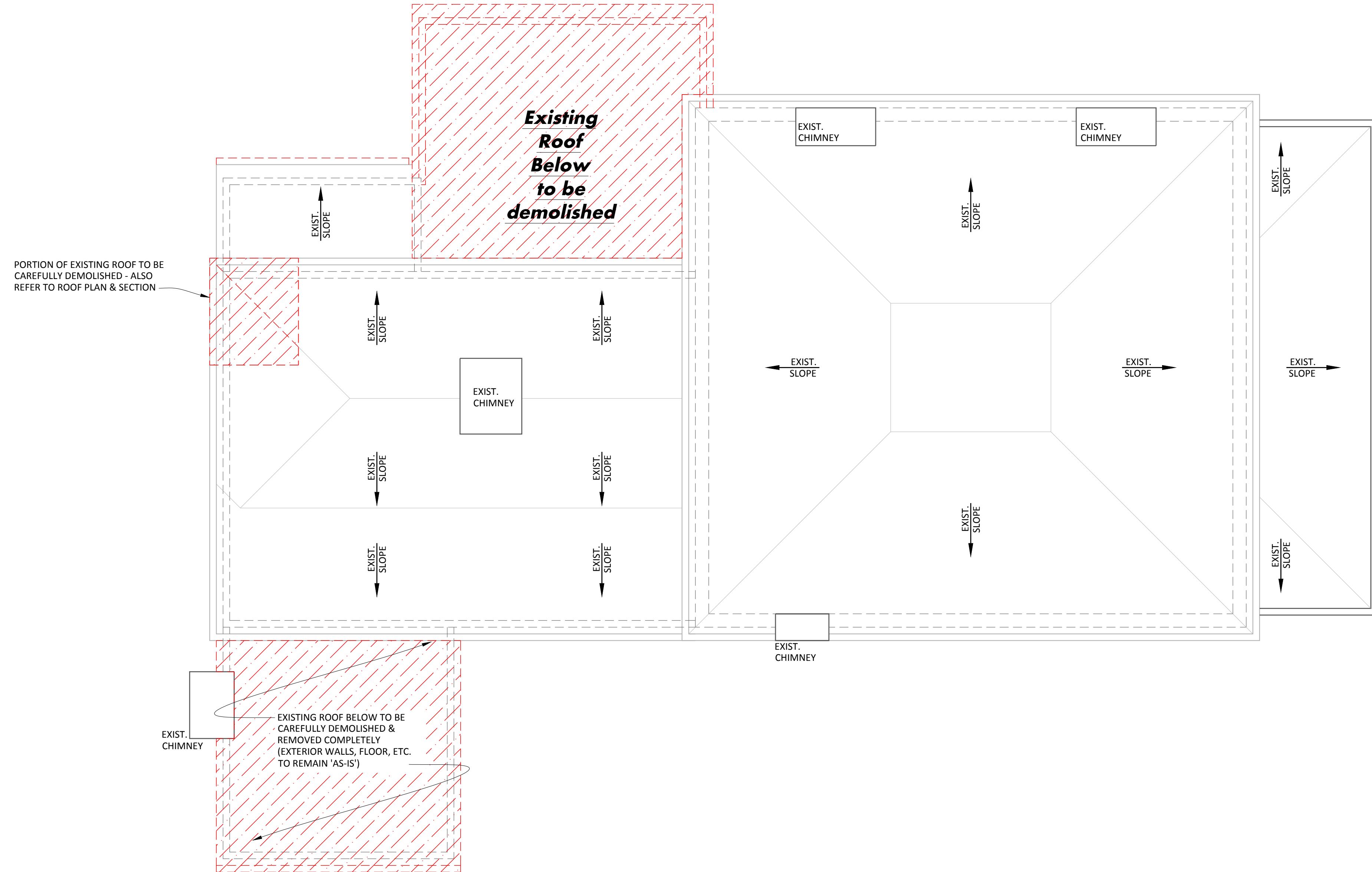
DEMOLITION PLAN & NOTES

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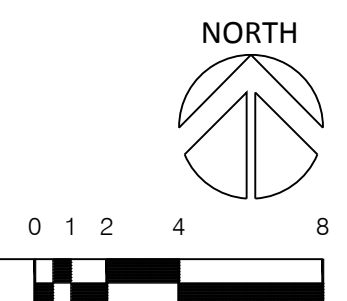
CLEVELAND
DRAW
ARCHITECTURE

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CONSTRUCTION
COMPANY

The
Connor's Residence
Renovation

5 Thirty Acres Street
Hudson, Ohio 44236
Interior & Exterior Renovations to accommodate an expanded Kitchen, Living Areas, Bedrooms & Garages

TITLE:
ROOF: EXISTING CONDITIONS & DEMOLITION FLOOR PLAN
ISSUE: - DATE: 05-04-26
SHEET:
AD-03



CONSTRUCTION PLAN & NOTES

CRAWLSPACE VENTILATION

PER ORC SECTION 408.1: WHERE A CLASS 1 VAPOR RETARDER IS PRESENT, THE MIN. NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN 1 SqFt FOR EACH 1,500 SqFt OF UNDER FLOOR SPACE AREA.

AREA OF SPACE TO BE VENTED: 96 SF (13,824 Sq.In)

MIN. REQUIRED: PROVIDED:

CRAWLSPACE VENTILATION:

