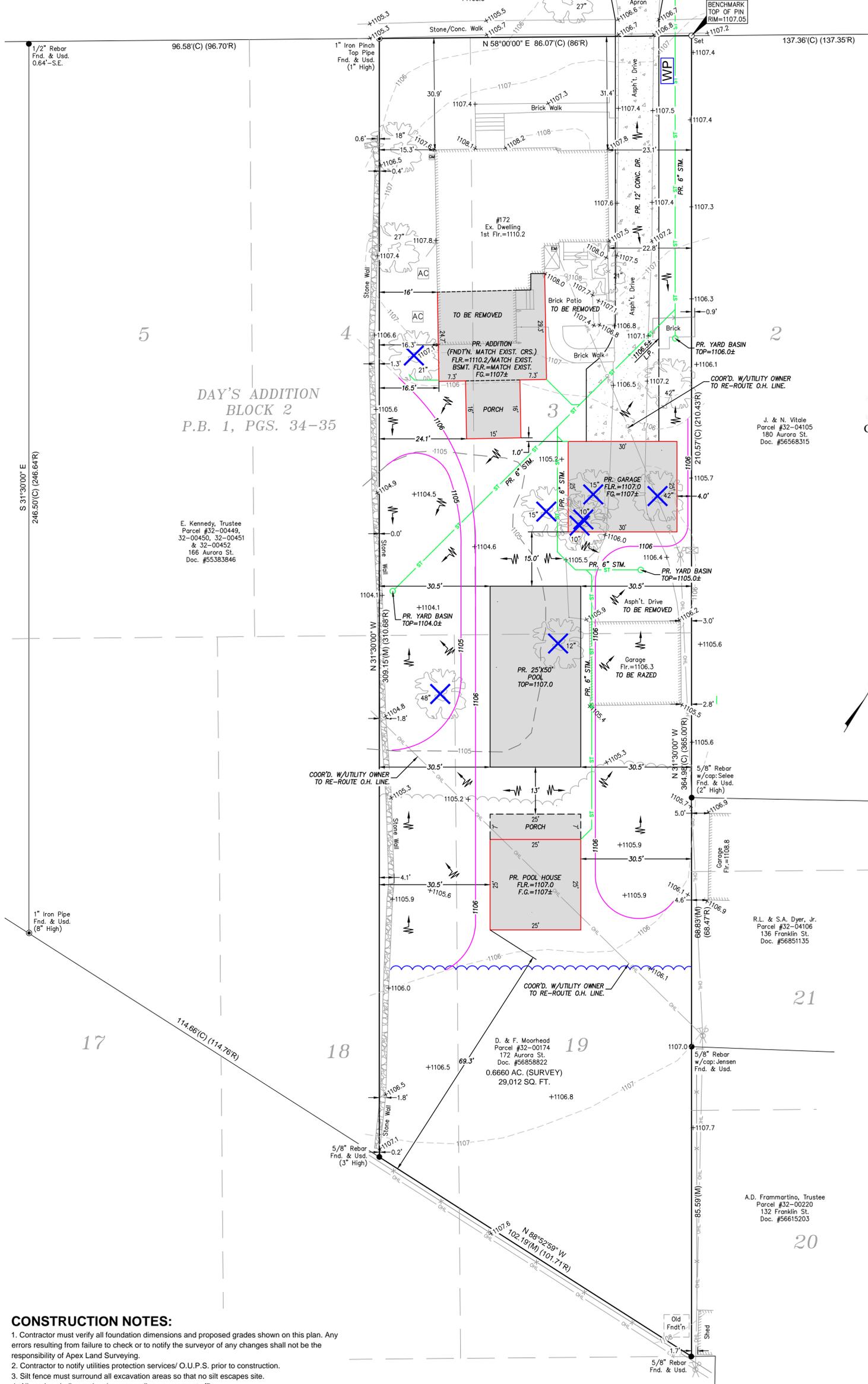


DATE OF SURVEY: JAN. 2024  
 REVISIONS:  
 1.) Ex. Cond. Survey Released to Client - 2/02/24

# TOPOGRAPHIC SURVEY & SITE PLAN

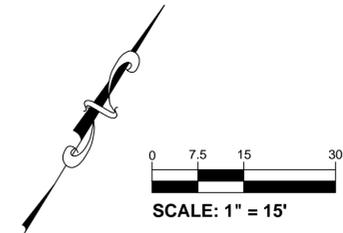
for  
**~The Moorhead Residence~**  
**172 Aurora St., Hudson, OH 44236**

Situated in the City of Hudson, County of Summit and State of Ohio: And known as being all of Lot 3 and parts of Lots 4, 18 & 19 in Block 2 of the Days Addition to Hudson, as recorded in P.B. 1, Pg. 34.



Approved  
 05/16/2024

Zoning Certificate #: **24-195**



**LEGEND**

- - - 998 - Ex. Contour
- - - 1002 - PR. CONTOUR
- - - - - Ex. Tree Line
- - - - - PR. CLEARING LIMITS
- X - TREE TO BE REMOVED
- WP - PR. CONC. WASHOUT PIT, CONST. ENTRANCE (70 L.F. MIN. OF #1&2 AGGREGATE) & SILT FENCE
- CE - PR. CONC. WASHOUT PIT, CONST. ENTRANCE (70 L.F. MIN. OF #1&2 AGGREGATE) & SILT FENCE
- AS-BUILT PR-GRADE - Ex. Grade
- - - PR. DRAINAGE DIRECTION/SWALE
- PR - PR. DOWNSPOUT/ROOF DRAIN LOCATION
- AS-BUILT PR-GRADE - Ex. Grade
- W - PR. WELL
- - - Ex. Utility Pole & Pedestals
- - - Ex. Mailbox
- SA - Ex. Sanitary/Storm MH.
- - - Ex. Storm Inlet/Basins & Downspout Location
- GV - Ex. Gas Valve & Shutoff
- WV - Ex. Hydrant, Valve/ Shutoff & Well
- - Iron Pin Set
- - Rebar or Iron Rod/Pin Fnd.
- - Iron Pipe Fnd.
- - Mon. Fnd.

