



FORSYTH RESIDENCE



PROJECT INFORMATION

CITY HUDSON
COUNTY SUMMIT COUNTY
PARCEL NO 3201335
ZONING ZONE 4 - HISTORIC RESIDENTIAL NEIGHBORHOOD
LOT .1915 ACRE

PROJECT NEW TWO STORY SINGLE FAMILY RESIDENCE

APPLICABLE CODE BUILDING: 2019 OHIO RESIDENTIAL BUILDING CODE
ZONING: CITY OF HUDSON

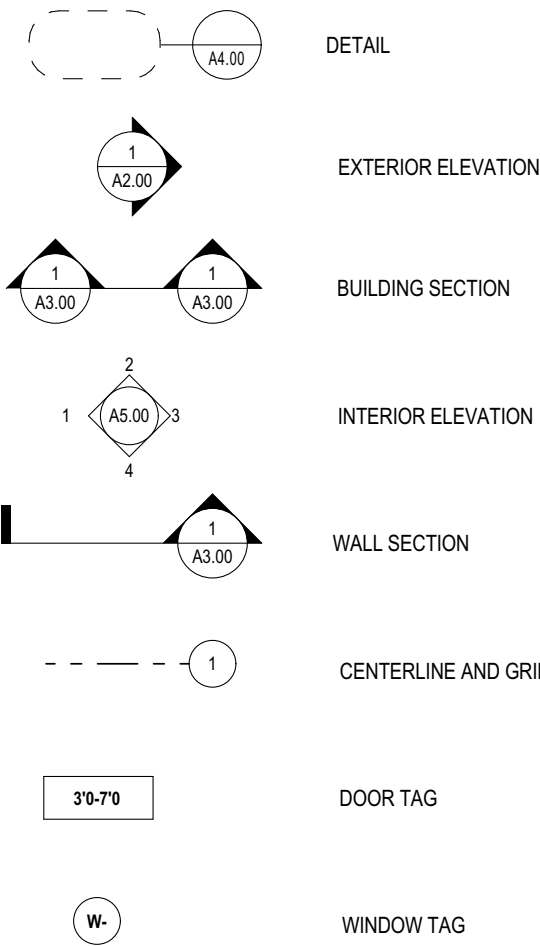
PROJECT AREA

FIRST FLOOR 1,400 SF
SECOND FLOOR 1,351 SF
TOTAL 2,751 SF

DRAWING INDEX

G100	COVER SHEET	05/04/2026
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A202	EXTERIOR ELEVATIONS, SECTIONS, & D...	05/04/2026

DRAWING SYMBOLS



PROJECT TEAM

ARCHITECT: HARA ARCHITECTS
HUDSON, OHIO
P: 419.410.6241

CIVIL: JOE MOSYJOWSKI
-
P: 330.760.9597

CONTACT: NATE BAILEY

PROJECT GENERAL NOTES

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/ OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AT TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRELIMINARY TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS, WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

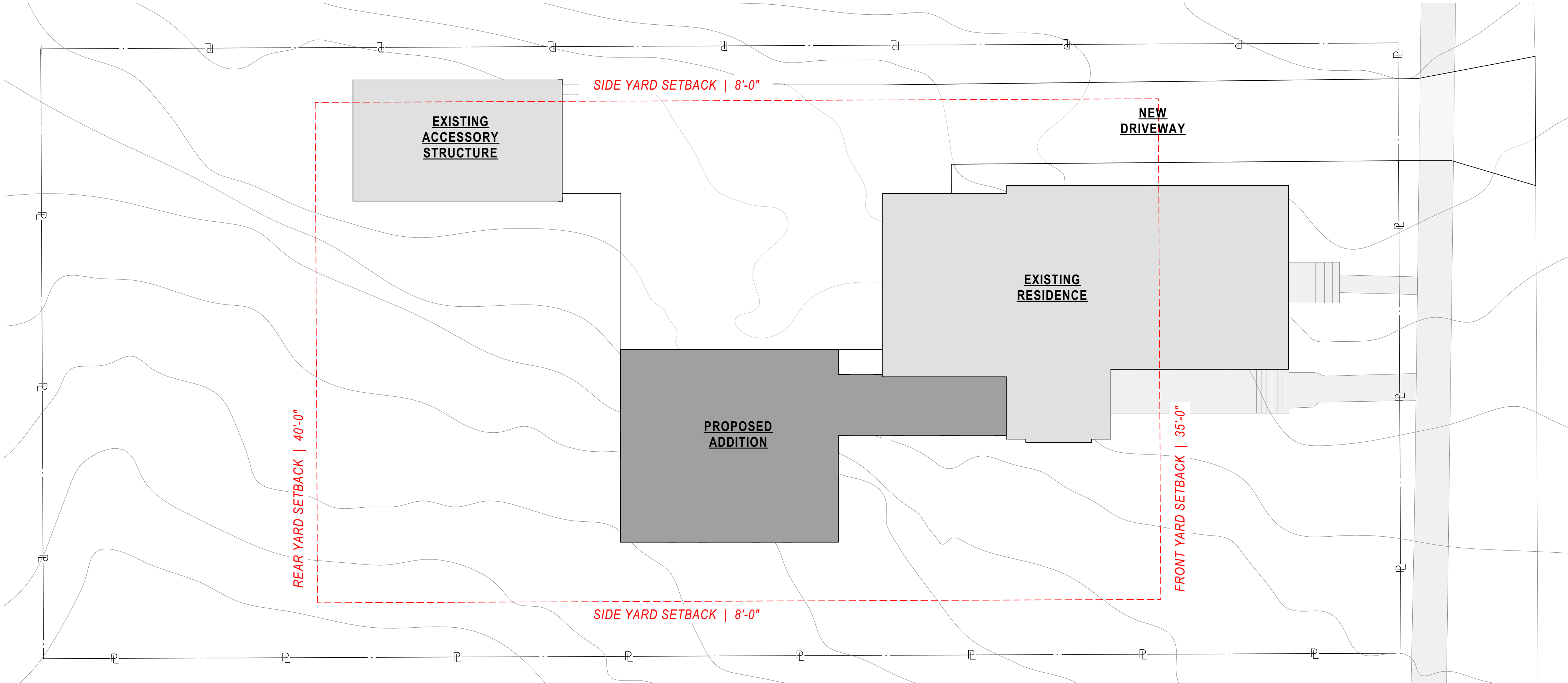
THE OWNER WILL ESTABLISH THE LIMITS OF THE CONSTRUCTION SITE IN ADDITION TO ANY CONTRACT LIMIT LINES SHOWN IN THE DRAWINGS. THE CONTRACTOR WILL CONTINUE HIS OPERATIONS WITHIN THESE LIMITS, UNLESS UPON WRITTEN REQUEST AND REPLY, A VARIANCE IS AGREED TO BY THE OWNER. THE CONTRACTOR WILL BE RESPONSIBLE FOR TRESPASS ON AND/ OR DAMAGE TO OTHER PROPERTY BY ANY OF HIS EMPLOYEES OR HIS SUBCONTRACTOR'S EMPLOYEES.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

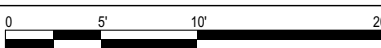
CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE DESCRIBED IN NOTE 9.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CUASED BY DEFECTIVE OR ILL TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM 'APPROVED EQUAL' APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.



