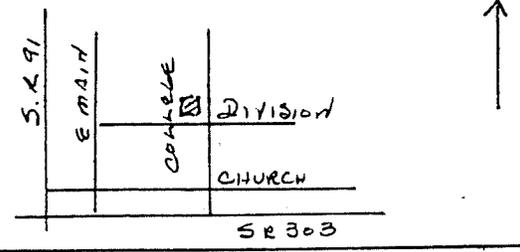


OHIO HISTORIC INVENTORY

1. No.
2. County
Summit
4. Present Name(s)
BREWSTER-FARRAR HOUSE
5. Other Name(s)
Residence, A. Tercek

No.	4. Present Name(s)
County	BREWSTER-FARRAR HOUSE
Location of Negatives	5. Other Name(s)
Summit	Residence, A. Tercek
Summit	

Specific Location	16. Thematic Category	28. No. of Stories
56/4/8	C	2
48 College Street, at Division	17. Date(s) or Period	29. Basement?
	1843	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
City or Town	18. Style or Design	30. Foundation Material
If Rural, Township & Vicinity	late Federal	brick faced
Hudson	19. Architect or Engineer	31. Wall Construction
		brick
Site Plan with North Arrow	20. Contractor or Builder	32. Roof Type & Material
	21. Original Use, if apparent	gable-asph shingle
	residence	33. No. of Bays
	22. Present Use	Front 3 Side 3
	residence	34. Wall Treatment
	23. Ownership	brick
	Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	35. Plan Shape
	24. Owner's Name & Address, if known	rect/wing
	A. Tercek	36. Changes (Explain in #42)
	48 College Street	Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>
	Hudson 44236	37. Condition
Coordinates	25. Open to Public?	Interior _____ Exterior fair _____
Lat. _____ Long. _____	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	38. Preservation Underway?
U.T.M. Reference	26. Local Contact Person or Organization	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
7 46 33 6 8 4 5 6 5 4 8 8	Hudson Heritage Association	39. Endangered? By What?
7 Easting Northing	27. Other Surveys in Which Included	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Site <input type="checkbox"/> Structure <input type="checkbox"/> Building <input checked="" type="checkbox"/> Object <input type="checkbox"/>		40. Visible from Public Road?
12. Is It Eligible? Yes <input type="checkbox"/> No <input type="checkbox"/>		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
14. District Potent'l? Yes <input type="checkbox"/> No <input type="checkbox"/>		41. Distance from and Frontage on Road
		24' 132'
13. Name of Established District		
Hudson Historic District		

2. Further Description of Important Features	Originally faced Division, door moved to change address to College Street; front porch originally extended around south and, possibly, west wall, when house fronted on Division; north addition within ten years of original structure; originally 1½ stories, later changed to two; change in exterior brick topmost part of south wall; attempt made to remove paint from old, soft brick; existing fireplace 1920's. East porch with slender, turned supports, spindlework balustrade; single pane double-hung windows.
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3. History and Significance	Occupant 1929 J. H. Johns.
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4. Description of Environment and Outbuildings	Residential street.
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5. Sources of Information	Summit County Tax Assessment records. HHA Architectural Survey & Research Comm. files Personal inspection	46. Prepared by	L Newkirk, F Barlow
		47. Organization	HHA
		48. Date	
		49. Revision Date(s)	

ERBAUGH RENOVATION

ARCHITECT

PENINSULA ARCHITECTS
1775 MAIN STREET, PENINSULA, OHIO
P. 330.657.2800



ABBREVIATIONS		
ABV	ABOVE	HC HOLLOW CORE
AC	AIR CONDITIONING	HDWR HARDWARE
AF	ABOVE FINISHED FLOOR	HM HOLLOW METAL
ALT	ALTERNATE	HVAC HEATING, VENTILATION, AND AIR COND.
AJH	AUTHORITY HAVING JURISDICTION	HT HEIGHT
ALUM	ALUMINUM	INSUL INSULATION
APPRX	APPROXIMATELY	JST JOIST
ARCH	ARCHITECTURAL	LAM LAMINATED
ASPH	ASPHALT	LF LINEAR FOOT
BD	BOARD	MAS MASONRY
BLDG	BUILDING	MATL MATERIAL
BRG	BEARING	MAX MAXIMUM
BOTT	BOTTOM	MECH MECHANICAL
BTW	BETWEEN	MFG MFG.
CF	CUBIC FEET	MRH MINIMUM
CIP	CAST IN PLACE	MISC MISCELLANEOUS
CJ	CONTROL JOINT	MC MASONRY OPENING
CLG	CEILING	MTD MOUNTED
CLR	CLEAR	MTL METAL
CMU	CONCRETE MASONRY UNIT	NOM NOMINAL
CONC	CONCRETE	NTS NOT TO SCALE
CO	CONTINUOUS	OV OVER
CONT	CONTINUOUS	O.C. ON CENTER
DBL	DOUBLE	OPN OPENING
DEPT	DEPARTMENT	PREFAB PREFABRICATED
DIA	DIAMETER	PLYWD PLYWOOD
DN	DOWN	P.LAM PLASTIC LAMINATE
DR	DOOR	PR POUNDS PER SQUARE INCH
DS	DOWNPOUT	REF REFERENCE
DTL	DETAIL	RM ROOM
DWG	DRAWING	RO ROUGH OPENING
EA	EACH	REQ REQUIRED
ELEC	ELECTRICAL	SC SOLID CORE
EQ	EQUAL	SECT SECTION
EXH	EXHAUST	SM SIMILAR
EXIST	EXISTING	STRUC STRUCTURAL
EXP	EXPOSED	TYP TYPICAL
EXT	EXTERIOR	UNO UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	WI WITH
FN	FOUNDATION	WWF WELDED WIRE FABRIC
FIN	FINISHED	
FLR	FLOOR	
FT	FOOT	
FTG	FOOTING	
FUR	FURRING	
GALV	GALVANIZED	
GA	GAUGE	
GC	GENERAL CONTRACTOR	
GYP	BD GYPSUM BOARD	
GYP	GYPSUM	