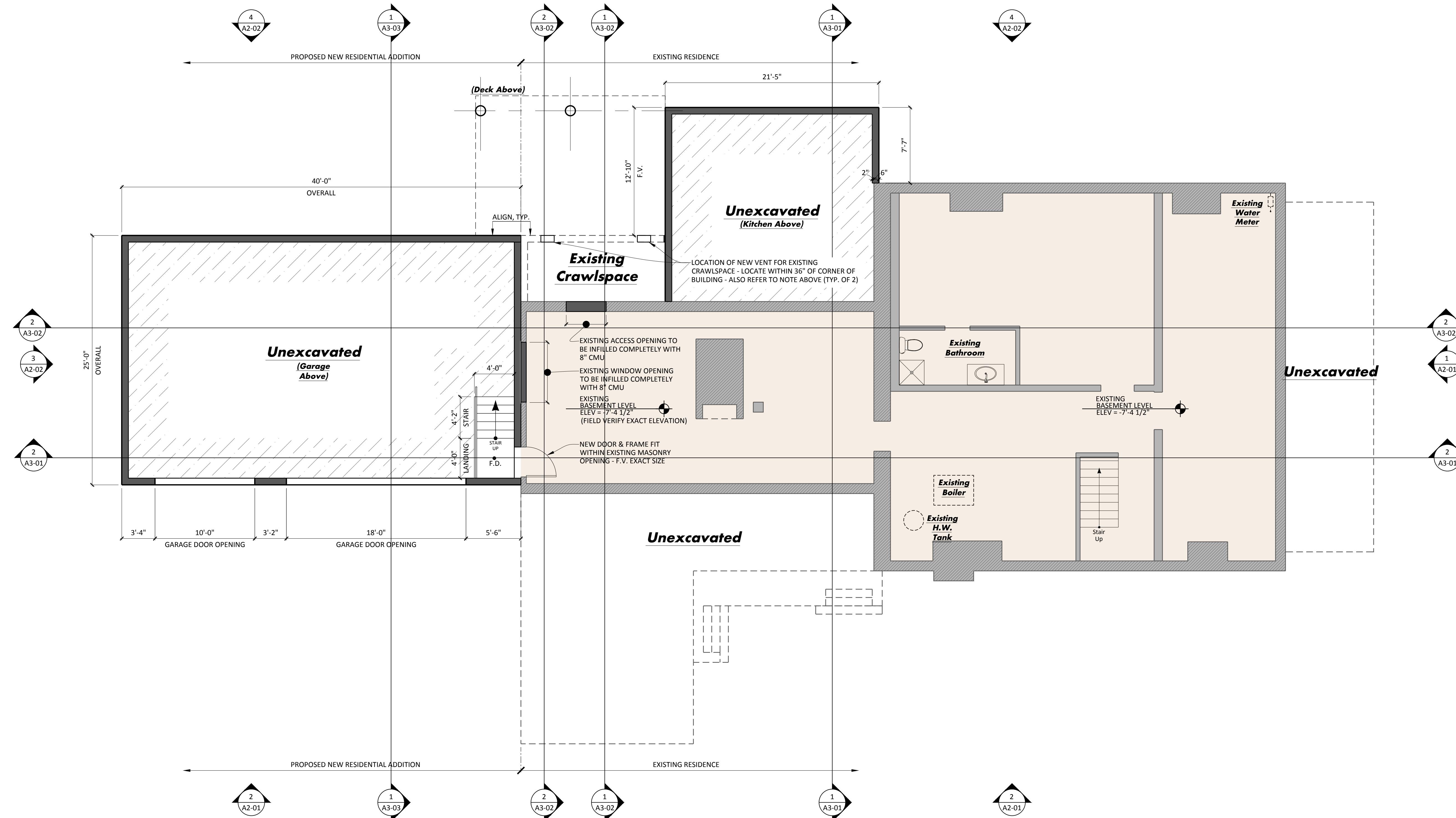
FOUR VENTS: 0.064 SF (9.216 Sq.In) 0.792 SF (114 Sq.In)
 MASTERFLOW FOUNDATION VENT
 'FVABLE' AS MFR'D BY GAF OR EQUAL
 -SIZE: 8"x16"
 -NFA = 57 Sq.In. PER VENT

CONSTRUCTION PLAN KEY

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
- EGRESS

CONSTRUCTION PLAN INFO

BASEMENT LEVEL
 EXISTING AREA TO REMAIN 2,289 G.S.F.



SEAL:

ISSUED:	DATE:
Issued for: Architectural Review Board	03-02-26
Issued for: Planning Dept. Comments	03-12-26
Re-issued for: Architectural Review Board	05-04-26

CLEVELAND
DRAW
 ARCHITECTURE

BROCK
 CONSTRUCTION
 COMPANY

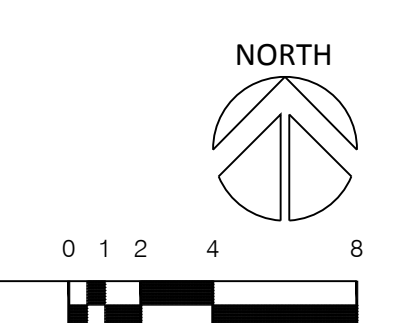
The Connor's Residence
 Renovation
 5 Thirty Acres Street
 Hudson, Ohio 44236
 Interior & Exterior
 Renovations to
 accommodate an
 expanded Kitchen, Living
 Areas, Bedrooms &
 Garages

TITLE:
**BASEMENT:
 CONSTRUCTION
 FLOOR PLAN**

ISSUE: - DATE: 05-04-26

SHEET:
A1-00

1
 A1-00
 BASEMENT
CONSTRUCTION FLOOR PLAN
 SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN & NOTES

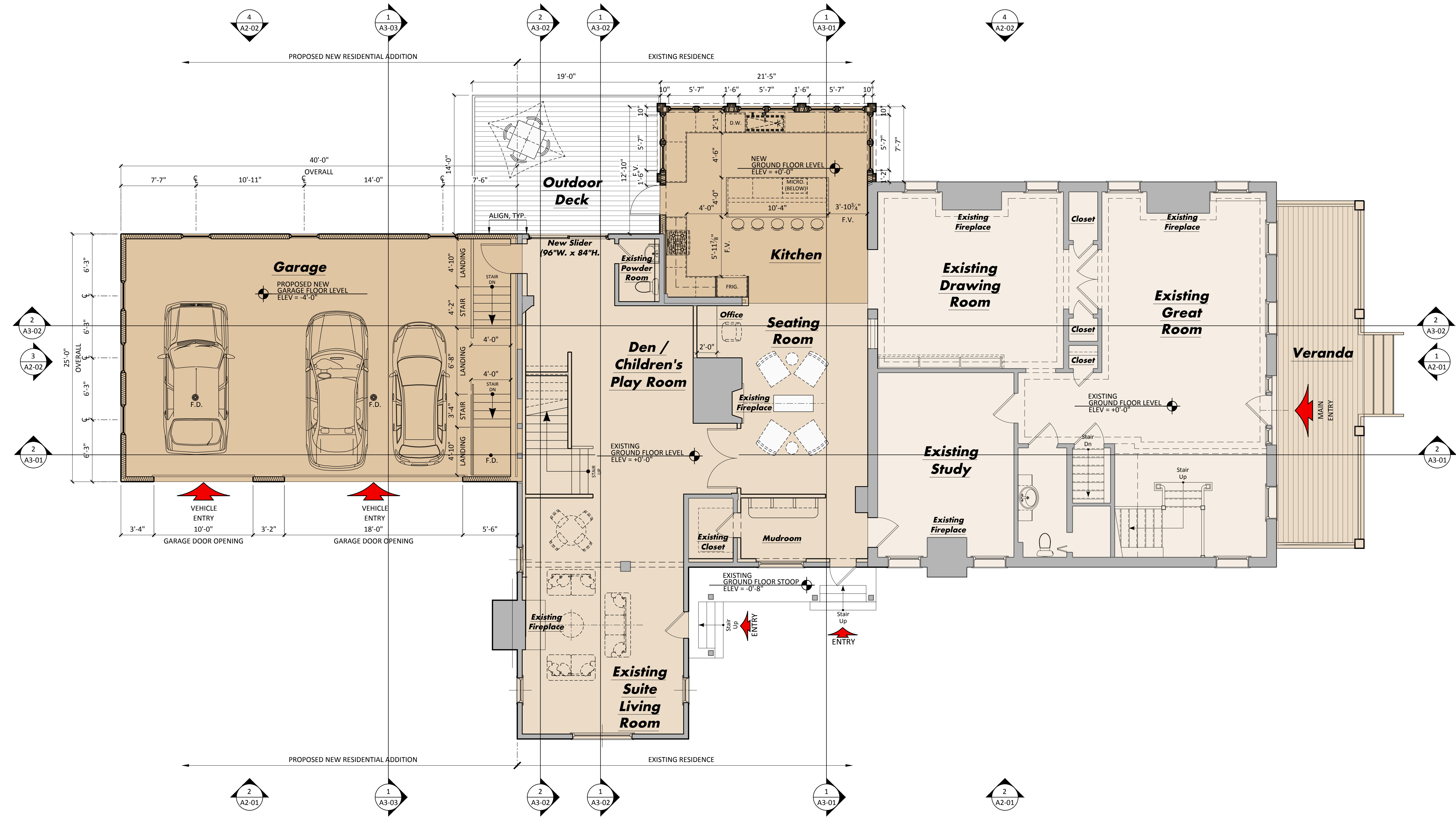
CONSTRUCTION PLAN KEY

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES PROPOSED NEW CONCRETE FOUNDATION CONSTRUCTION
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
- INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
- EGRESS