1 SITE PLAN
SCALE: 1" = 10'



FORSYTH RESIDENCE
258 NORTH MAIN STREET, Hudson, Ohio 44236

PROJECT #: 2525

ISSUE	ID	DATE
A/HR	A	05/04/2026

PROGRESS

NOT FOR
CONSTRUCTION

5/3/2026

COVER SHEET

G100

10mm (MIN.) THICK PLASTIC LINER, SECURE WITH SOD STAPLES OR SAND BAGS

12'

4'

2'

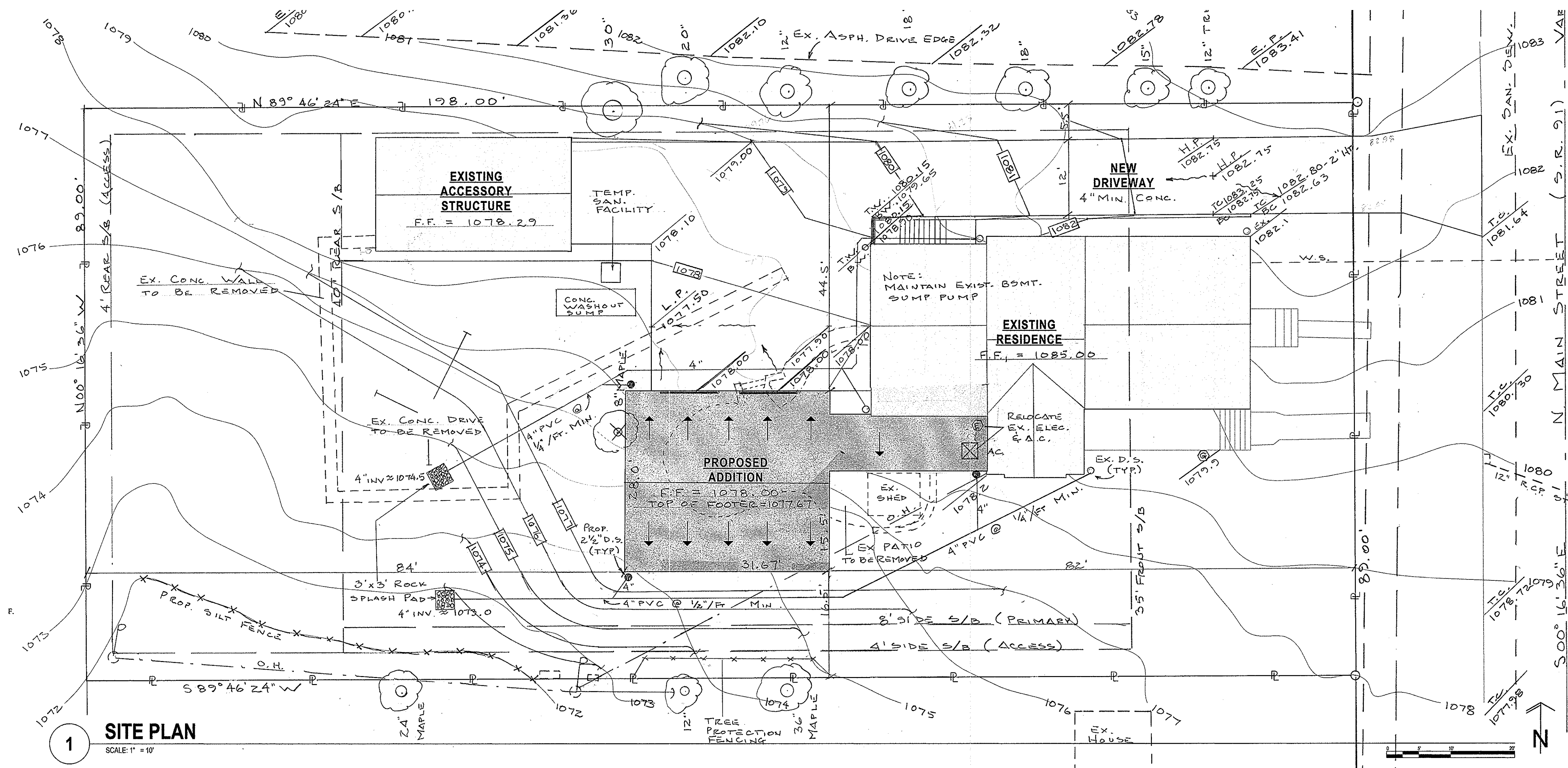
4'

CONSTRUCTION SEQUENCE NARRATIVE

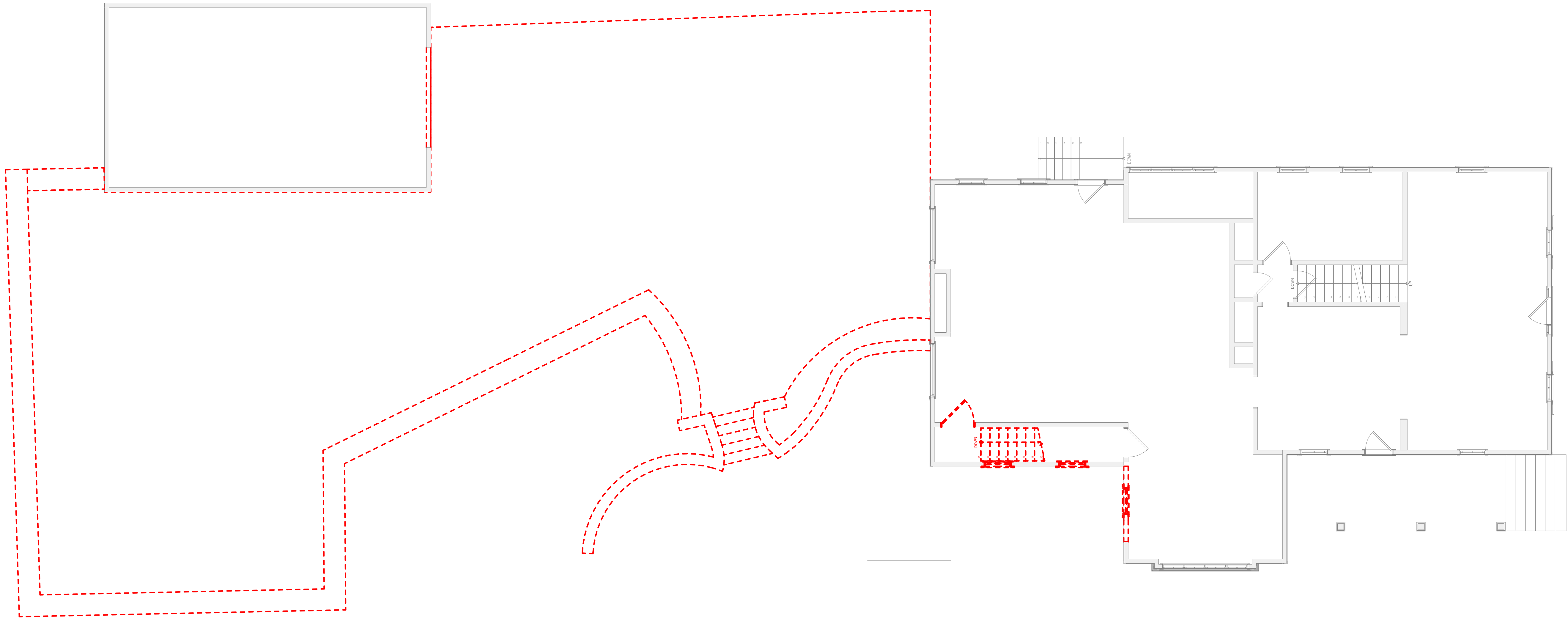
1. INSTALL SILT FENCE PERIMETER CONTROL.
2. PROCEED WITH NECESSARY DEMOLITION.
3. STRIP TOPSOIL, STOCKPILE TOPSOIL, THEN TEMPORARY SEED OR ENCLOSE PERIMETER WITH SILT FENCE.
4. EXCAVATE FOR ADDITION AND GRADE THE SITE.
5. INSPECT AND MAINTAIN PERIMETER CONTROLS AND KEEP ROADWAY FREE FROM MUD AFTER EACH CONSTRUCTION DAY.
6. UPON COMPLETION OF HEAVY CONSTRUCTION ACTIVITY, RE-SPREAD STOCKPILED TOPSOIL, THEN SEED AND MULCH DISTURBED AREAS.
7. MAINTAIN SEEDING AND MULCHING UNTIL PERMANENT, STABLE GROUND COVER HAS BEEN ESTABLISHED.