SYMBOLS	
	DETAIL
	EXTERIOR ELEVATION
	BUILDING SECTION
	INTERIOR ELEVATION
	WALL SECTION
	CENTERLINE AND GRID
	WALL TYPE
	DOOR TAG
	WINDOW TAG
	CODED NOTE
	SPOT ELEVATION

MATERIALS LEGEND			
	DIMENSIONAL LUMBER		GRAVEL
	PLYWOOD		CONCRETE
	FINISH WOOD		CONCRETE BLOCK
	GYPSUM BOARD		STEEL
	BRICK		RIGID INSULATION
	EARTH		SPRAY FOAM INSULATION
	STONE VENEER		MINERAL WOOL INSULATION
	BLOCKING		METAL DECK

PROJECT GENERAL NOTES

CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORKMANSHIP FOR ALL CONSTRUCTION REQUIRED HEREIN AND SHALL BE IN ACCORDANCE WITH THE:

BUILDING CODE
RESIDENTIAL CODE
MECHANICAL CODE
ENERGY CONSERVATION CODE
WILDLAND-URBAN INTERFACE
NFPA 70 - NATIONAL ELECTRICAL CODE
UNIFORM PLUMBING CODE

THE CONTRACTOR WILL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, PERMITS, TAXES, AND INSURANCE NECESSARY TO COMPLETE THE WORK INDICATED AND/OR IMPLIED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE AND WILL COORDINATE THE WORK RESPONSIBILITIES OF ALL SUBCONTRACTORS. ALL LABOR AND MATERIALS TO CARRY OUT FULLY THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THE CONTRACT, WHETHER OR NOT SPECIFICALLY DOCUMENTED.

ALL WORK WILL CONFORM TO THE CURRENT OHIO BUILDING, MECHANICAL & PLUMBING CODES, AS WELL AS THE CURRENT NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL OTHER APPLICABLE CITY CODES, LOCAL LAWS, AND AUTHORITIES HAVING JURISDICTION. CODE STANDARDS AND PUBLICATIONS OF PRIVATE AND PUBLIC BODIES MENTIONED WITHIN THE SPECIFICATIONS OR ON THE DRAWINGS, WILL BE CONSIDERED TO BE THOSE IN FORCE AT THE TIME OF THE CONTRACT AWARD.

THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONTROLLED INSPECTIONS AND ANY TECHNICAL TESTING REQUIRED FOR CONTROLLED INSPECTIONS AS STIPULATED BY ALL APPLICABLE CODES.

ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT WILL BE NEW AND FREE OF DEFECTS AND WILL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED, AND CONDITIONED AS DIRECTED BY THE RESPECTIVE MANUFACTURERS, UNLESS SPECIFIED OTHERWISE.

THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CONFLICTS, OR AMBIGUITIES IN AND BETWEEN THE DRAWINGS AND THE SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK. IF SUCH NOTICE IS NOT FURNISHED TO THE ARCHITECT, THE CONTRACTOR WILL BE DEEMED TO HAVE INSPECTED THE DRAWINGS AND SPECIFICATIONS AND TO HAVE FOUND THEM IN PROPER FORM FOR EXECUTION.

THE CONTRACTOR REPRESENTS THAT HE HAS HAD ADEQUATE ACCESS TO THE JOB SITE AND BUILDING AREA IN WHICH THE WORK IS TO BE PERFORMED, THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF WORK, INCLUDING ANY OBSTRUCTIONS, SCOPE OF WORK, ACTUAL LEVELS, THE EQUIPMENT AND FACILITIES NEEDED PRIOR TO AND DURING THE EXECUTION OF THE WORK AND ALL OTHER MATTERS WHICH CAN IN ANY WAY AFFECT THE WORK OR THE COST THEREOF UNDER THIS CONTRACT, AND THAT HE HAS STUDIED THE CONTRACT DOCUMENTS AND ALL OTHER DOCUMENTS PERTAINING TO THE INSTALLATION OF OTHER TRADES WHICH MAY INFLUENCE HIS WORK.

THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY, INCLUDING RESPONSIBILITY FOR ALL RELATED COSTS FOR ANY AND ALL WORK DONE WITHOUT THE APPROVAL OF THE ARCHITECT IF SUCH WORK IS IN CONFLICT WITH THE CONTRACT, DRAWINGS, OR SPECIFICATIONS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE SAFE WORKING CONDITIONS AT THE SITE. THE ARCHITECT AND OWNER WILL NOT BE DEEMED TO HAVE ANY RESPONSIBILITY OR LIABILITY IN CONNECTION HEREWITH.

CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, ELECTRICAL, OR OTHER SERVICES TO ANY PORTION OF THE BUILDING OUTSIDE THE LIMITS OF THE CONSTRUCTION SITE.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES CAUSED BY DEFECTIVE OR ILL-TIMED WORK AT NO ADDITIONAL COST TO THE OWNER.

NO SUBSTITUTIONS ARE PERMITTED EXCEPT WHERE THE TERM "APPROVED EQUAL" APPEARS. ALL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ARCHITECT. THE CONTRACTOR IS TO SUBMIT SAMPLES OR CATALOG CUTS OF ALL VISIBLE MATERIALS AND EQUIPMENT FOR THE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

CONTRACTOR TO MAINTAIN FULL SET OF PLANS AND INSTALLATION INSTRUCTIONS ON SITE.

PERFORM VISUAL INSPECTION OF ENVELOPE AND INSULATION TO MEET 2009 IECC, 402.4.2 "AIR SEALING AND INSULATION"

PROJECT INFORMATION	
TWO STORY SINGLE FAMILY RESIDENCE	
CITY: HUDSON OH COUNTY: SUMMIT	
SQUARE FOOTAGES: RENOVATION / ADDITION	
EXISTING FIRST FLOOR-EXIST	1,475 SF
EXISTING SECOND FLOOR-UNCHANGED	1,025 SF
FIRST FLOOR ADDITION	83 SF
GARAGE - UNCHANGED	
UNFINISHED LOWER LEVEL - UNCHANGED	
TOTAL FINISHED SQUARE FOOTAGE	2,583 SF