**CONSTRUCTION NOTES:**

1. Contractor must verify all foundation dimensions and proposed grades shown on this plan. Any errors resulting from failure to check or to notify the surveyor of any changes shall not be the responsibility of Apex Land Surveying.
2. Contractor to notify utilities protection services/ O.U.P.S. prior to construction.
3. Silt fence must surround all excavation areas so that no silt escapes site.
4. All grades shall comply w/corresponding government office.
5. Maintain positive yard drainage away from house and a minimum slope of 1% along all swales.
6. Contractor shall verify location and depths of existing laterals & verify if proper connections can be made to house. Contact corresponding government office or utility owner if discrepancies occur.
7. All sewer connections must maintain a minimum slope of 1%.
8. The footer drain & downspouts are to be tied into storm drain. Contractor to determine connection point or points upon excavation & examination of existing storm drain system. Refer to house plans for downspout locations.
9. Contractor to determine if a foundation sump pump is required.
10. The location of utilities shown hereon are based on observed evidence of above ground appurtenances only. The location of these utilities may vary and are subject to field verification prior to construction. No other search for utilities was performed and additional utilities may be encountered.
11. There was no search for easements of record, right-of-ways, restrictive covenants, encumbrances, ownership title evidence, or any other facts that a title search may disclose.

**MISCELLANEOUS NOTES:**

- 1.) The "BASIS OF BEARINGS" for this survey was held as S 58°00'00" W along Aurora Street, as called for in deed recorded as Doc. #56858822. ALL DISTANCES SHOWN HEREON INDICATE GROUND DISTANCES IN US SURVEY FEET.
- 2.) The vertical datum for this survey is NAVD88 (Geoid12b), as observed by GPS via the ODOT VRS network and referenced by benchmarks shown hereon.

SURVEYED BY:  
  
 KELLY D. DUNFORD, P.S. 8182  
 2858 FULMER DR., SILVER LAKE, OH  
 (330) 928-7750  
 ps8182@sbcglobal.net  
 www.apexlandsurveying.com

TITLE: TOPO & SITE PLAN	DATE: MAR. 2024
CLIENT: KAPELA	PROJ.: 2024004
SCALE: 1" = 15'	FILE: 2024004.dwg
DRAWN BY: KDD	CHECKED BY: KDD
CREW: KDD	SHEET: 1 OF 1
SHEET SIZE: 22" X 34"	





# FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2"  $\phi$  x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

## FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
- (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

24"x24".....	(2)#4
30"x30".....	(3)#4
36"x36".....	(3)#5
42"x42".....	(4)#5
48"x48".....	(4)#5
60"x60".....	(5)#5
72"x72".....	(6)#5

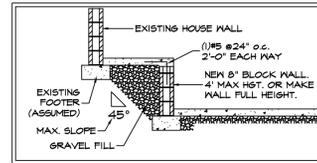
## CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

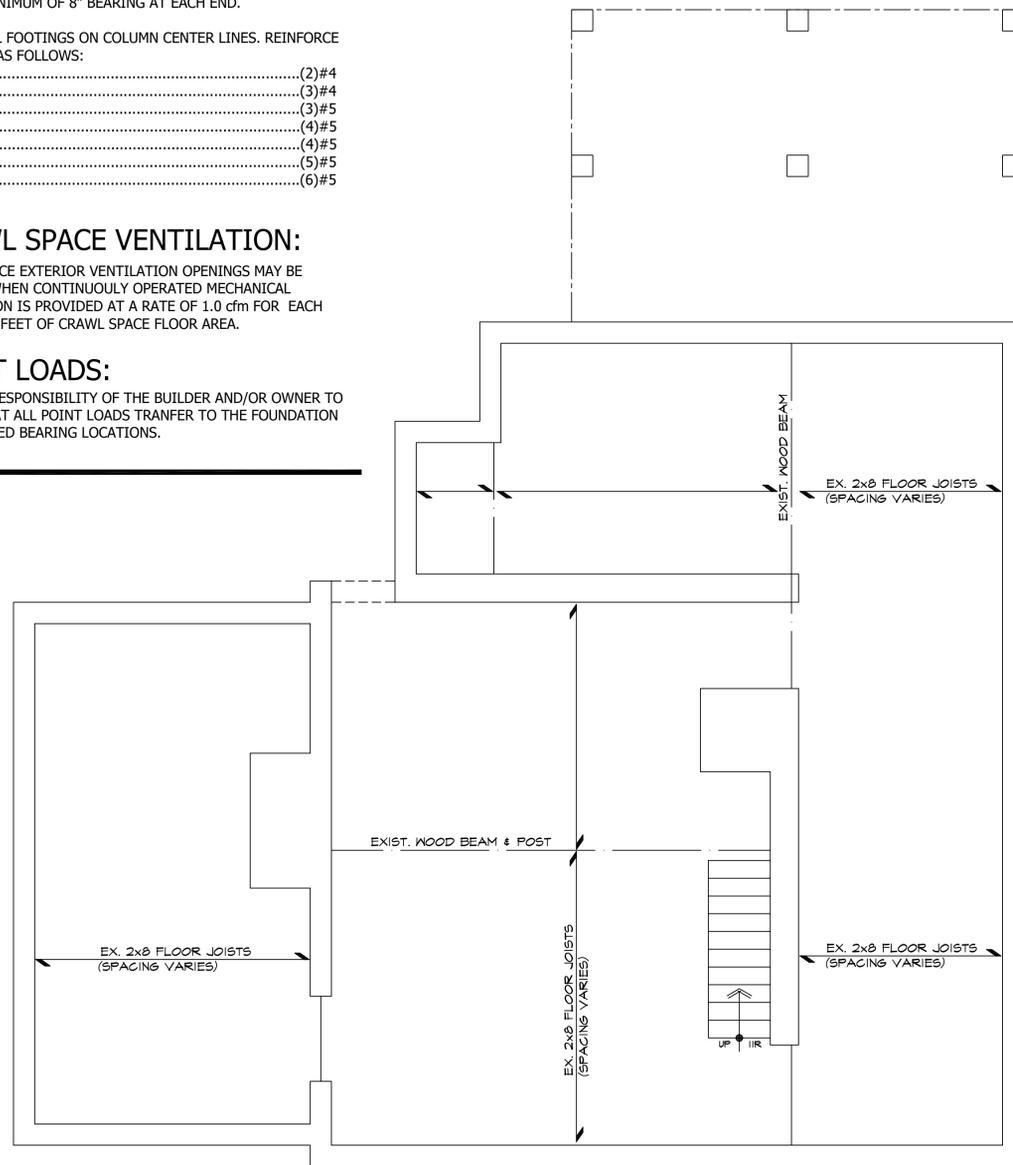
## POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