MAY, 2026

PREPARED BY:
JOSEPH A. MOSYJOWSKI, P.E.
2600 SWARTZ ROAD
HARTVILLE, OH 44632
330-760-9597
jmosyjowski@cs.com

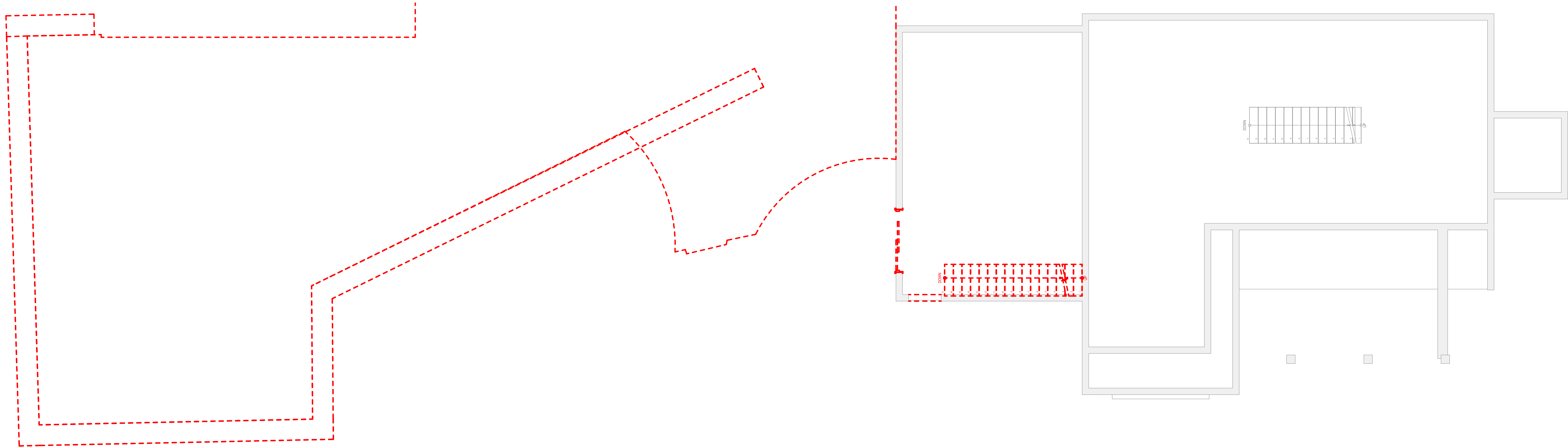


ISSUE	ID	DATE
AHBR	A	05/04/2026



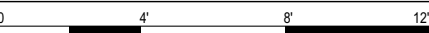
1 FIRST FLOOR DEMOLITION PLAN

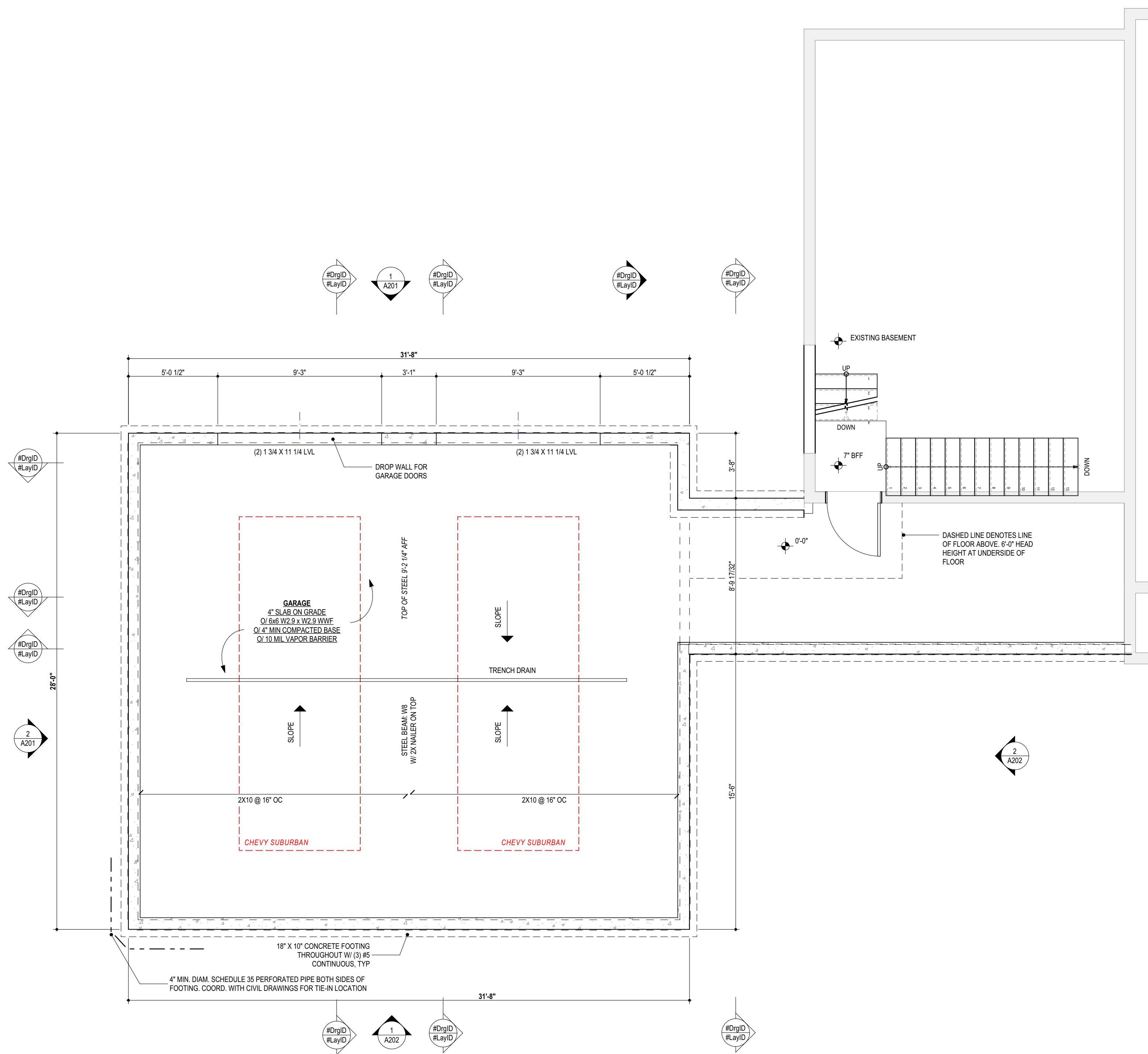
SCALE: 3/16" = 1'-0"