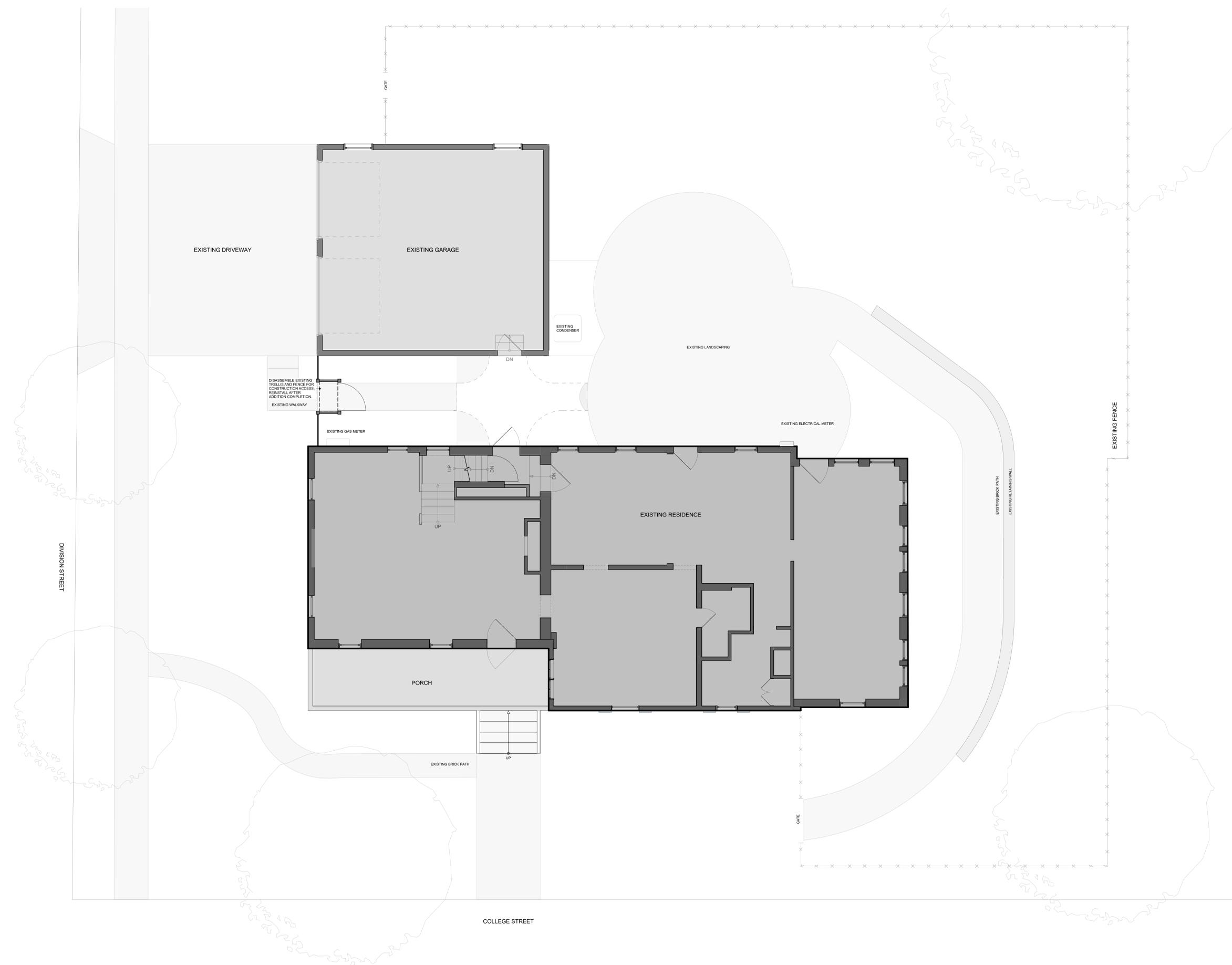
DRAWING INDEX	
* DENOTES SHEETS PRINTED IN COLOR	
*G1.00	COVER SHEET
C1.02	PROPOSED SITE PLAN
A0.01	EXISTING FLOOR PLANS
A0.02	EXISTING ELEVATIONS
A0.03	DEMOLITION PLAN
A1.01	PROPOSED PLANS
A2.01	EXTERIOR ELEVATIONS

ERBAUGH RENOVATION
48 COLLEGE ST., HUDSON, OH 44236

PROJECT # 2335	
ISSUE:	
SD MEETING	2023-10-13
SD MEETING	2023-10-31
SDM VERIFICATION	2023-12-12
OWNER REVIEW	2024-01-12
CITY SUBMITTAL	2024-08-27