CONSTRUCTION PLAN INFO

LEVEL 1 (GROUND FLOOR AREA)

EXISTING AREA TO REMAIN	1,608 G.S.F.
RENOVATION AREA	1,345 G.S.F.
PROPOSED ADDITION (KITCHEN)	420 G.S.F.
TOTAL:	3,373 G.S.F.
RENOVATED VERANDA	336 G.S.F.
PROPOSED ADDITION (GARAGE)	1,013 G.S.F.



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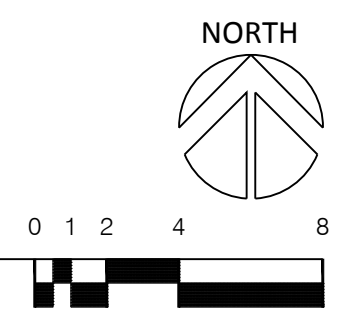
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TITLE:
**GROUND FLOOR:
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 FLOOR PLAN**

ISSUE: _____ DATE: _____
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A1-01

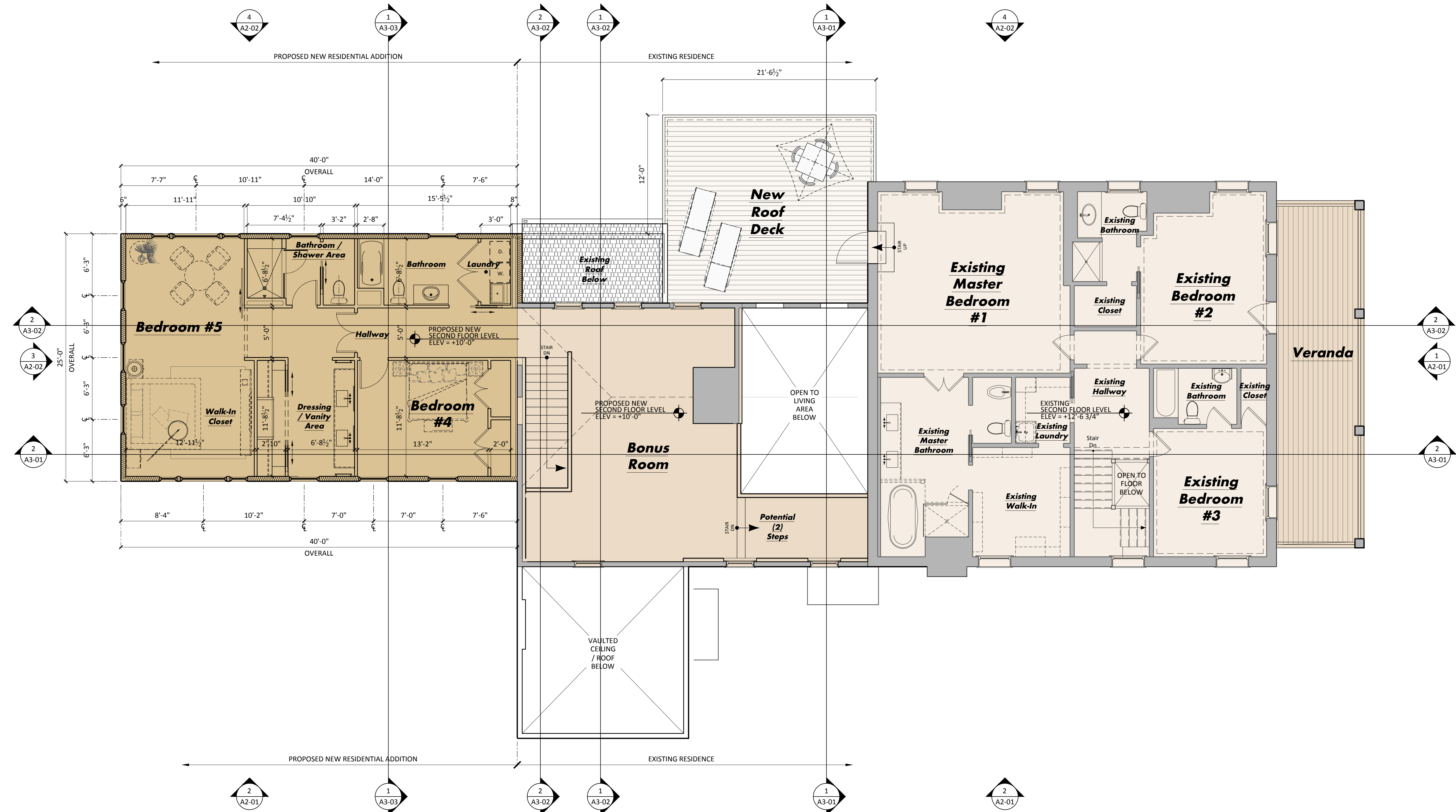
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 A1-01
 GROUND FLOOR
CONSTRUCTION FLOOR PLAN
 SCALE: 3/16" = 1'-0"



CONSTRUCTION PLAN & NOTES

CONSTRUCTION PLAN KEY	
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	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION W/ INSULATION (THERMAL OR SOUND ATTENUATION) - ALSO REFER TO GENERAL NOTES
	INDICATES PROPOSED NEW WOOD FRAME WALL CONSTRUCTION LOCATED BELOW
	EGRESS

CONSTRUCTION PLAN INFO	
LEVEL 2 (SECOND FLOOR AREA)	
	EXISTING AREA TO REMAIN 1,608 G.S.F.
	RENOVATION AREA 697 G.S.F.
	PROPOSED ADDITION 1,004 G.S.F.
	TOTAL: 3,309 G.S.F.
	RENOVATED VERANDA 310 G.S.F.
	PROPOSED NEW ROOF DECK 395 G.S.F.



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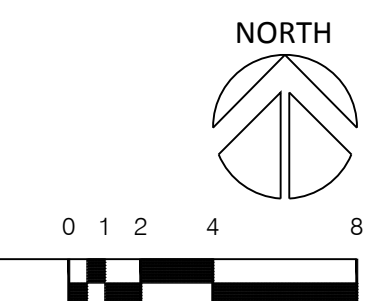
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TITLE:
**SECOND FLOOR:
CONSTRUCTION
FLOOR PLAN**

ISSUE: - DATE: 05-04-26

SHEET:
A1-02

1 SECOND FLOOR
A1-02 CONSTRUCTION FLOOR PLAN
SCALE: 3/16" = 1'-0"





EXISTING SECOND FLOOR LEVEL
ELEV = +12'-6 3/4" - F.V.