2 FOUNDATION DEMOLITION PLAN

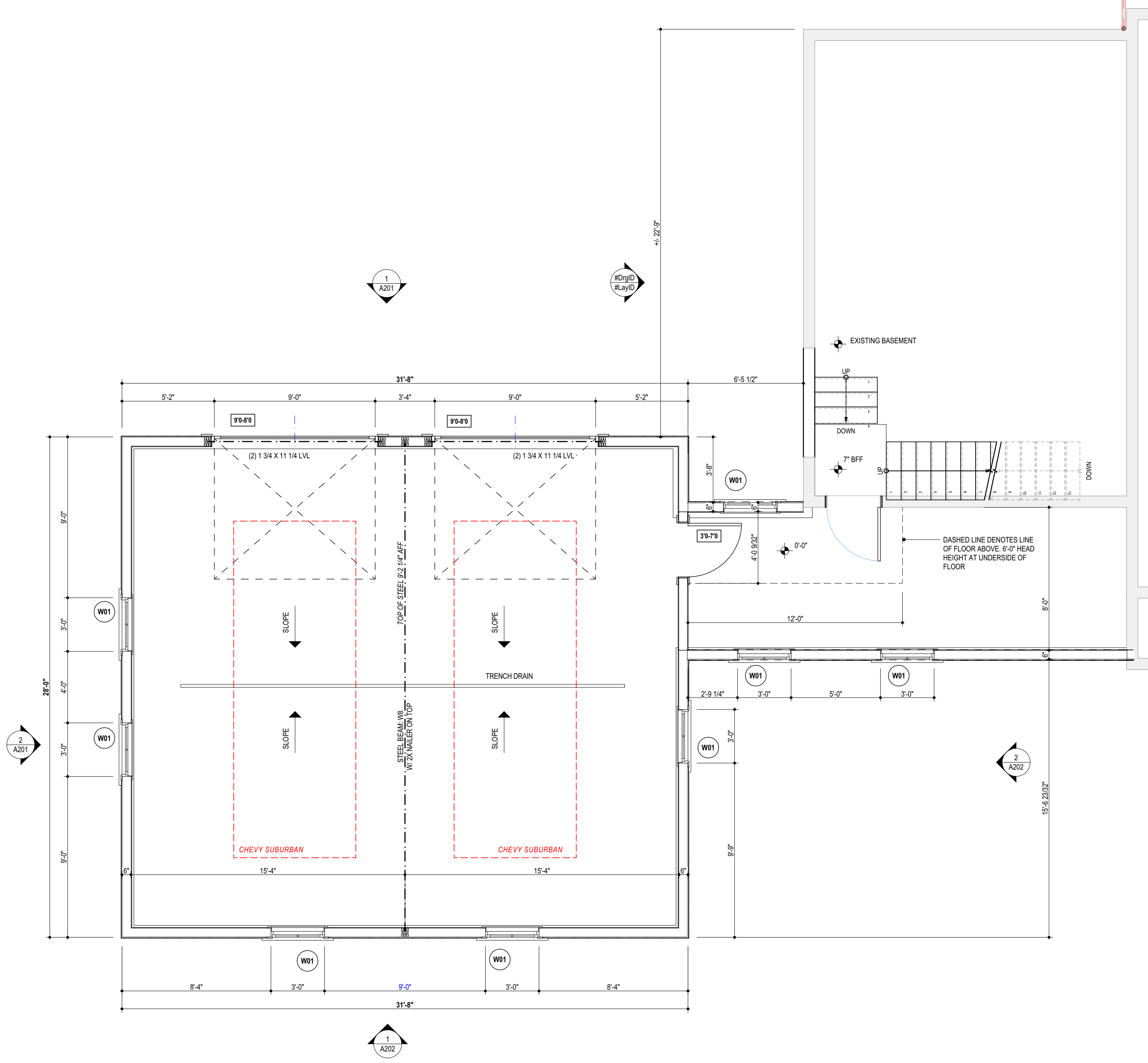
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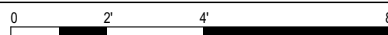
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



BASEMENT PLAN

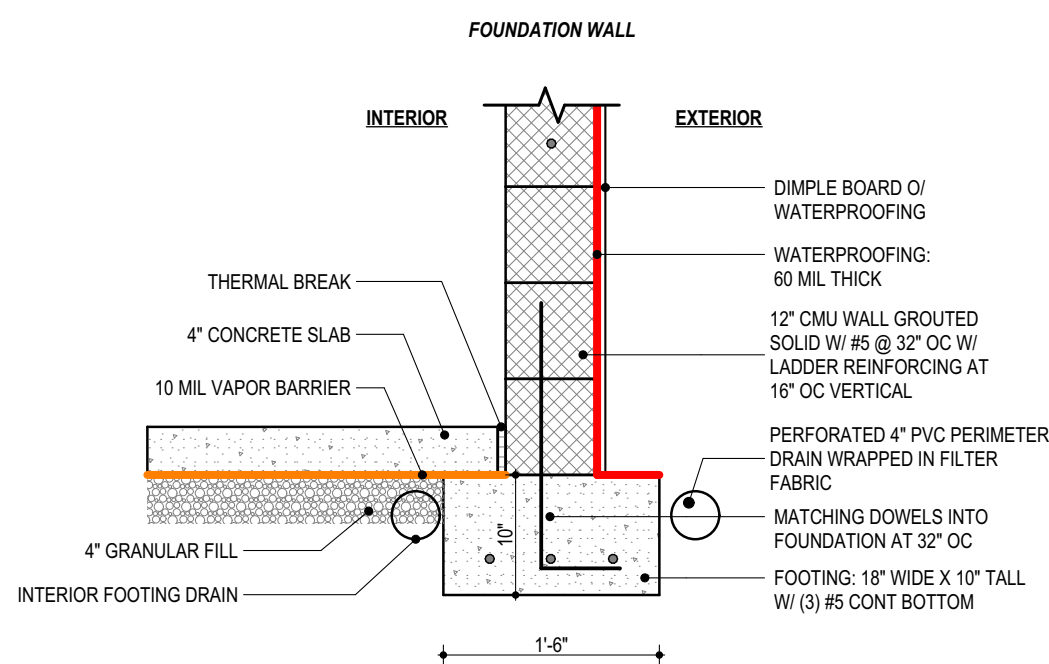
SCALE: 1/4" = 1'-0"



CONCRETE SLAB NOTES

- INTERIOR CONCRETE SLAB CONSTRUCTION**
- + 4" 4000 PSI CONCRETE
 - + GRANULATED BLAST FURNACE SLAG CEMENT
 - + FLYASH
 - + HIGH RANGE WATER REDUCING ADMIXTURE
 - + 6X6 W2.9 X W2.9 (MATS ONLY)
 - + STEGO INDUSTRIES "STEGO WRAP", ASTM E-1745 CLASS A W PERMEANCE OF 0.01 OR EQUAL
 - + 6" COMPACTED ODOT 304
 - + COMPACTED AND PROOF ROLLED SUBGRADE
 - + REFERENCE FINISHED FLOOR ELEV = 0'-0"
 - + CUT CONTROL JOINTS IN SQUARE PATTERN NO MORE THAN 12'-0" ON CENTER WITHIN 8 HOURS AFTER PLACING CONCRETE
 - + CURE CONCRETE WITH DISSIPATING CURING AGENT THAT DOES NOT ADVERSELY AFFECT
- FLOOR FINISH ADHESIVES**
- + SLOPE CONCRETE WITH SELECT AREAS TO DRAIN AT SLOPE.