COVER SHEET

***G1.00**

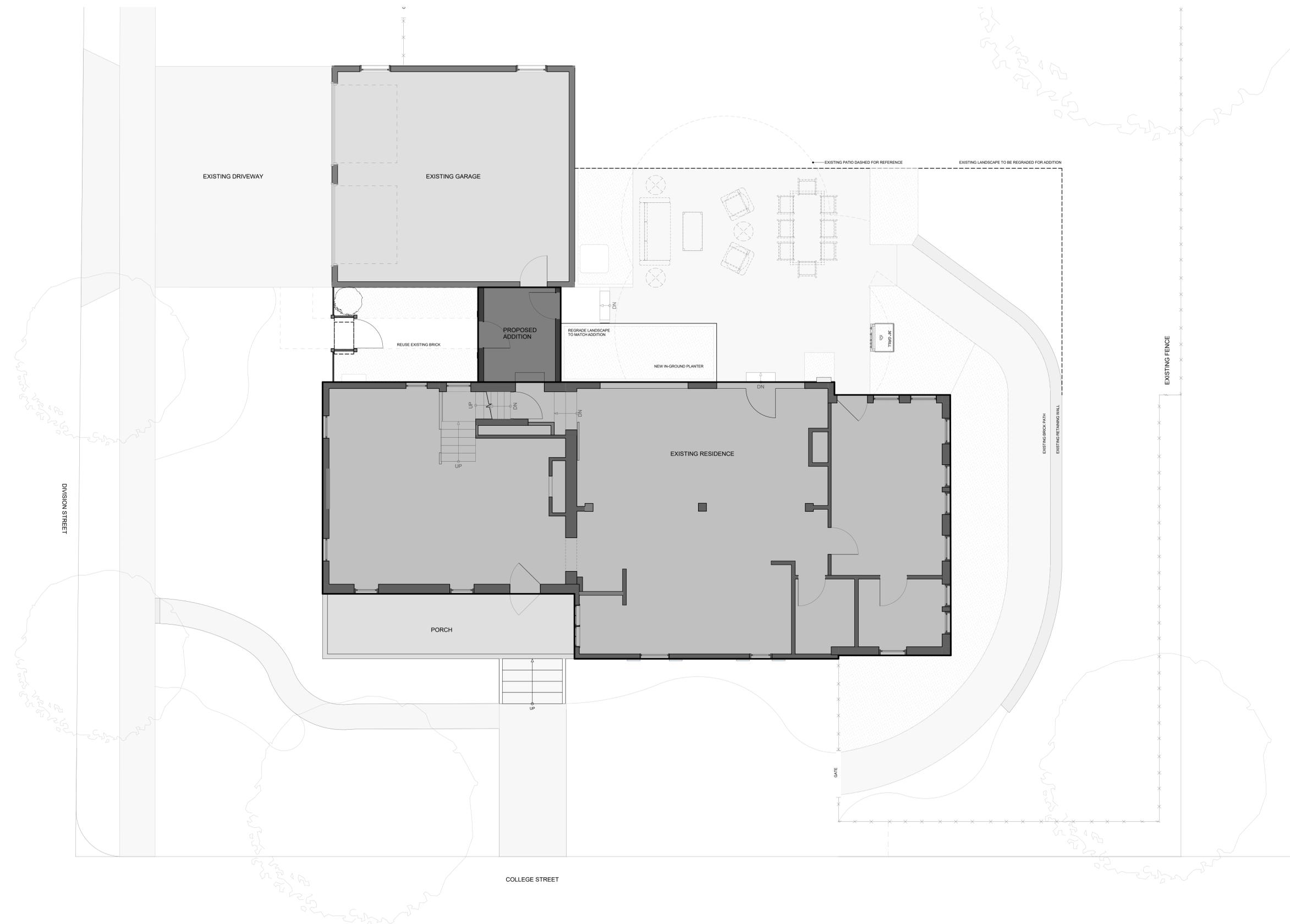


1 EXISTING SITE PLAN
 SCALE: 1/4" = 1'-0"

ERBAUGH RENOVATION
 48 COLLEGE ST, HUDSON, OH 44236

PROJECT #	2335
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OWNER REVIEW	2024-01-12
CITY SUBMITTAL	2024-08-27