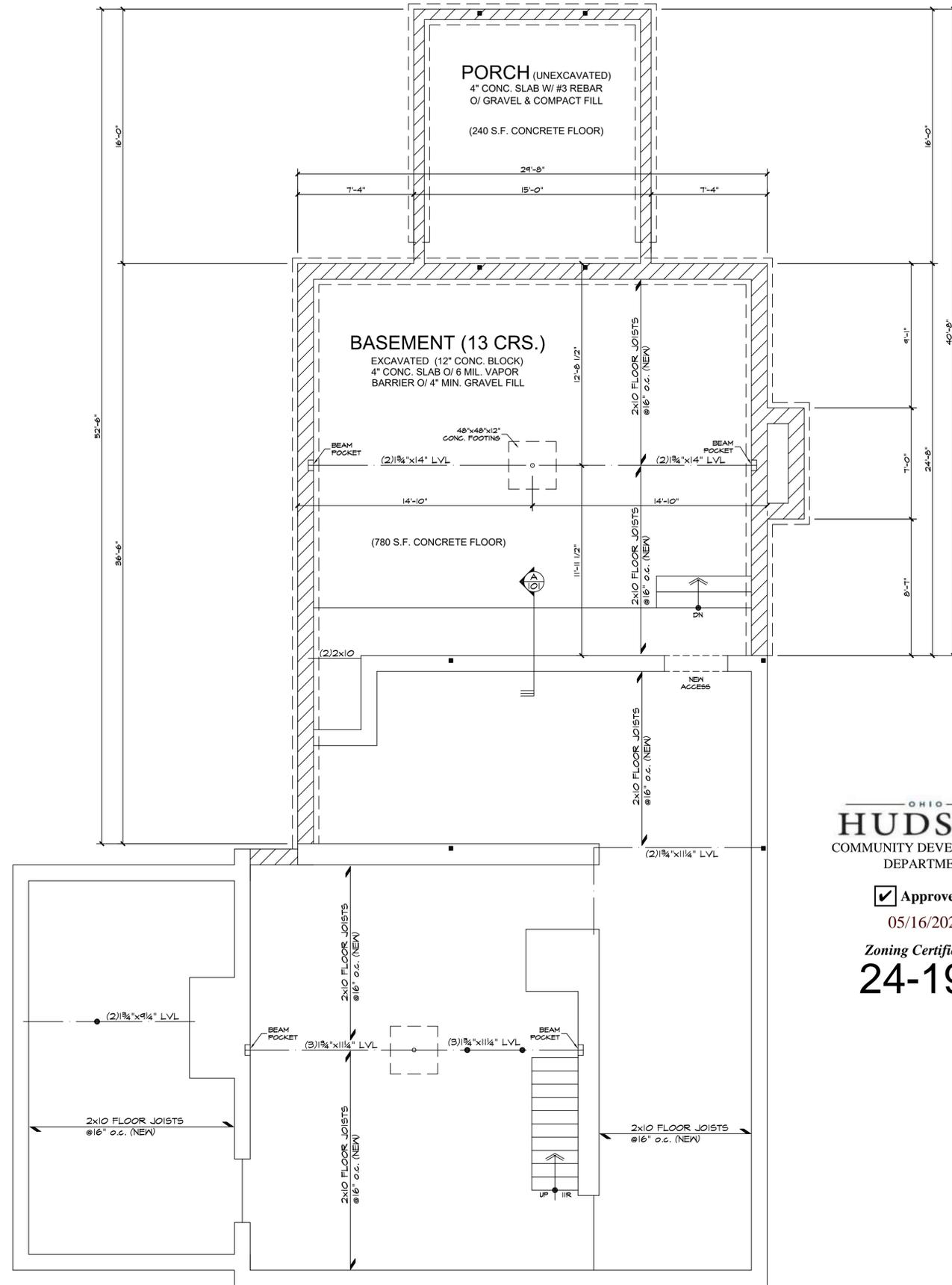
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



**DROP FOOTER DETAIL**  
S: 1/4" = 1'-0"



**FOUNDATION PLAN - EXISTING**  
S: 1/4" = 1'-0"



**FOUNDATION PLAN**  
S: 1/4" = 1'-0"

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved  
05/16/2024  
Zoning Certificate #:  
**24-195**

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & DRAWING APPEARING HEREIN  
CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF J. KAPELA CONSTRUCTION, LLC AND  
OWNED SOLELY BY J. KAPELA CONSTRUCTION,  
LLC. REGARDLESS OF THEIR BEING PAID FOR  
BY THE CLIENT OR BUILDER. THE DESIGN,  
DRAWING AND / OR PLANS MAY NOT BE  
COPIED, REPRODUCED, COPIED OR SOLD TO  
ANOTHER BUILDER, DESIGNER, ENGINEER,  
ARCHITECT OR PERSON WITHOUT THE WRITTEN  
CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**A101**

# FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

## FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.  
 WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.  
 WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:  
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

## SMOKE & CARBON DETECTORS:

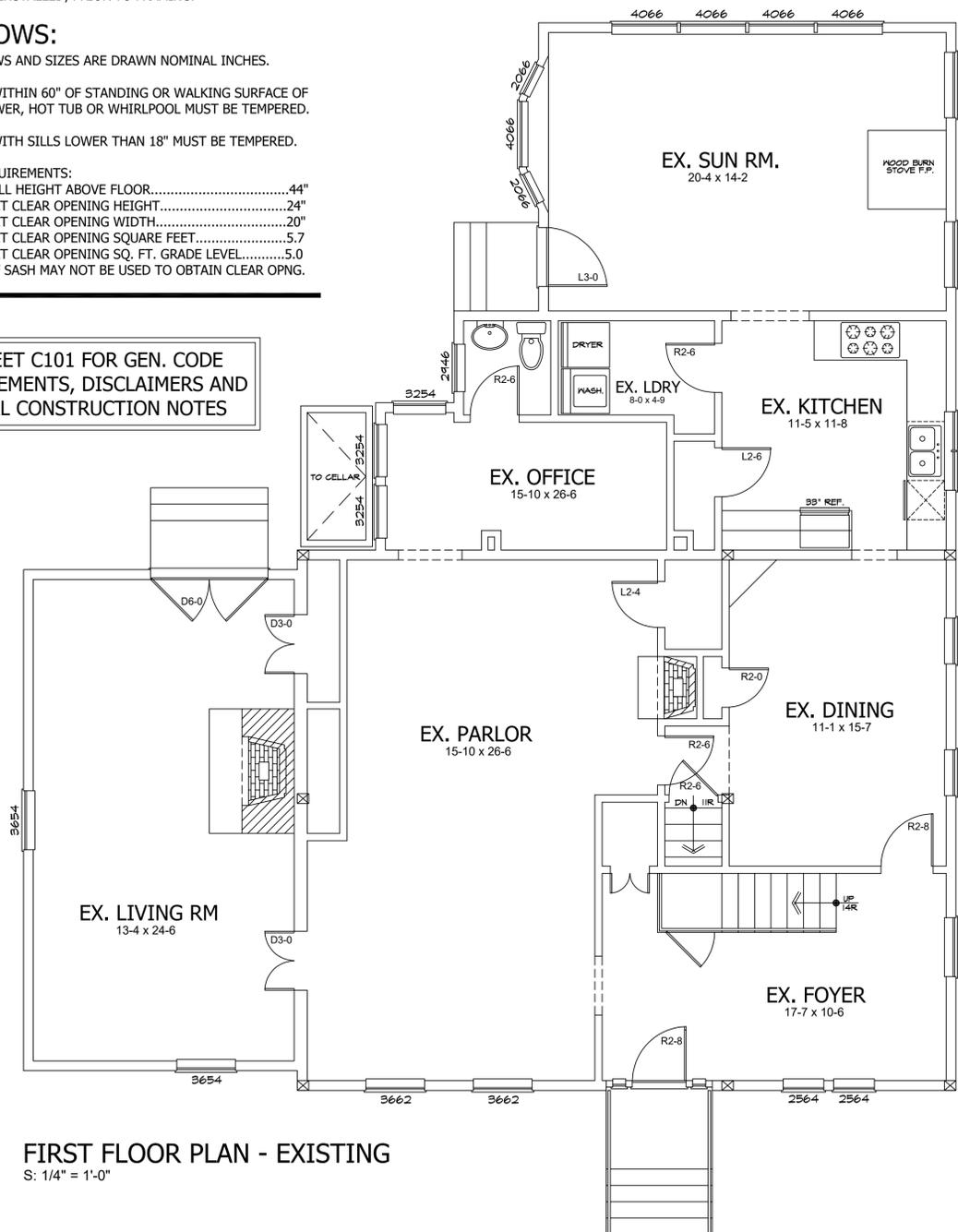
ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