FOUNDATION PLAN SECTION



FLOOR PLAN GENERAL NOTES

- VERIFY DIMENSIONS AND CONDITIONS IN FIELD. WHEN DIMENSIONS AND/OR CONDITIONS AS INDICATED ON DRAWINGS CONFLICT WITH ACTUAL, CONTACT ARCHITECT FOR CLARIFICATION.
- PROVIDE SOUND DEADENING INSULATION AROUND BEDROOMS, BATHROOMS, MECHANICAL ROOMS, AND PLUMBING STACKS.
- BLOCK WEBS SOLID AT BEARING WALL LOCATIONS ABOVE.
- CONTRACTOR TO EXTEND ALL POSTS DOWN TO SOUND FOUNDATION. INSTALL FULL DEPTH SOLID BLOCKING AT ALL POINT LOAD LOCATIONS.
- ALL FOOTINGS TO EXTEND DOWN TO FROST LEVEL MINIMUM.
- COORDINATE EXACT LOCATIONS OF FLOOR DRAINS WITH MECHANICAL CONTRACTOR.
- PROVIDE 5/8" GYP. BOARD TYPE "X" ON GARAGE CEILINGS.
- ALL INTERIOR DOORS TO BE 1 7/8" SOLID CORE WOOD DOORS. COORDINATE WITH FINISH PLANS FOR FINAL FINISH SELECTIONS.
- ALL INTERIOR TRIM TO BE POPLAR OR APPROVED EQUAL. COORDINATE WITH INTERIOR ELEVATIONS AND MILLWORK DRAWINGS FOR SELECT TYPES AND PROFILES.
- ALL MILLWORK TO BE PER DRAWINGS.
- REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.
- FLOOR TRUSS CRITERIA**
- TCL= 30 PSF
 - TDCL= 10 PSF
 - BCDL= 10 PSF
 - NET UPLIFT= 15 PSF
 - 19/32" APA RATED EXPOSURE 1 OSB
- ROOF TRUSS CRITERIA**
- TCL= 25 PSF
 - TDCL= 10 PSF
 - BCDL= 10 PSF
 - NET UPLIFT= 10 PSF
 - ATTIC LL= 40 PSF
 - ΔTTL < L/240

WINDOW SCHEDULE			
ID	QTY	W x H	
W01	16	3'-0" x 3'-0"	
W02	6	2'-6" x 5'-0"	

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

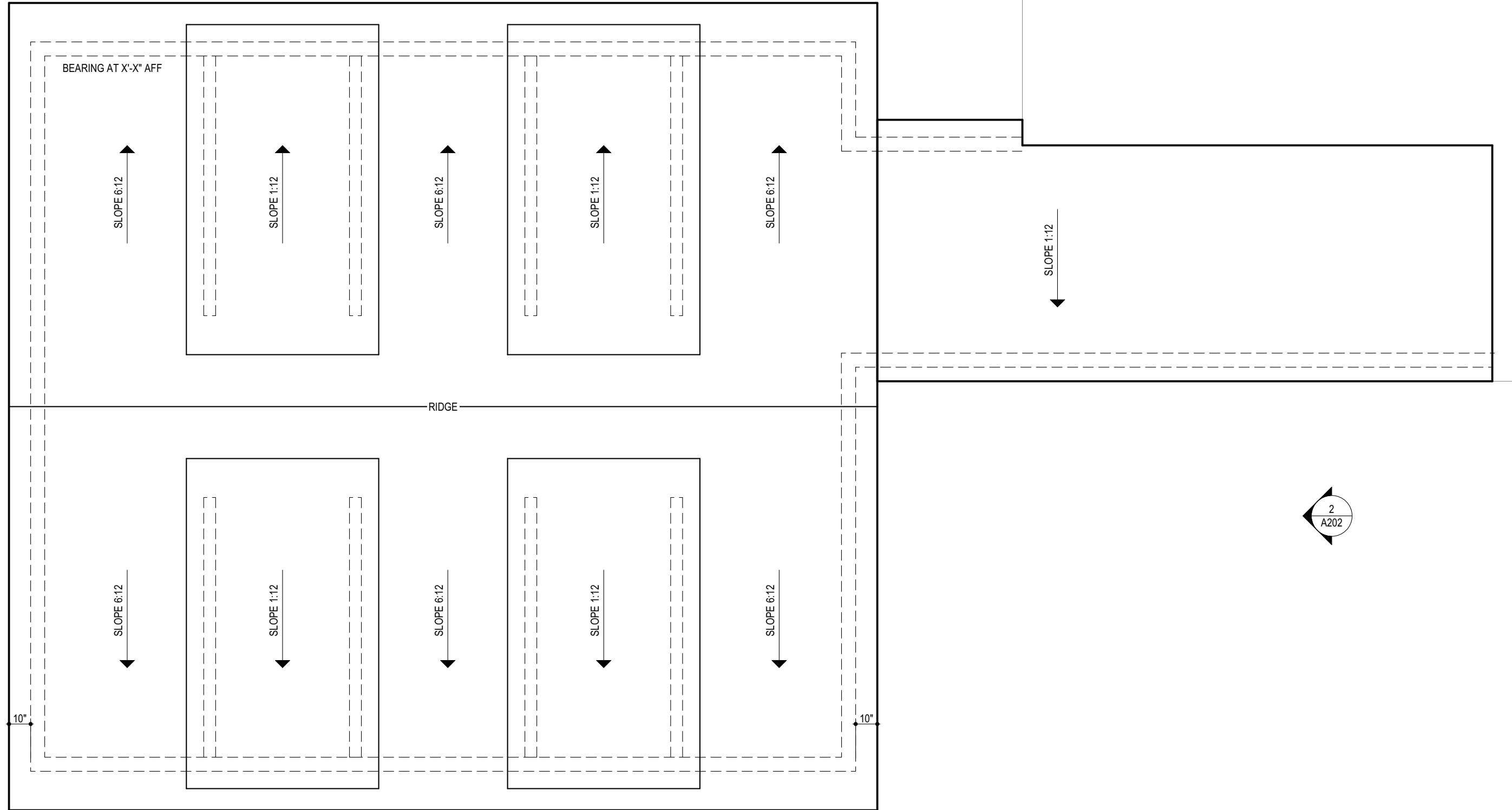
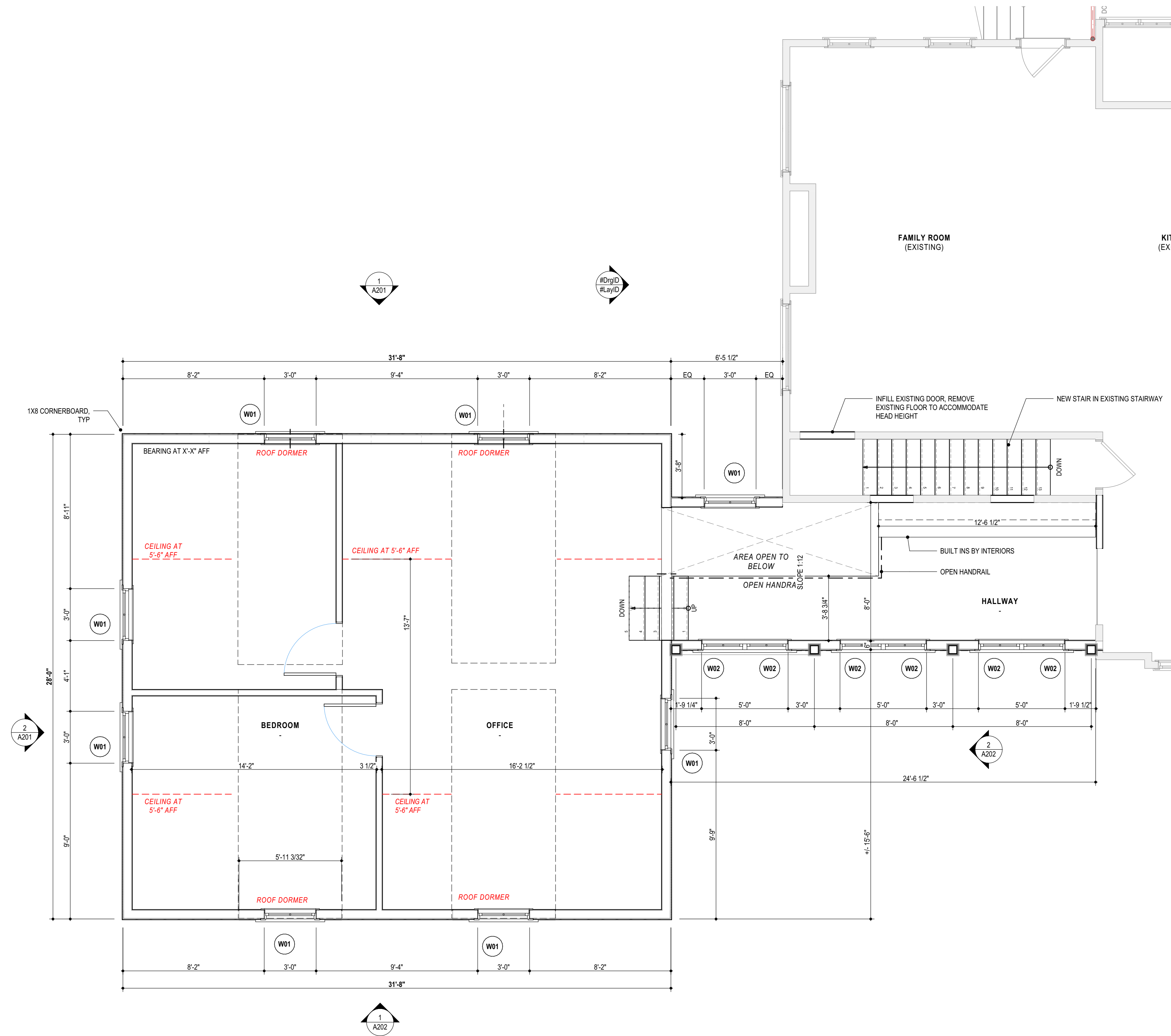
PROGRESS