PROPOSED NEW SECOND FLOOR LEVEL
ELEV = +10'-0"

EXISTING SECOND FLOOR LEVEL
ELEV = +8'-4 1/2" - F.V.

EXISTING GROUND FLOOR LEVEL
ELEV = +0'-0"

PROPOSED NEW GARAGE FLOOR LEVEL
ELEV = -4'-0"

EXISTING BASEMENT LEVEL
ELEV = -7'-4 1/2"

2 EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

0 1 2 4 8

EXTERIOR FINISH GENERAL NOTES:

IT IS THE DESIGN INTENT THAT ALL PROPOSED NEW EXTERIOR FINISHES, COLORS, ETC. THAT ARE LOCATED AT ALL PROPOSED NEW CONSTRUCTION AREAS ARE TO MATCH THE EXISTING EXTERIOR FINISHES, COLORS, ETC. LOCATED ON THE ADJACENT EXISTING RESIDENCE. ALL EXISTING EXTERIOR CONSTRUCTION IS SCHEDULED TO REMAIN 'AS-IS':

1. ALL PROPOSED NEW SIDING IS TO MATCH EXISTING ADJ. SIDING (COLOR, COURSING, ETC.)
2. ALL PROPOSED NEW TRIM IS TO MATCH EXISTING ADJ. TRIM UNLESS OTHERWISE NOTED

ALL EXISTING MASONRY CONSTRUCTION (CHIMNEY AREAS) ARE TO BE CLEANED AND ANY LOOSE OR DETERIORATED MORTAR IS TO BE REMOVED. REPLACE ANY DAMAGED OR MISSING MASONRY. RE-POINTED AS REQUIRED AND RE-PAINT WHITE.

ALL RAILING AS ILLUSTRATED TO BE PRE-MANUFACTURED / PRE-FINISHED COMPOSITE RAILING ASSEMBLY SUCH AS 'SELECT COMPOSITE T-RAIL' AS MFR'D BY TREX OR ARCH. APPROVED EQUAL. WITH SQUARE COMPOSITE PICKETS / BALUSTER KIT. COLOR OF ALL COMPONENTS TO BE WHITE.

REFER TO SHEET A4-00 FOR ADDITIONAL INFO.



EXISTING SECOND FLOOR LEVEL
ELEV = +12'-6 3/4" - F.V.

PROPOSED NEW SECOND FLOOR LEVEL
ELEV = +10'-0"

EXISTING SECOND FLOOR LEVEL
ELEV = +8'-4 1/2" - F.V.

EXISTING GROUND FLOOR LEVEL
ELEV = +0'-0"

PROPOSED NEW GARAGE FLOOR LEVEL
ELEV = -4'-0"

EXISTING BASEMENT LEVEL
ELEV = -7'-4 1/2"

1 EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

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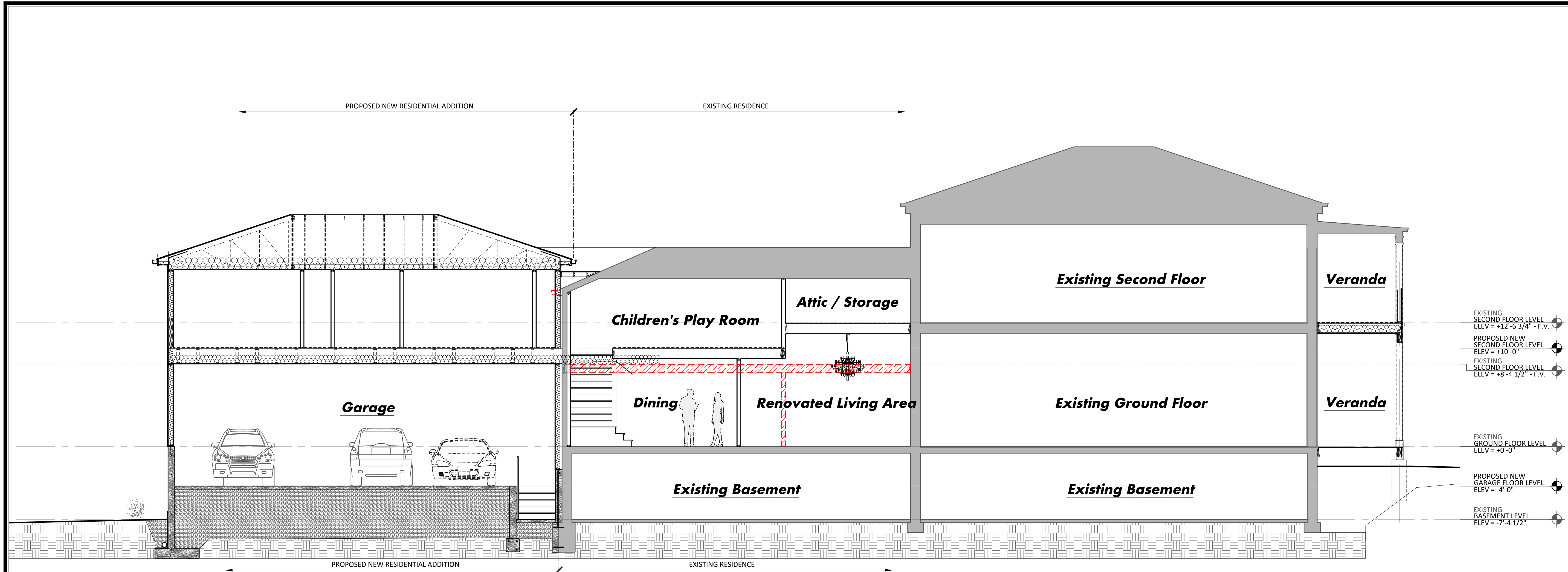
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TITLE:
EXTERIOR ELEVATIONS