EXISTING SITE PLAN

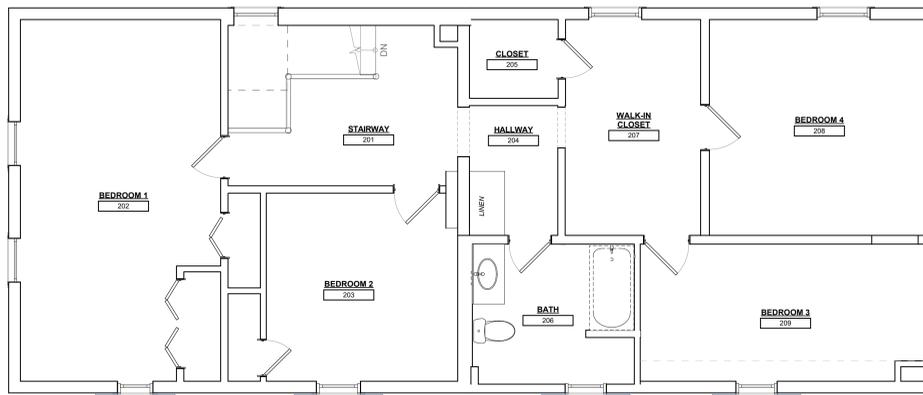


1 PROPOSED SITE PLAN
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0 2 4 6

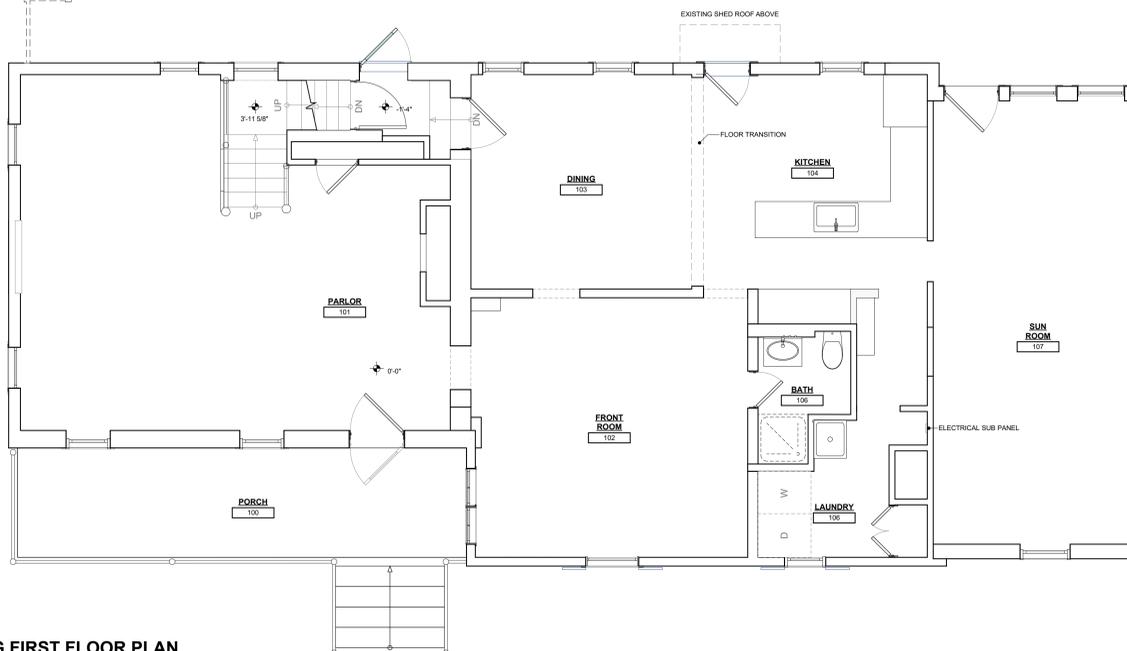
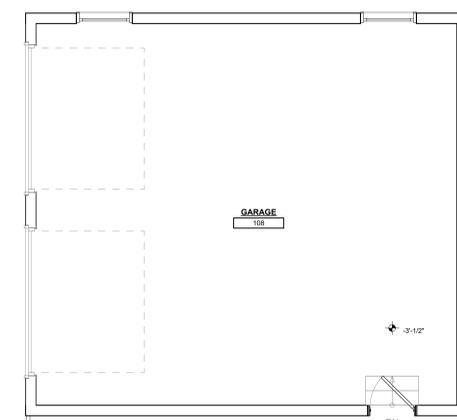
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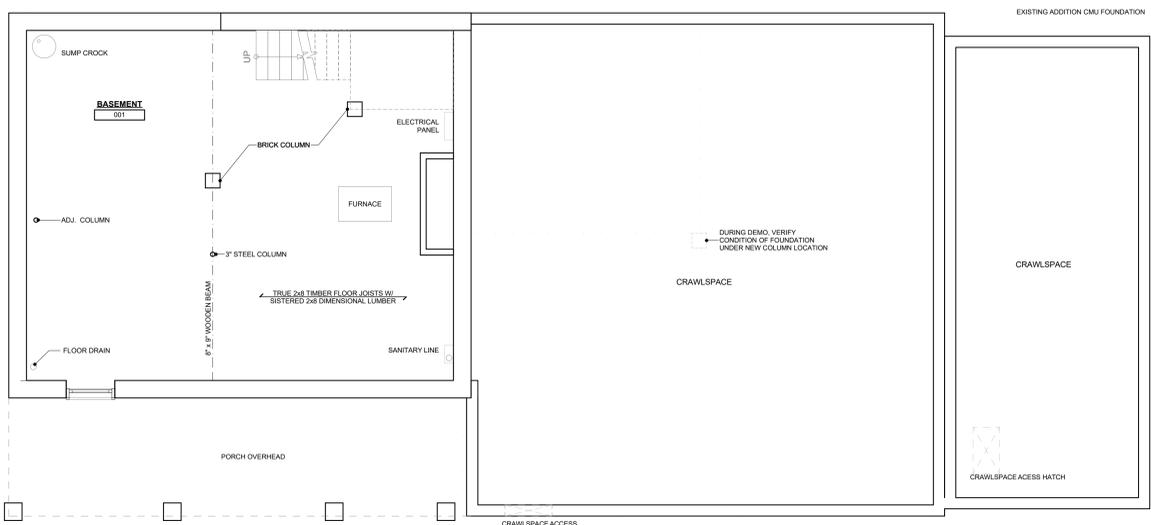
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SCALE: 1/4" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