## STAIR REQUIREMENTS:

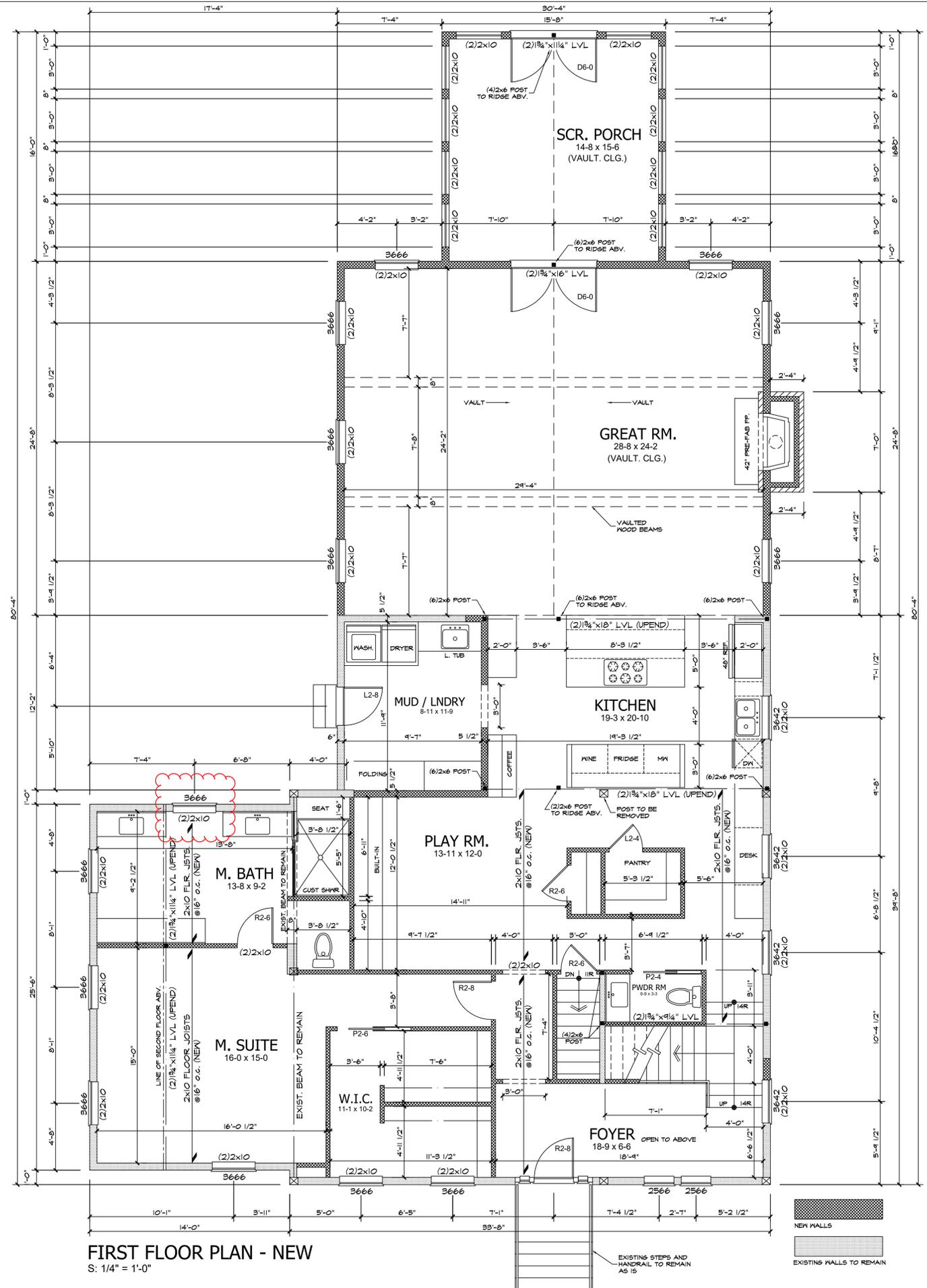
MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"  
 MINIMUM TREAD DEPTH.....9"  
 MAXIMUM RISER HEIGHT.....8 1/4"  
 MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"  
 MINIMUM NOSING PROJECTION.....1"  
 MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"  
 MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"  
 MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"  
 MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"  
 MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"  
 MAXIMUM HAND GRIP WIDTH.....2 1/4"  
 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"



SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FIRST FLOOR PLAN - EXISTING  
 S: 1/4" = 1'-0"



FIRST FLOOR PLAN - NEW  
 S: 1/4" = 1'-0"



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
 www.jkapela.com

MOORHEAD RESIDENCE  
 1772 AURORA STREET  
 HUDSON, OH 44236  
 FIRST FLOOR PLAN

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

8-20-24

COPYRIGHT 2024  
 ALL DESIGN & SERVICE FEES HEREBY  
 CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
 WORK OF J. KAPELA CONSTRUCTION, LLC AND  
 OWNED SOLELY BY J. KAPELA CONSTRUCTION,  
 LLC. REGARDLESS OF THE BEING PAID FOR  
 BY THE CLIENT OR BUILDER, THE DESIGN,  
 DRAWING, AND / OR PLANS MAY NOT BE  
 COPIED, REPRODUCED, OR OTHERWISE  
 USED BY ANY OTHER BUILDER, DESIGNER, ENGINEER,  
 ARCHITECT OR PERSON WITHOUT THE WRITTEN  
 CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

A102

## SECOND FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

### FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

### WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:  
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

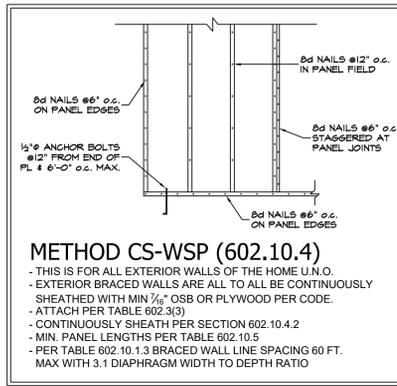
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

### SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

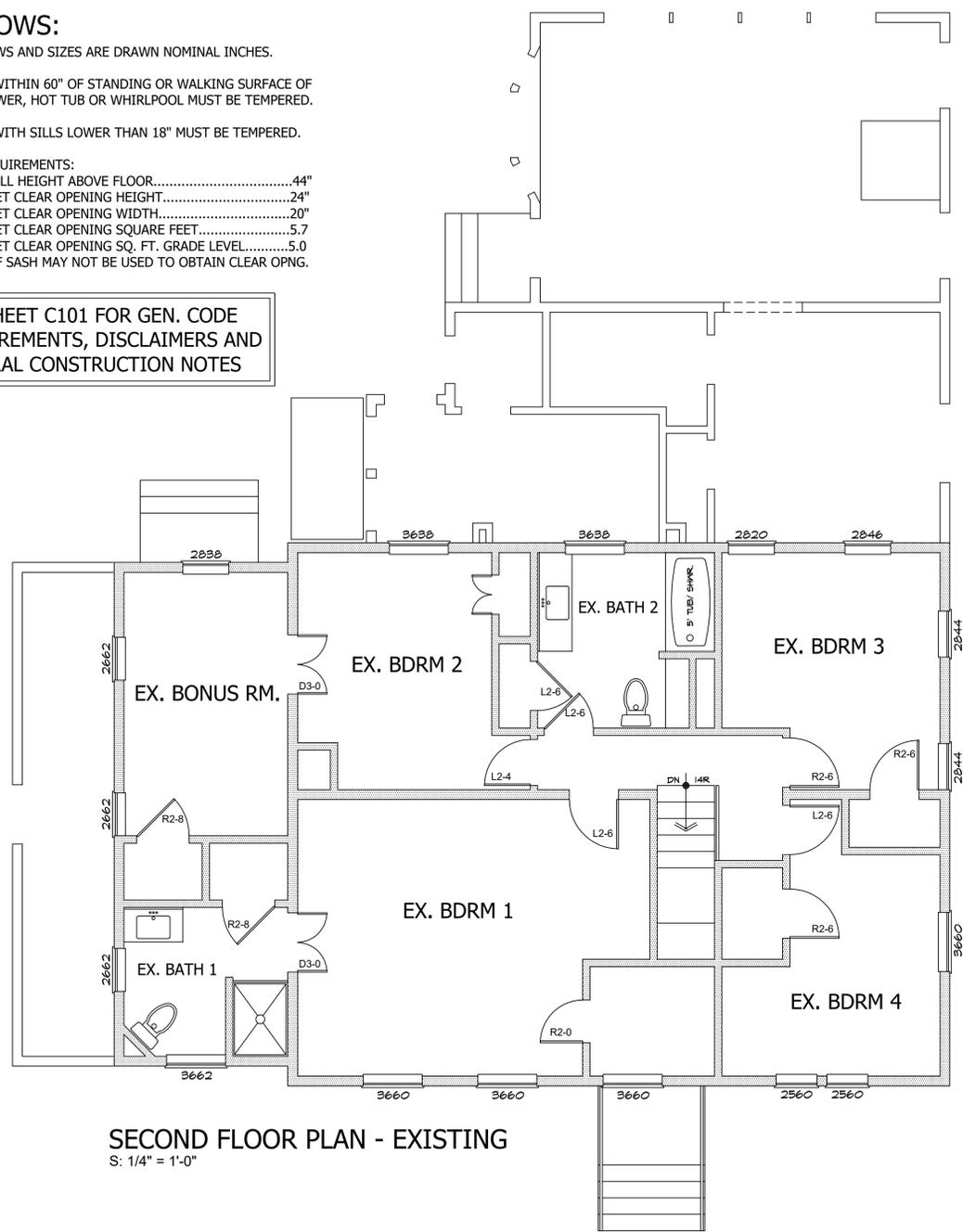
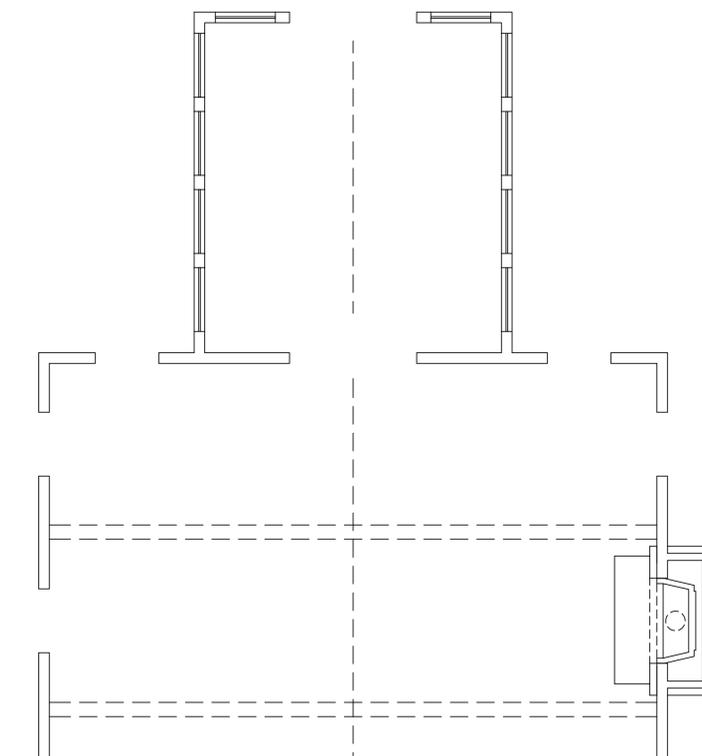
### STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"  
 MINIMUM TREAD DEPTH.....9"  
 MAXIMUM RISER HEIGHT.....8 1/4"  
 MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"  
 MINIMUM NOSING PROJECTION.....1"  
 MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"  
 MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"  
 MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"  
 MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"  
 MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"  
 MAXIMUM HAND GRIP WIDTH.....2 1/4"  
 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