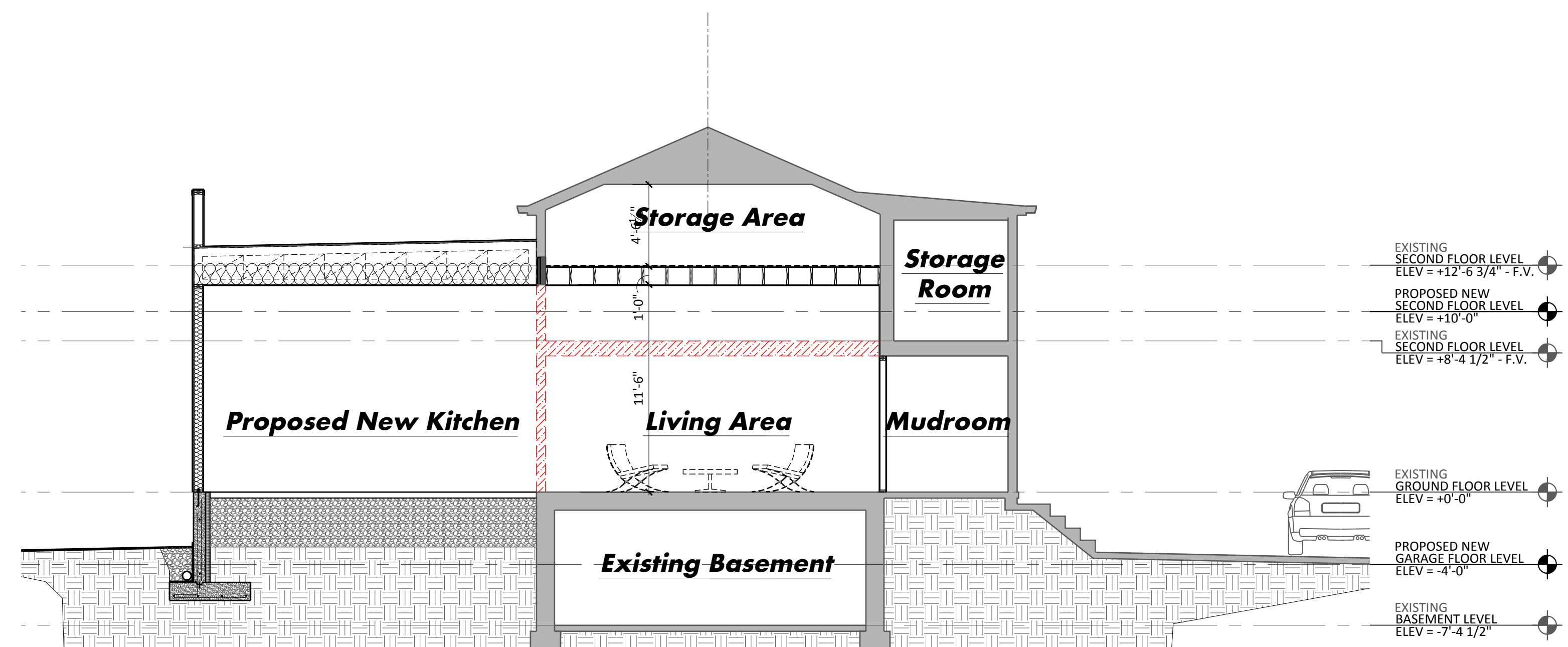
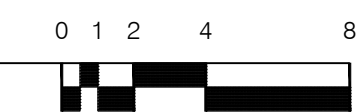
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2 EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



1 OVERALL BUILDING SECTION
SCALE: 3/16" = 1'-0"



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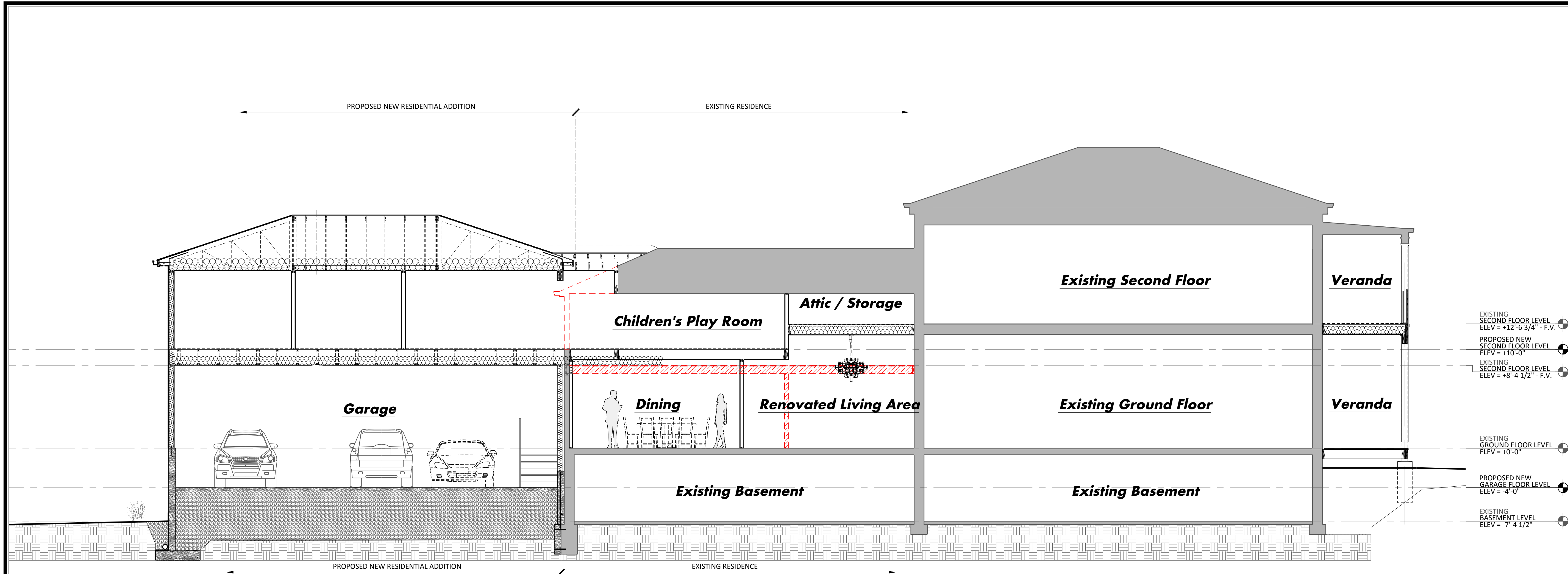
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TITLE:
**OVERALL BUILDING
 SECTIONS**