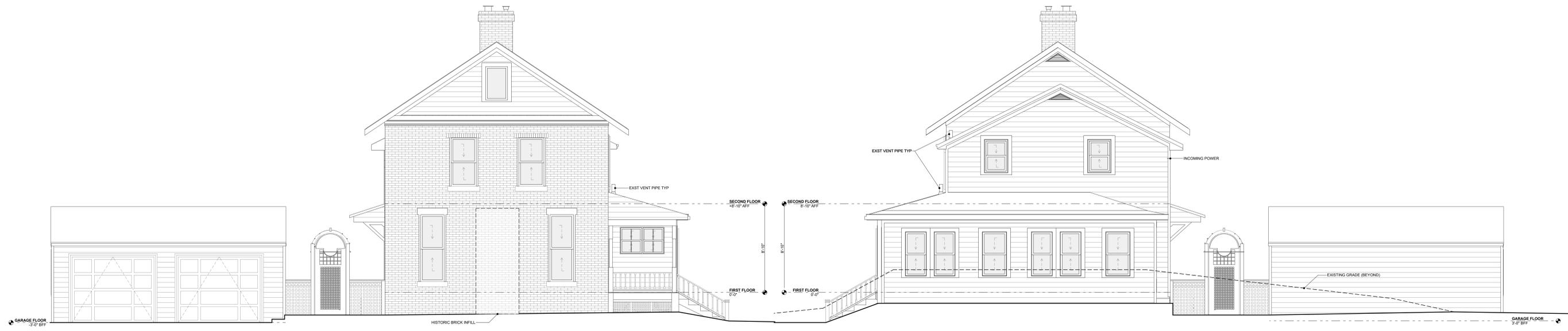


EXISTING GARAGE FOUNDATION



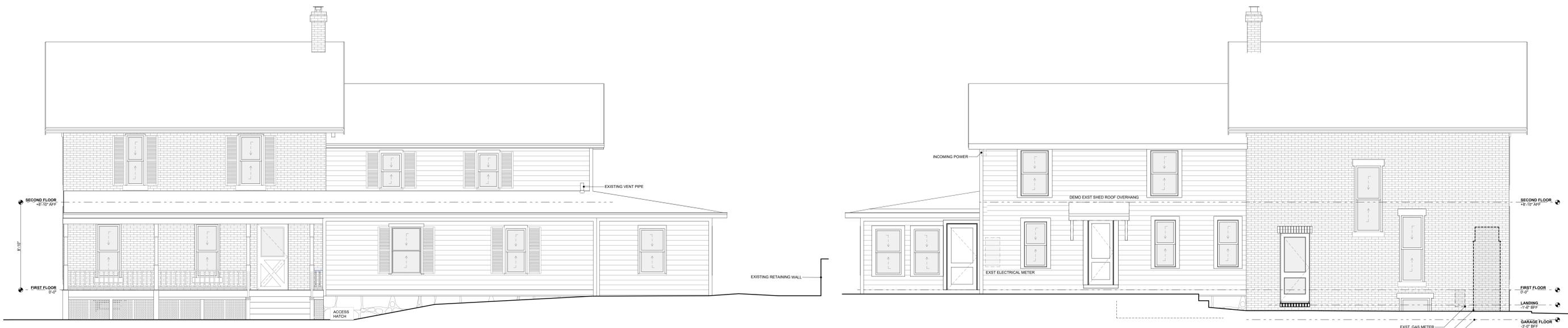
1 EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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1 EXISTING SIDE ELEVATION (GARAGE)
SCALE: 1/4" = 1'-0"

2 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"