NOT FOR CONSTRUCTION

5/3/2026

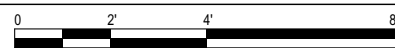
FOUNDATION & BASEMENT PLAN

ISSUE	ID	DATE
AHBR	A	05/04/2026



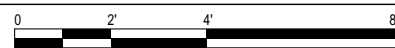
1 FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



7 ROOF PLAN

SCALE: 1/4" = 1'-0"



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REFER TO CONSULTANT DRAWINGS IF APPLICABLE FOR COORDINATION OF WORK BETWEEN TRADES.

FLOOR TRUSS CRITERIA

TCL= 30 PSF
TCDL= 10 PSF
BDCL= 10 PSF
NET UPLIFT= 15 PSF
19/32" APA RATED EXPOSURE 1 OSB

ROOF TRUSS CRITERIA

TCLL= 25 PSF
TCCL= 10 PSF
BDCL= 10 PSF
NET UPLIFT= 10 PSF
ATTIC LL= 40 PSF
ATTIL < L/240

WOOD HEADERS (U.N.O.)

OPENING	HEADERS	NON BEARING
UP TO 4'-0"	(2) 2 X 8	1 JACK, 1 KING
4'-0" - 6'-0"	(2) 2 X 10	1 JACK, 1 KING
6'-1" - 8'-0"	(2) 2 X 12	1 JACK, 1 KING
8'-1" - 10'-0"	(2) 11 1/4 LVL	2 JACK, 1 KING

INDICATES WEB STIFFENING BELOW BEARING WALL ABOVE

INDICATES AREA OF ADDITIONAL FRAMING REQUIRED

INDICATES POINT LOAD FROM ABOVE

INDICATES LOCATION OF BEARING WALL ABOVE

INDICATES BEARING WALL

ID	QTY	W x H
W01	16	3'-0"x3'-0"
W02	6	2'-6"x5'-0"

ROOF PLAN GENERAL NOTES

OVERHANG DIMENSIONS ARE NOTED FROM THE EXTERIOR FACE OF SHEATHING TO THE EXTERIOR FACE OF THE 1X FASCIA BOARD.

ALL BEARING ELEVATIONS NOTED ARE FROM THE INSIDE FACE OF THE 2X FRAMING U.N.O.

OVERFRAMING AND CRICKETS TO BE CONSTRUCTED OF A MINIMUM 2 X 8 FRAMING.

ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION TO INSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

FLASH AND TERMINATE ALL PROOF PENETRATIONS PER MANUFACTURERS RECOMMENDATIONS U.N.O.

GUTTER PROFILES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING.

INDICATES DOWNSPOUT AND GUTTER LOCATION

D8 ○

GUTTER □□□

MATERIAL SCHEDULE

ASPHALT SHINGLE ROOF (R-1)

30 YEAR ARCHITECTURAL SHINGLE

O/ MANUFACTURER'S RECOMMENDED UNDERLAYMENT

O/ 17/32" APA RATED EXTERIOR GRADE SHEATHING. ICE GUARD SHOULD BE

INSTALLED AT ALL EAVES AND VALLEYS, UP 72", AND WRAPPED OVER THE

FACE OF ALL FASCIAS.

BASIS OF DESIGN: REFER TO EXTERIOR ELEVATION MATERIAL LEGEND

PROGRESS

NOT FOR
CONSTRUCTION

5/3/2026

FIRST FLOOR & ROOF PLAN

EXTERIOR ELEVATION GENERAL NOTES

ALL TRIM AT WINDOWS AND DOORS TO AZEK, PAINTED.
ALL EXPOSED WOOD ELEMENTS AND TONGUE AND GROOVE CEILINGS IS TO BE PINE, STAINED AND SEALED. COORDINATE FINAL COLOR WITH OWNER.
ALL ROOF PENETRATIONS TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLTION TO ENSURE AESTHETIC EXPECTATIONS ARE MAINTAINED.

MATERIAL SCHEDULE

SIDING 01
HORIZONTAL FIBER CEMENT LAP SIDING (JAMES HARDIE), PAINT BY OWNER
EXPOSURE: 6" ASSUMED, MATCH EXISTING RESIDENCE

SIDING 02
NOT USED

SIDING 03
BORAL PANELS & TRIM

ROOF 01
CERTAINTED LANDMARK PRO
COLOR BY OWNER

ROOF 02
RUBBER ROOF MEMBRANE

WINDOWS
ALUMINUM CLAD WOOD WINDOW
SIERRA PACIFIC H3
COLOR: WHITE

TRIM
AZEK OR BORAL TRIM, PAINTED

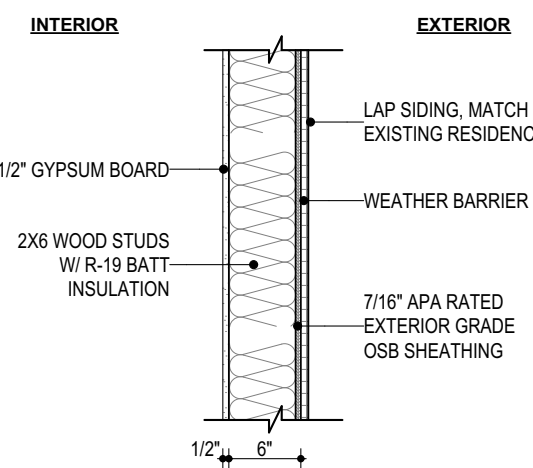
GUTTERS & DOWNSPOUTS
ALUMINUM 6" X STYLE GUTTER & DOWNSPOUT
COLOR: WHITE

GARAGE DOOR
CLOPAY COACHMAN
COMPOSITE OVERLAY
COLOR: WHITE

EXTERIOR DOOR
THERMA-TRU DOOR

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



WINDOW SCHEDULE		
ID	QTY	W x H
W01	16	3'-0" x 3'-0"
W02	6	2'-6" x 5'-0"