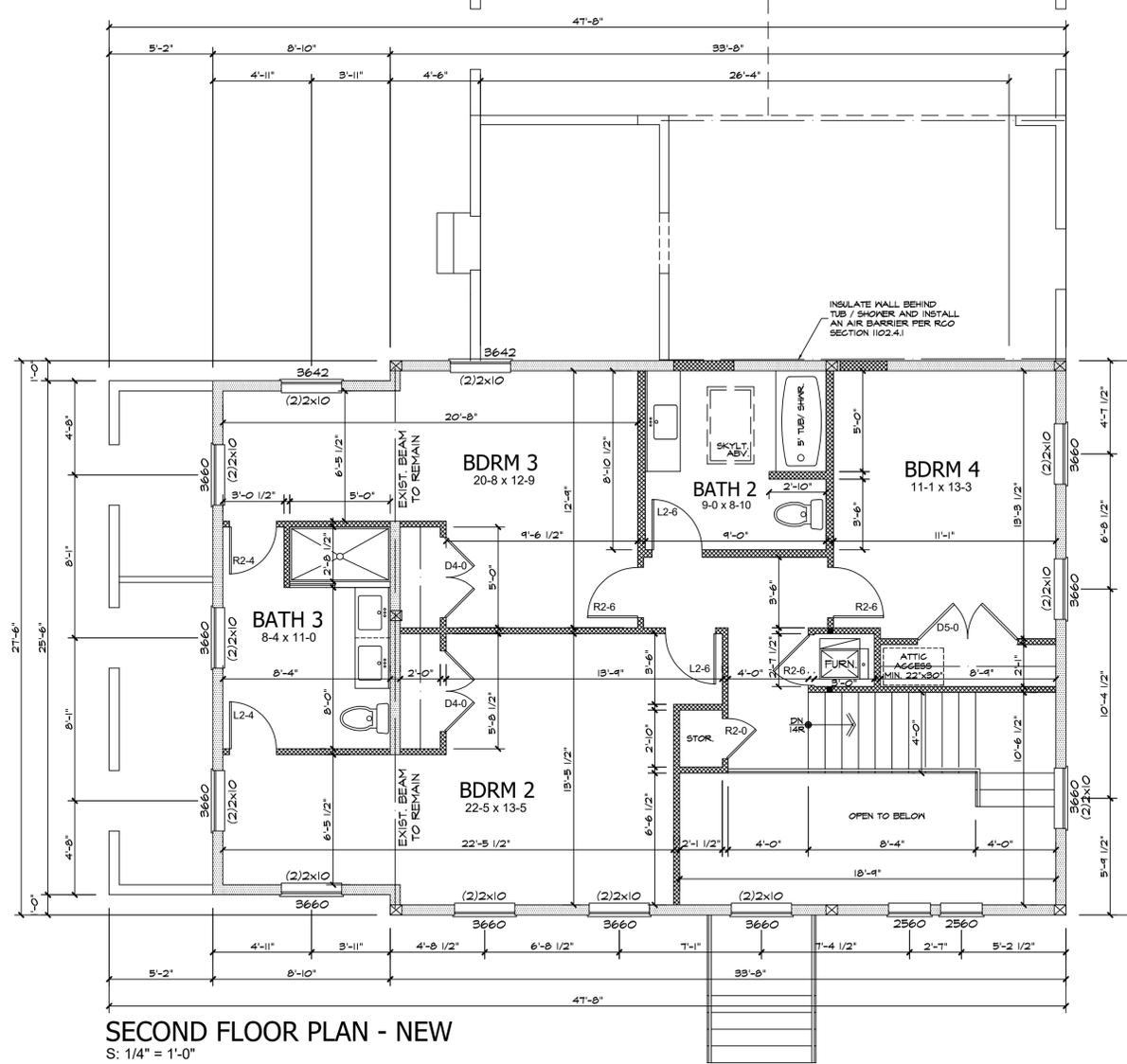


METHOD CS-WSP (602.10.4)  
 - THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.  
 - EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 1/4" OSB OR PLYWOOD PER CODE.  
 - ATTACH PER TABLE 602.3(3)  
 - CONTINUOUSLY SHEATH PER SECTION 602.10.4.2  
 - MIN. PANEL LENGTHS PER TABLE 602.10.5  
 - PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT.  
 - MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

BRACED WALL PANELS (NOT TO SCALE)



SECOND FLOOR PLAN - EXISTING  
 S: 1/4" = 1'-0"



SECOND FLOOR PLAN - NEW  
 S: 1/4" = 1'-0"

CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
 www.jkapela.com

**FINAL PERMIT  
 PLANS 4/29/24**

OHIO  
**HUDSON**  
 COMMUNITY DEVELOPMENT  
 DEPARTMENT

Approved

05/16/2024

Zoning Certificate #:  
**24-195**

**MOORHEAD RESIDENCE**  
 1772 AURORA STREET  
 HUDSON, OH 44236  
**SECOND FLOOR PLAN**

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
 ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE REPRODUCED, COPIED, REPRODUCED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**A103**

# ROOF NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

## SHEATHING:

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## OVER-LAY RAFTERS:

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"  
 USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"  
 USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"  
 USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

## LIVE LOADS:

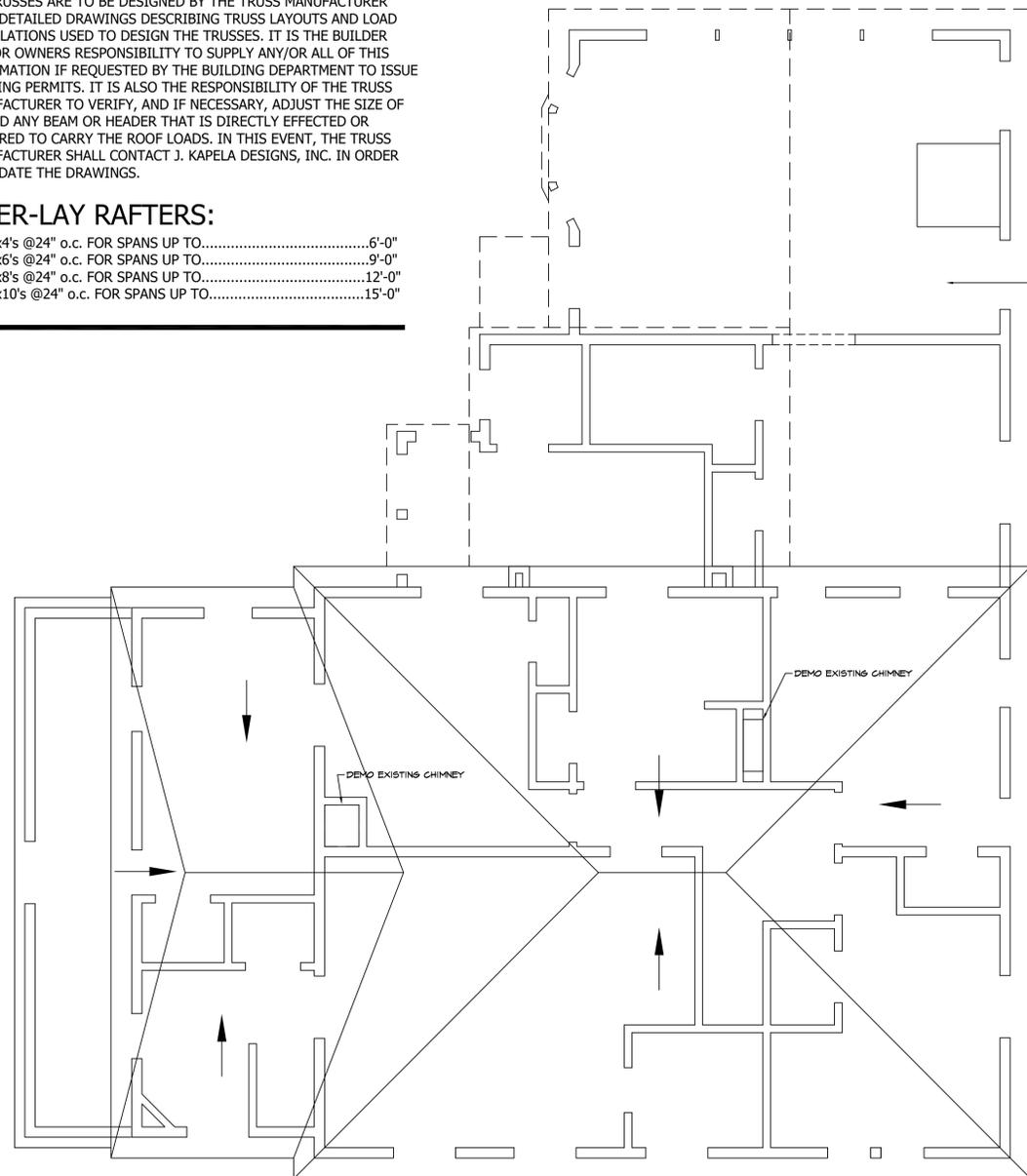
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:  
 ROOF/SNOW.....25psf ATTIC.....20psf  
 FIRST FLOOR.....40psf SECOND FLOOR.....40psf  
 BALCONIES.....60psf BASIC WIND SPEED.....90mph