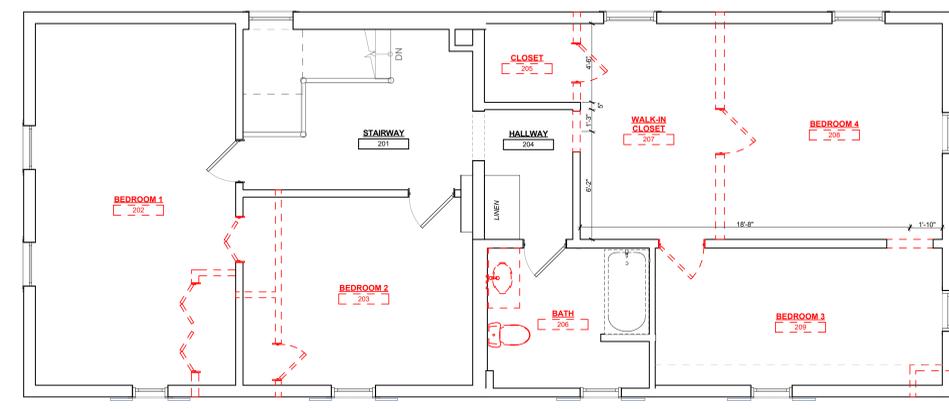
4 EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"

ERBAUGH RENOVATION
48 COLLEGE ST., HUDSON, OH 44236

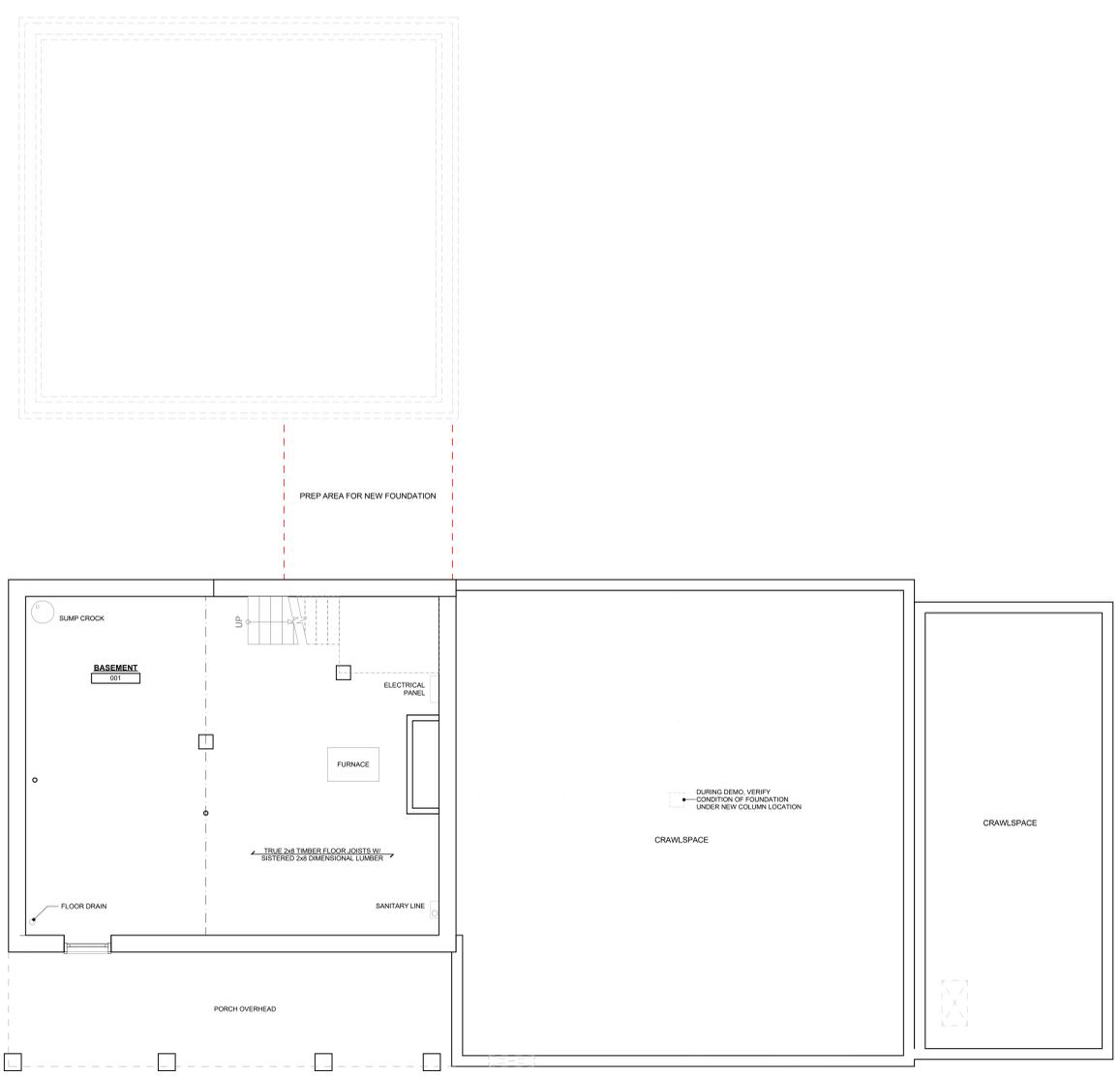
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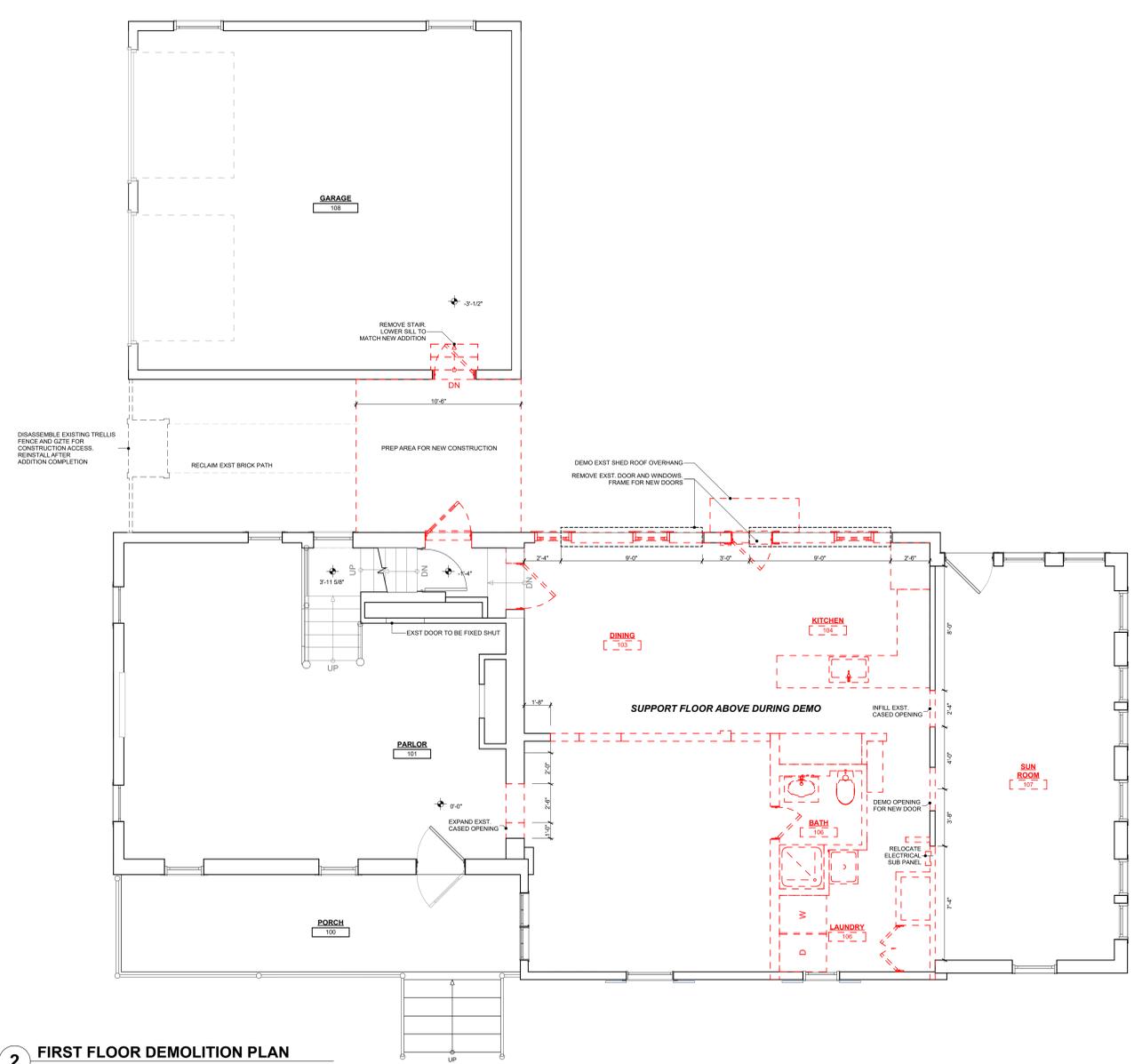
EXISTING ELEVATIONS