FORSYTH RESIDENCE
258 NORTH MAIN STREET, Hudson, Ohio 44236

PROJECT #: 2525

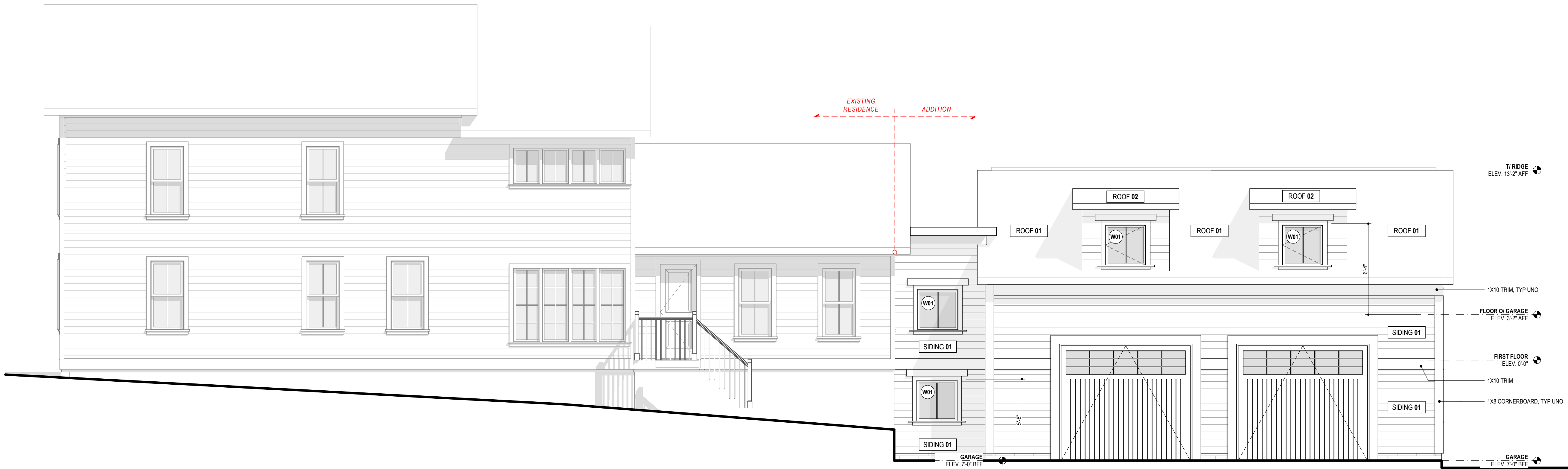
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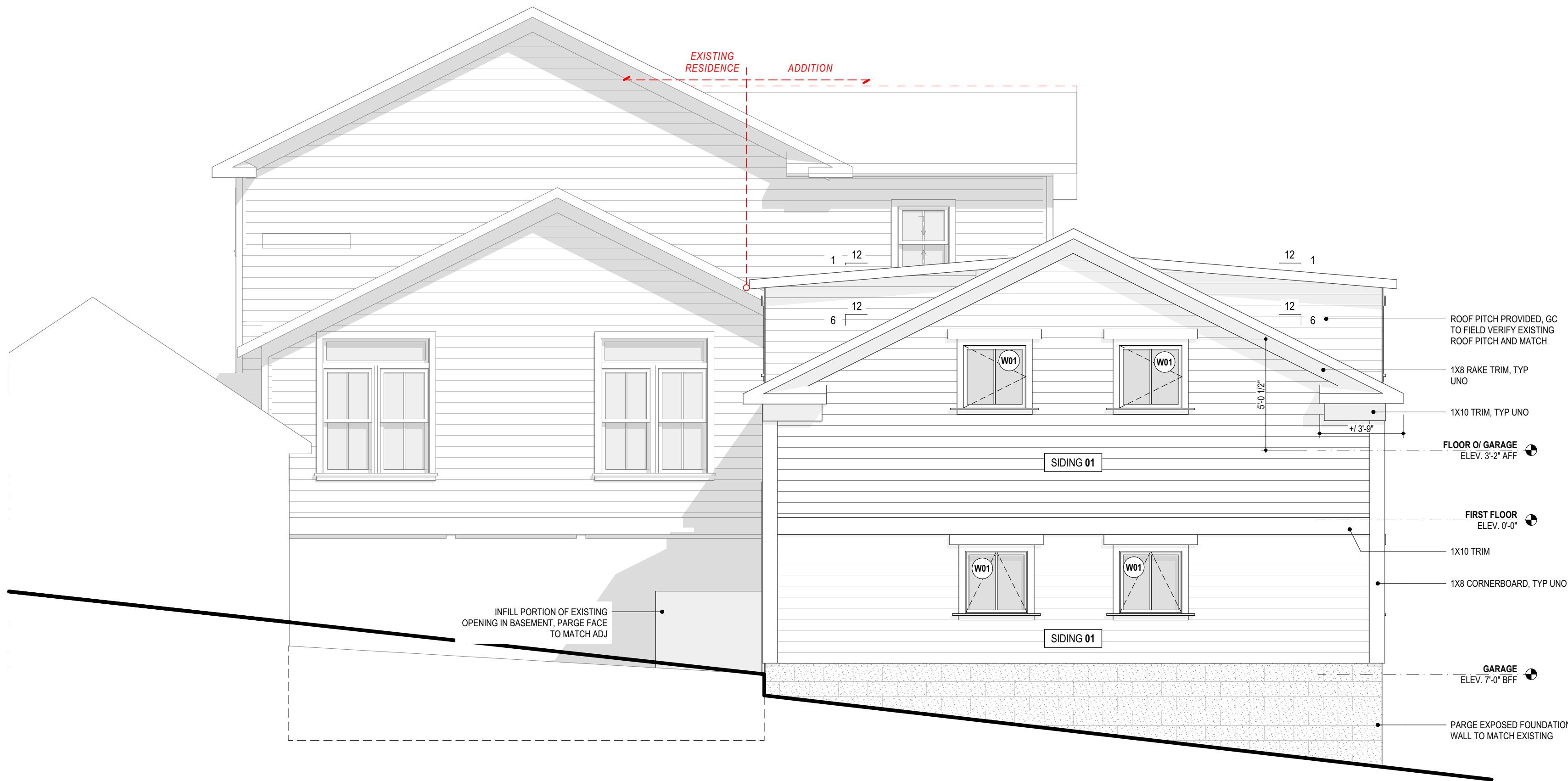
5/3/2026

EXTERIOR ELEVATIONS,
SECTIONS, & DETAILS



1 NORTH ELEVATION - FRONT OF GARAGE

SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - SIDE OF GARAGE

SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION GENERAL NOTES

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CERTAINTED LANDMARK PRO
COLOR BY OWNER