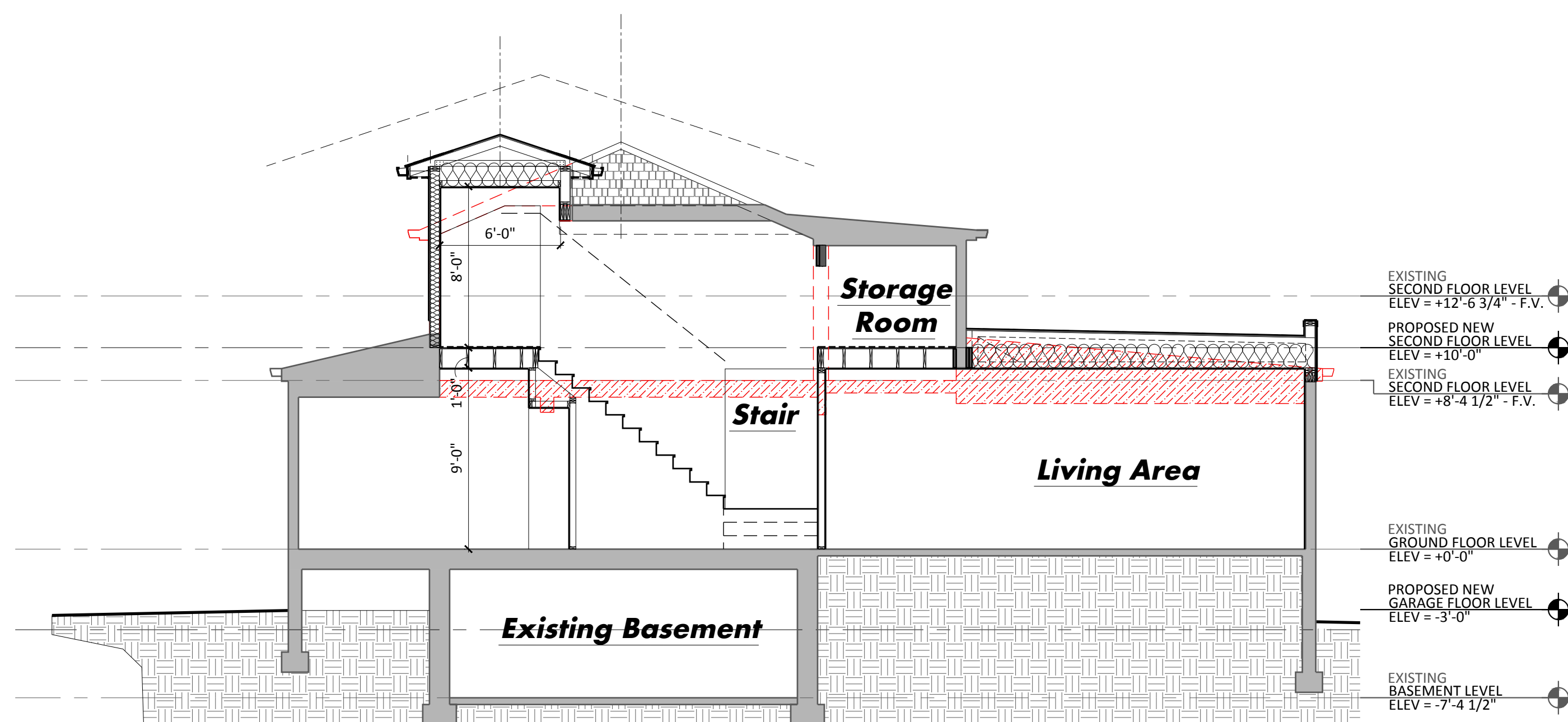
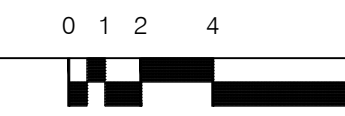
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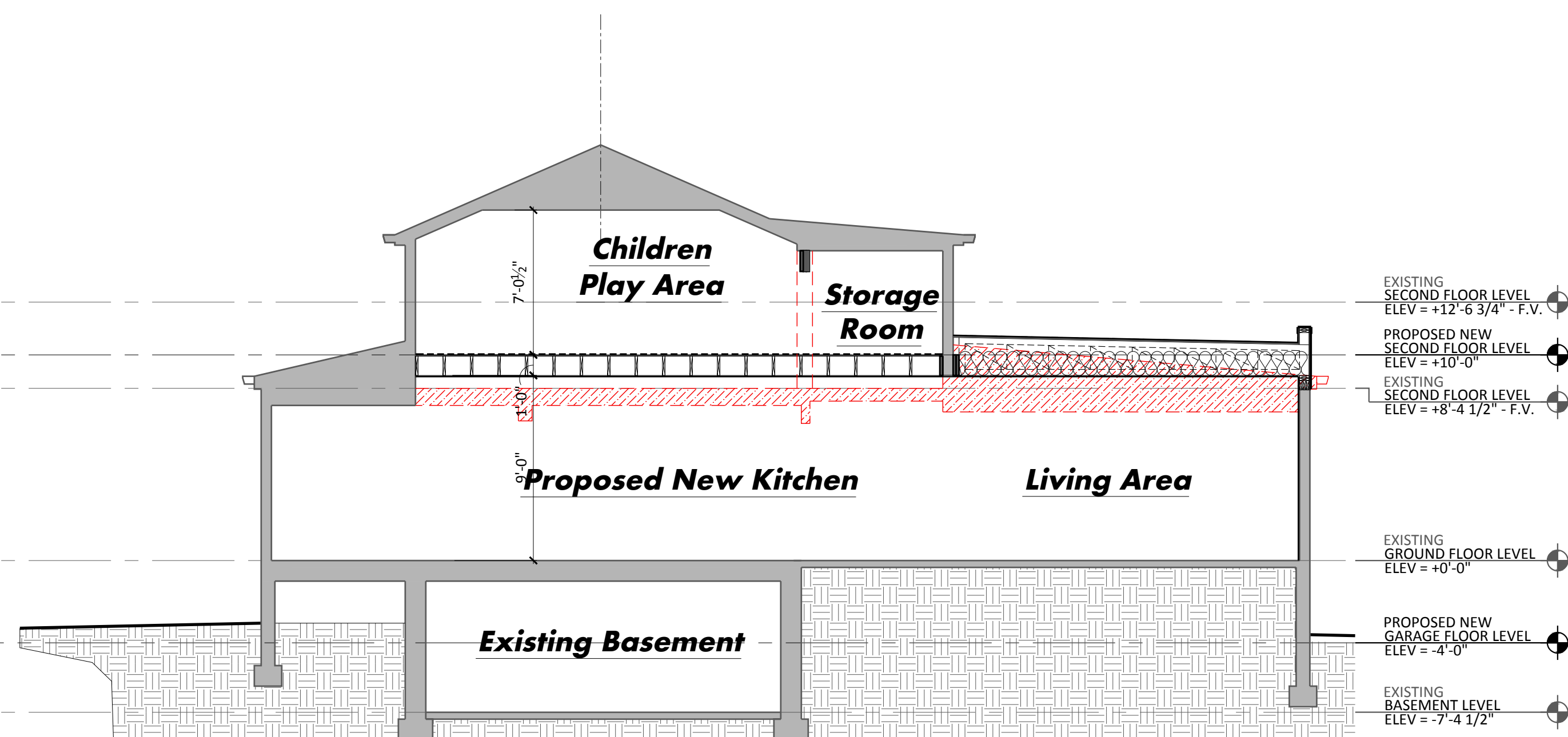
A3-01



2 OVERALL BUILDING SECTION
SCALE: 3/16" = 1'-0"



3 OVERALL BUILDING SECTION
SCALE: 3/16" = 1'-0"



1 OVERALL BUILDING SECTION
SCALE: 3/16" = 1'-0"



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Interior & Exterior Renovations to accommodate an expanded Kitchen, Living Areas, Bedrooms & Garages