3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

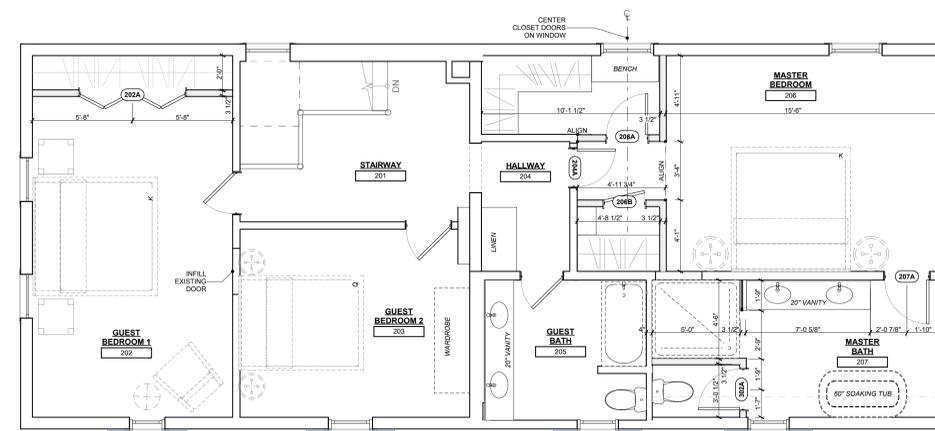


1 FOUNDATION DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

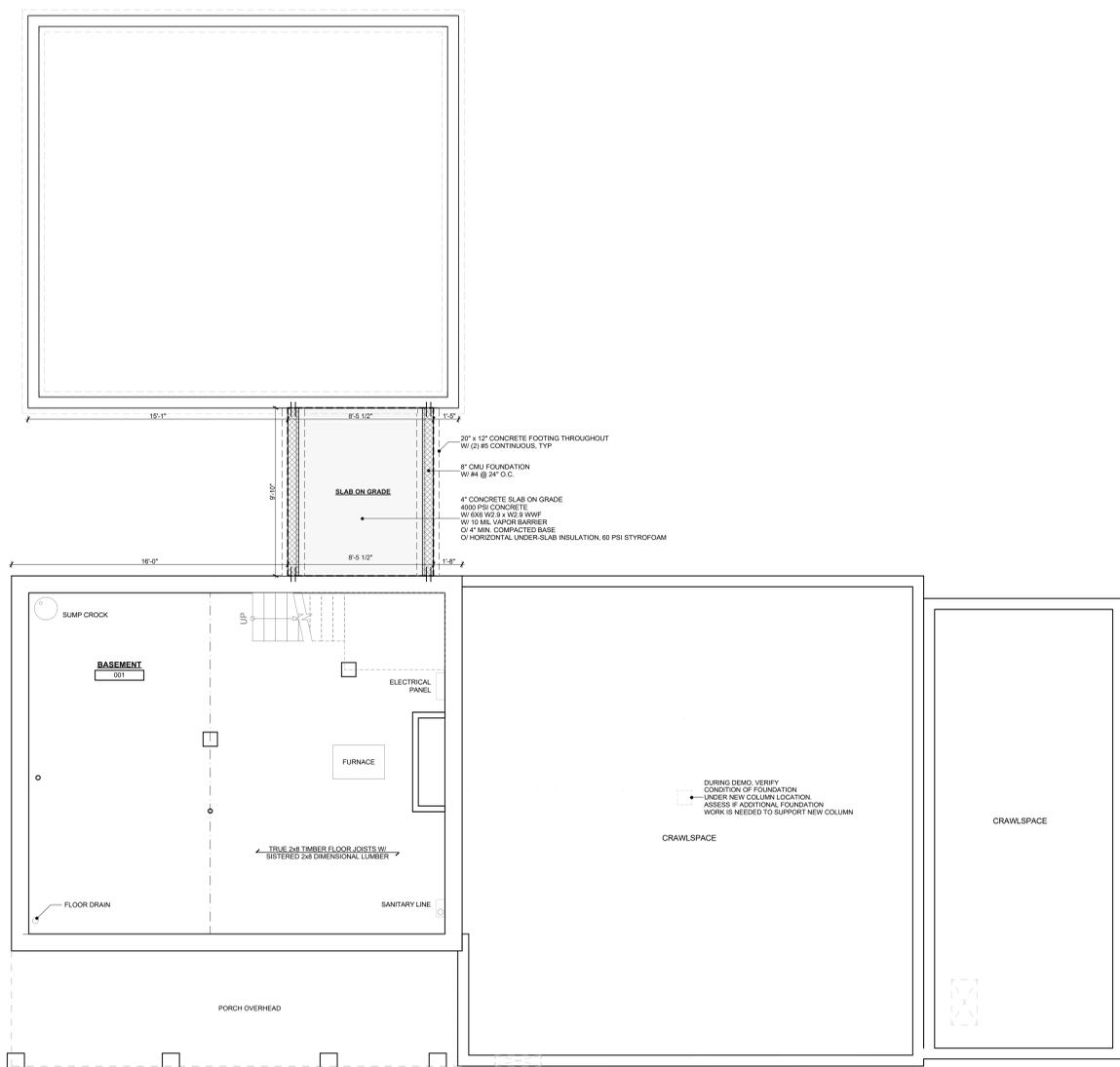


2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

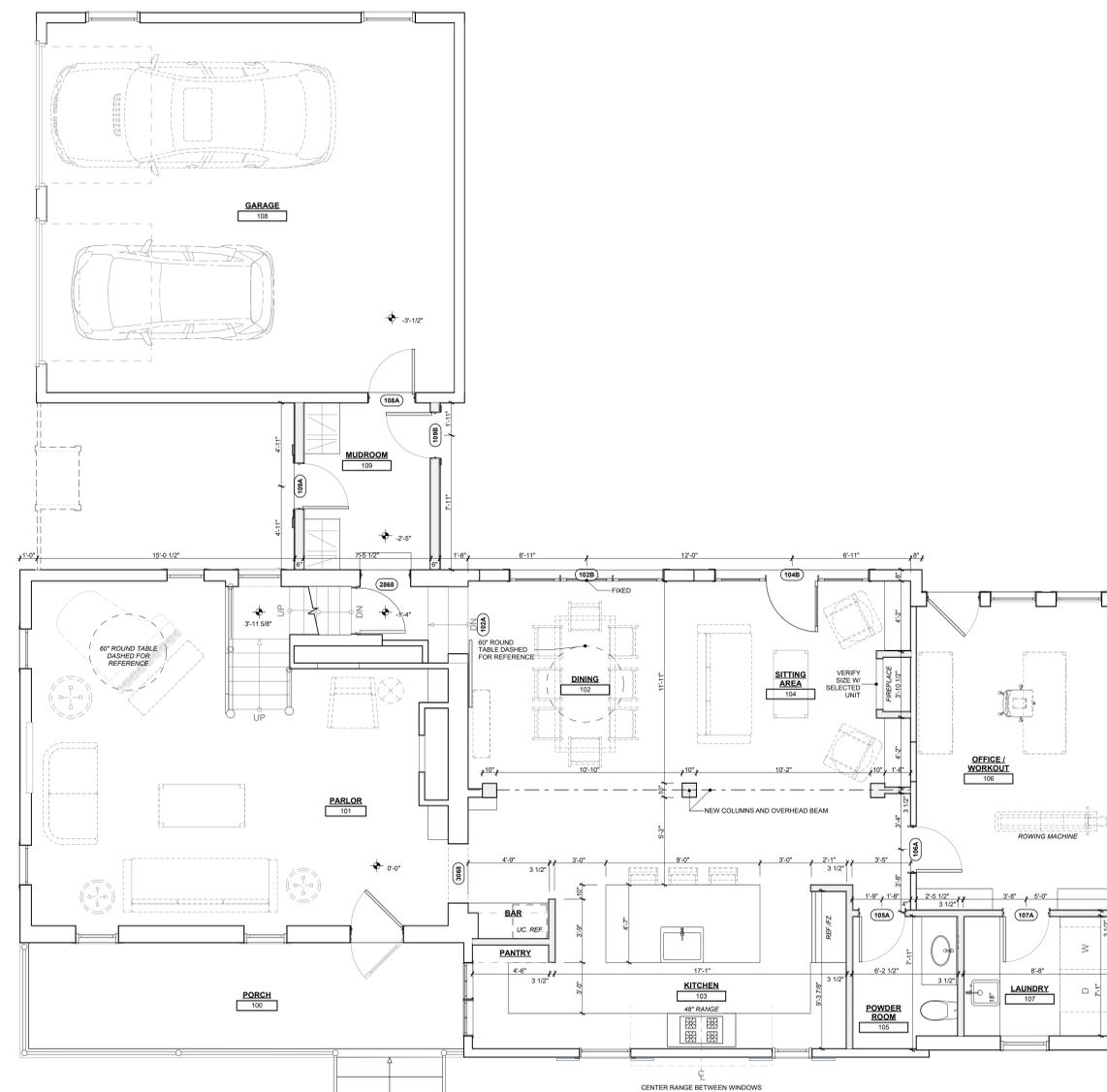
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3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION - GARAGE SIDE (WEST)
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION - YARD SIDE (EAST)
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION (UNCHANGED)
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

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EXTERIOR ELEVATIONS











LAWN CHEMICAL APPLICATION