ROOF 02
RUBBER ROOF MEMBRANE

WINDOWS
ALUMINUM CLAD WOOD WINDOW
SIERRA PACIFIC H3
COLOR: WHITE

TRIM
AZEK OR BORAL TRIM, PAINTED

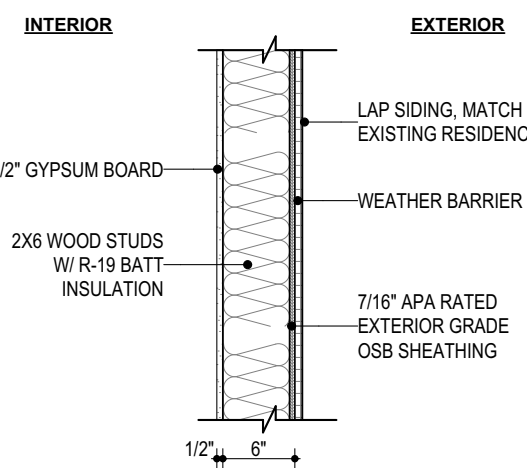
GUTTERS & DOWNSPOUTS
ALUMINUM 6" X STYLE GUTTER & DOWNSPOUT
COLOR: WHITE

GARAGE DOOR
CLOPAY COACHMAN
COMPOSITE OVERLAY
COLOR: WHITE

EXTERIOR DOOR
THERMA-TRU DOOR

EXTERIOR WALL TYPES

NOTE: WALL INFORMATION IS DEMONSTRATED IN PLAN VIEW



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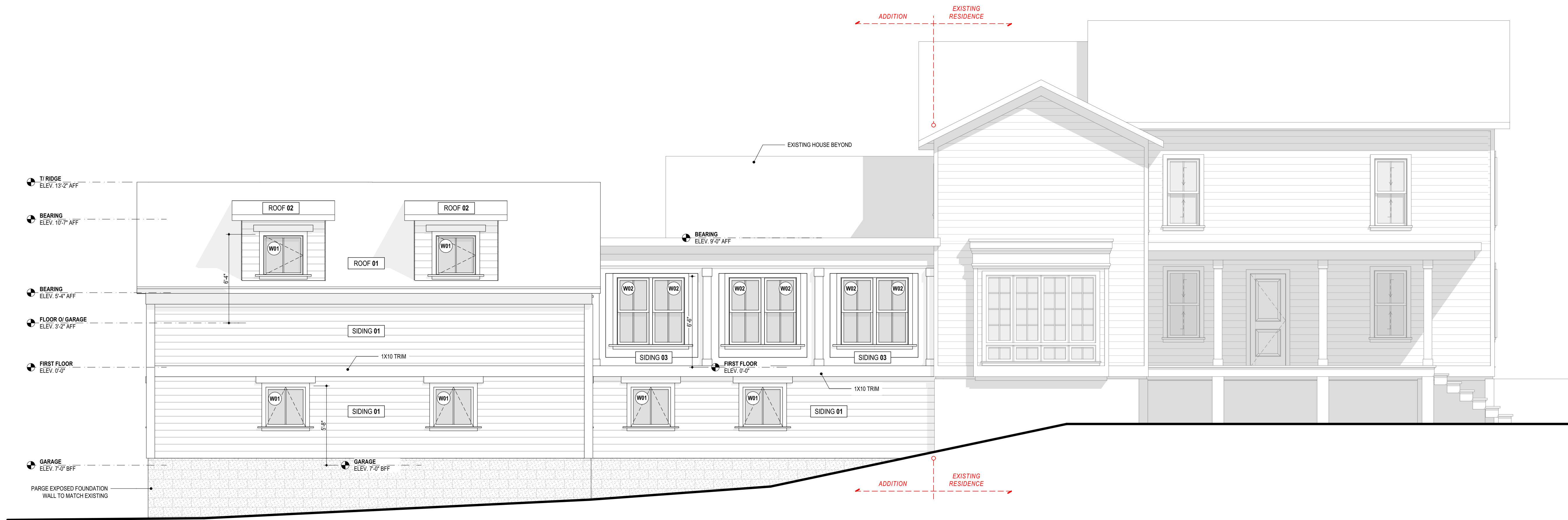
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EXTERIOR ELEVATIONS,
SECTIONS, & DETAILS

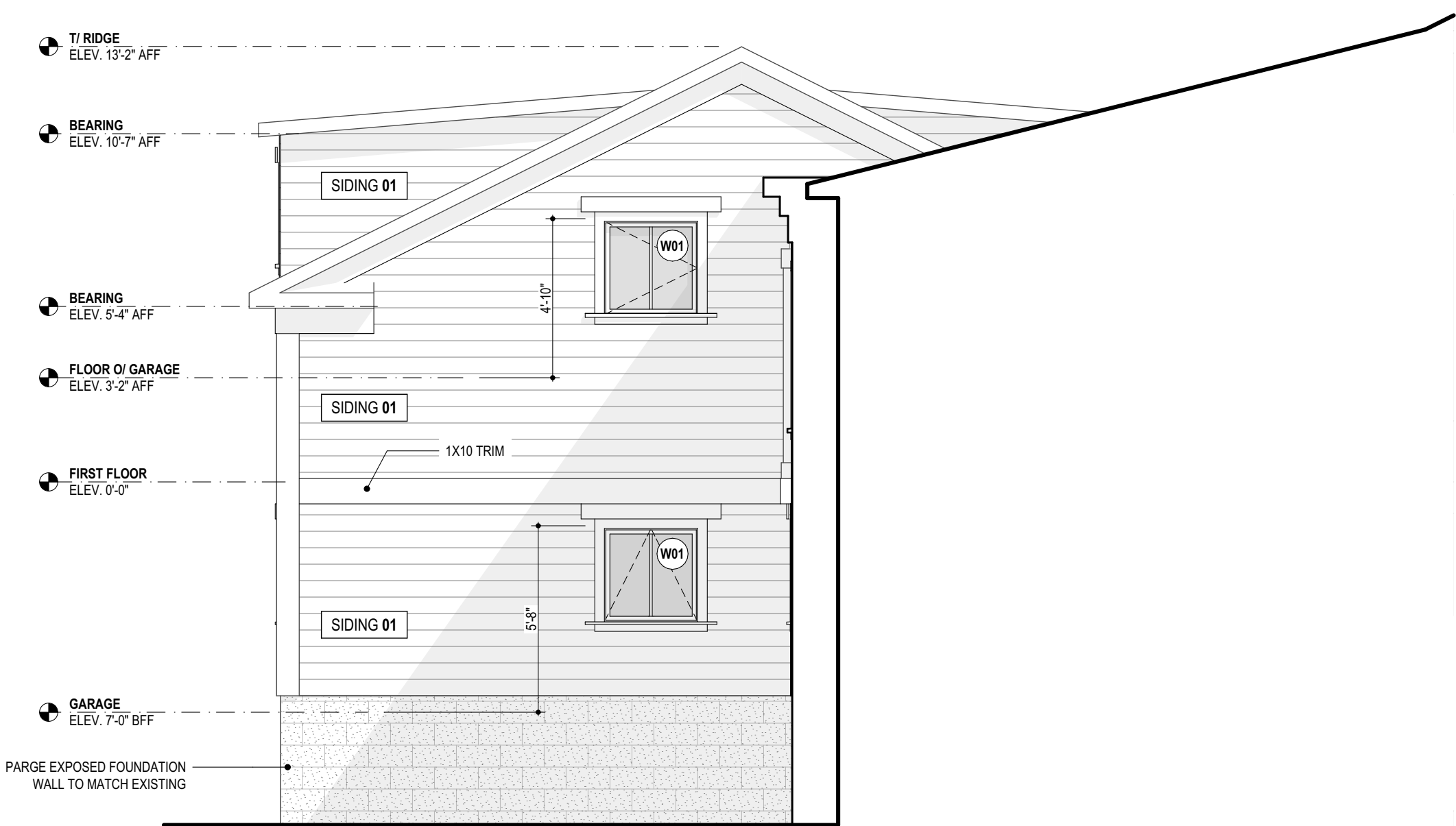
A202



1

SOUTH ELEVATION - REAR OF GARAGE

SCALE: 1/4" = 1'-0"



2

EAST ELEVATION - SIDE OF GARAGE

SCALE: 1/4" = 1'-0"