TITLE:
OVERALL BUILDING SECTIONS

ISSUE: - DATE: 05-04-26

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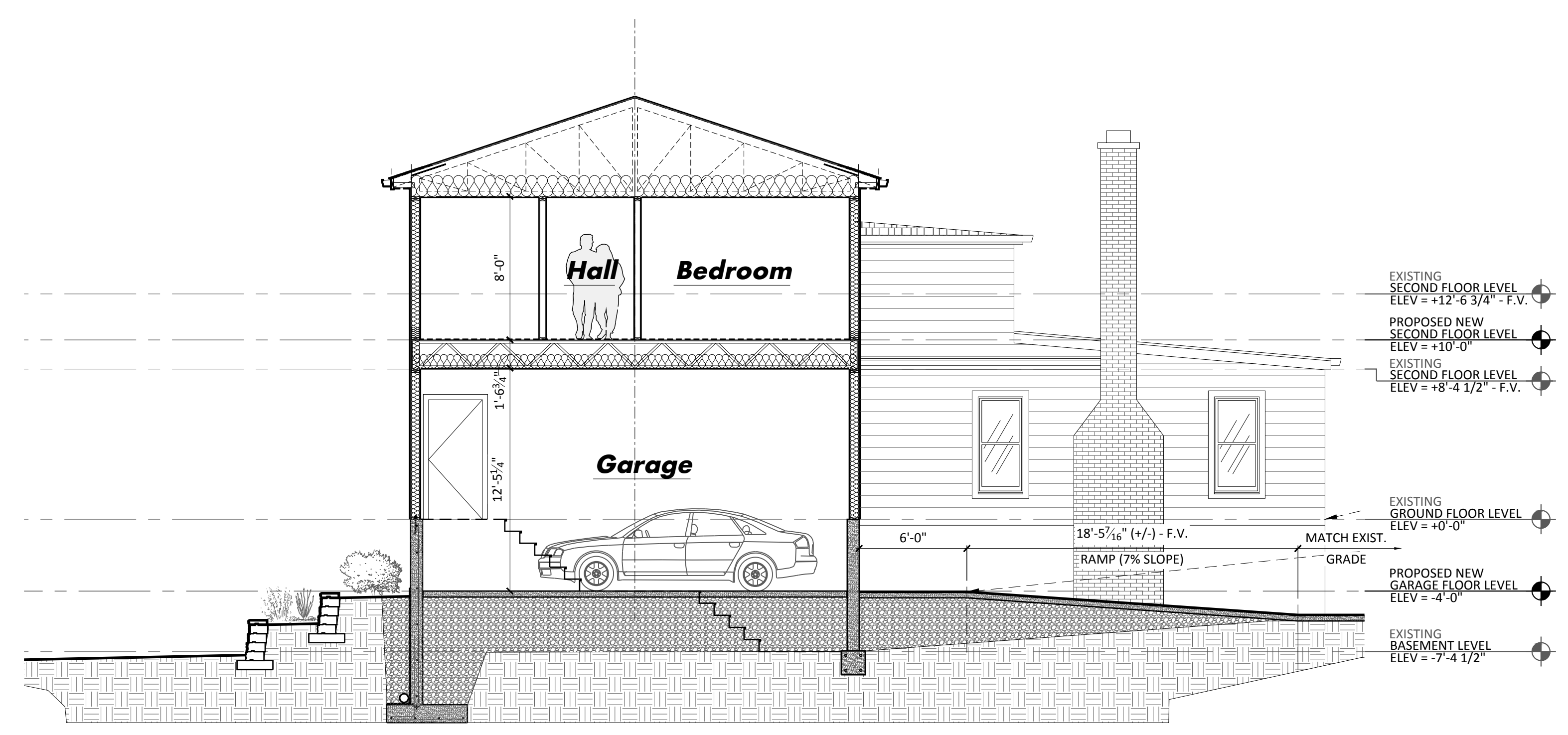
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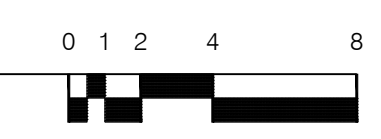
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OVERALL BUILDING SECTIONS

ISSUE: - DATE: 05-04-26

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A3-03



1 OVERALL BUILDING SECTION
SCALE: 3/16" = 1'-0"



EXTERIOR PRODUCT & FINISH LEGEND

ROOFING



RF-1

MATERIAL: ASPHALT SHINGLE
MFR: GAF
STYLE/TYPE: TIMBERLINE HDZ
COLOR: PEWTER GRAY

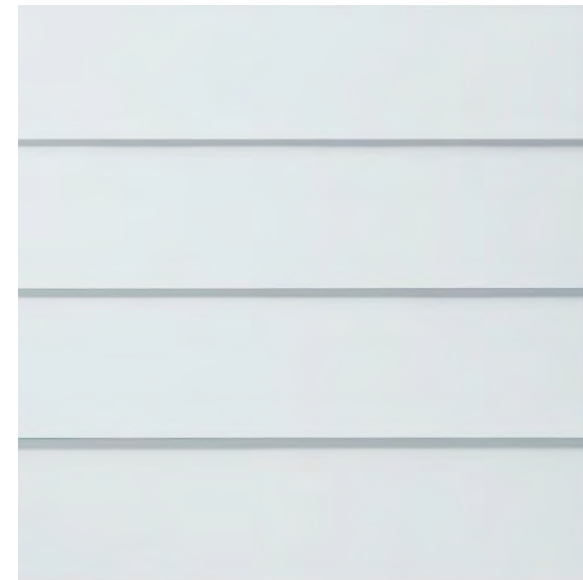
- NOTES:
- ALL SHINGLES TO BE INSTALLED PER MANUFACTURER'S STANDARD WRITTEN RECOMMENDATIONS OVER 30# FELT/UNDERLAYMENT.
 - AT ALL REQUIRED LOCATIONS INCLUDE SELF-ADHERE, SELF-SEALING UNDERLAYMENT (SUCH AS ICE & WATER SHIELD AS MFR'D BY GRACE).
 - PROVIDE & INSTALL ALL REQUIRED RIDGE VENTS, FLASHINGS, VALLEY FLASHINGS, DRIP EDGES, ETC. TO ACHIEVE MANUFACTURER'S WARRANTY.
 - AT ALL LOCATIONS WHERE ROOF IS LOCATED DIRECTLY OVER CONDITIONED SPACE, THEN INCLUDE AN AIR & VAPOR BARRIER DIRECTLY OVER WOOD SHEATHING.

RF-2

MATERIAL: EPDM SINGLE PLY ROOF MEMBRANE (SELF-ADHERED)
MFR: FIRESTONE, CARLISLE OR ARCH. APPROVED EQUAL
STYLE/TYPE: RUBBERGARD EPDM SA - FULLY ADHERED AS MFR'D BY FIRESTONE SURE-SEAL EPDM - FULLY ADHERED AS MFR'D BY CARLISLE
THICKNESS: 60 MIL
COLOR: BLACK

- NOTES:
- MEMBRANE ROOFING TO BE INSTALLED DIRECTLY OVER CONT. POLYISO INSULATION OVER SHEATHING. INSTALL PER MFR.'S STANDARD INSTRUCTION WITH ALL APPROVED COMPONENTS, FLASHINGS, ETC. AS REQUIRED TO ACHIEVE MFR.'S STANDARD WARRANTY.
 - ALL ROOF POLYISO INSULATION (4-1/2", R-25 MIN.) TO BE INSTALLED CONT. ABOVE DECK AND TO BE INSTALLED WITH COVERBOARD AND IN MULTIPLE LAYERS WITH ALL JOINTS STAGGERED TO MINIMIZE THERMAL BRIDGING.
 - AT ALL LOCATIONS WHERE ROOF IS LOCATED DIRECTLY OVER CONDITIONED SPACE, THEN ALL ROOF INSULATION IS TO BE INSTALLED OVER AN AIR & VAPOR BARRIER DIRECTLY OVER WOOD SHEATHING (ALL LOCATIONS WITH EXCEPTION OF EXTERIOR CANOPIES.)

WALL CLADDING:



CLAD-1 BASE BID

MATERIAL: ALUMINUM SIDING
MFR: PLYGEM OR ARCH. APPROVED EQUAL
STYLE/TYPE: 8" LAP SIDING - SMOOTH (TO MATCH EXISTING)
COLOR: WHITE TO MATCH EXISTING

- NOTES:
- INSTALL PER MFR'S STANDARD WRITTEN INSTRUCTION WITH ALL MFR. APPROVED COMPONENTS, FLASHINGS, ETC. TO ACHIEVE STANDARD WARRANTY (ALSO SEE NOTES ABOVE)

TYPICAL EXTERIOR WALL / BUILDING ENVELOPE ASSEMBLY GENERAL NOTES:

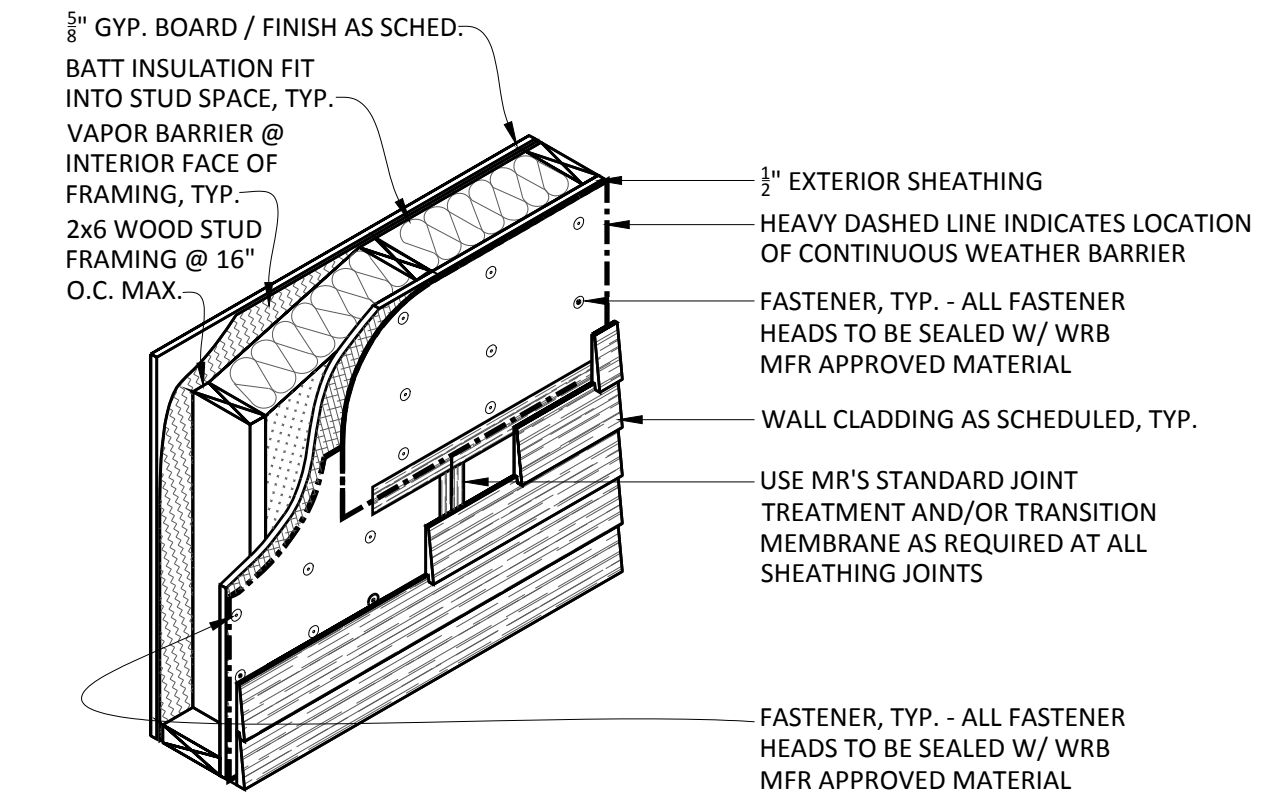
*ALL DRAWINGS, DETAILS & NOTES SHOWN HERE WITHIN DESCRIBE & ILLUSTRATE A DESIGN INTENT ADDRESSING PERFORMANCE & AESTHETIC CRITERIA OF THE EXTERIOR ENVELOPE ASSEMBLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE DETAILED SHOP DRAWINGS THAT MEET OR EXCEED THAT DESIGN INTENT PRIOR TO INSTALLATION.

TYPICAL BLDG. ENVELOPE ASSEMBLY:

ALL WALL COMPONENTS TO BE AS FOLLOWS, UNLESS OTHERWISE NOTED:

- EXTERIOR CLADDING: REFER TO FINISH SCHEDULE
- WEATHER BARRIER: VAPOR PERMEABLE AIR BARRIER (PREFERRED FLUID-APPLIED CONTINUOUSLY) DIRECTLY OVER EXTERIOR SHEATHING. W.R.B. TO BE APPLIED PER MFR'S STANDARD INSTRUCTION WITH ALL APPROVED COMPONENTS, FLASHINGS, ETC. TO ACHIEVE MFR.'S STANDARD WARRANTY.
 - AIRLOCK-FLEX VP AS MFR'D BY POLYGUARD
 - R-GUARD AS MFR'D BY PROSDCO
 - OR INTEGRAL W.R.B. FACTORY APPLIED DIRECTLY TO SHEATHING PRODUCT SUCH AS 'ZIP' SYSTEM SHEATHING AS MFR'D BY HUBERWOOD. INSTALLED ALL SEAMS PER MFR'S STANDARD RECOMMENDATIONS W/ APPROVED TAPE / FLASHING PRODUCTS / ETC.
- EXTERIOR SHEATHING: EXTERIOR RATED WOOD STRUCTURAL PANEL (1/2" MIN. THICK OSB)
- WALL FRAMING: NOM. 2x6 WOOD STUDS @ 16" O.C. MAX. (UNLESS OTHERWISE NOTED)
- CAVITY INSULATION: FIBER GLASS INSULATION (6" THICK, R-21 MIN.) FIT INTO STUD SPACE
- VAPOR BARRIER: (LOCATED @ INTERIOR FACE OF FRAMING) CONTINUOUSLY REINFORCED POLYETHYLENE SHEET (6 MIL. MIN.) WITH ALL JOINTS TAPED OR AS INTEGRAL FACING OF BATT INSULATION INSTALLED PER N.A.I.M.A. STANDARD RECOMMENDATIONS

ISOMETRIC DIAGRAM:



TRIM



TRIM-1

MATERIAL: COMPOSITE TRIM
MFR: AZEK, FYPON OR ARCH. APPROVED EQUAL
STYLE/TYPE:-
SIZE: 3/4" THICK (SIZE VARIES - REFER TO DRAWINGS)
COLOR: PAINT (T.B.D.) BY OWNER

- NOTES:
- VERIFY EXACT SIZE & LOCATION WITH OWNER
 - ALL WINDOW TRIM TO BE 3.5" WIDE INSTALLED ALONG ALL 4 SIDES OF EXTERIOR WINDOWS, TYP.

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TITLE:
EXTERIOR FINISH
SCHEDULE

ISSUE: _____ DATE: _____
- 05-04-26

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A4-00