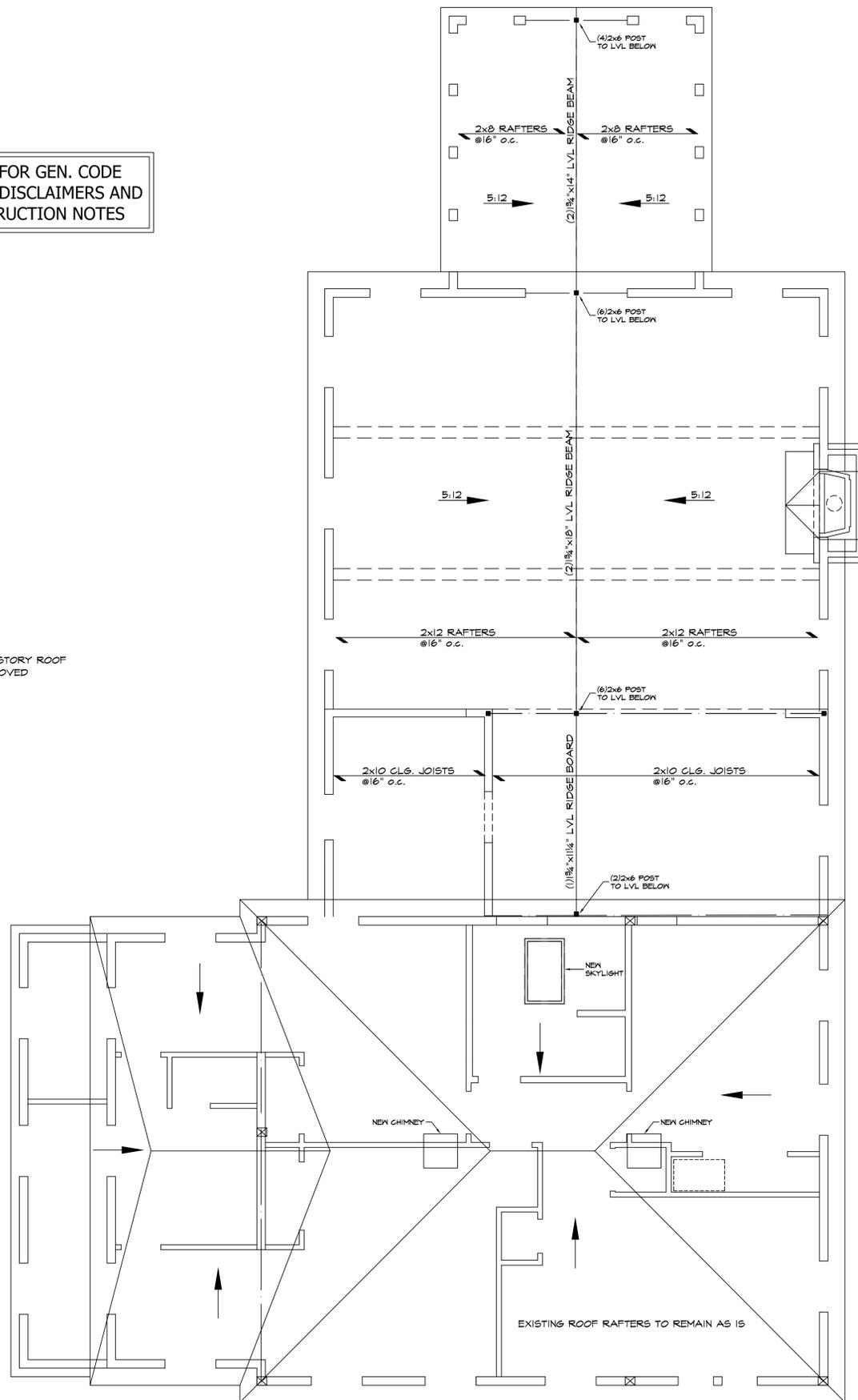
## POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



ROOF PLAN - EXISTING  
S: 1/4" = 1'-0"



ROOF PLAN - NEW  
S: 1/4" = 1'-0"

# ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

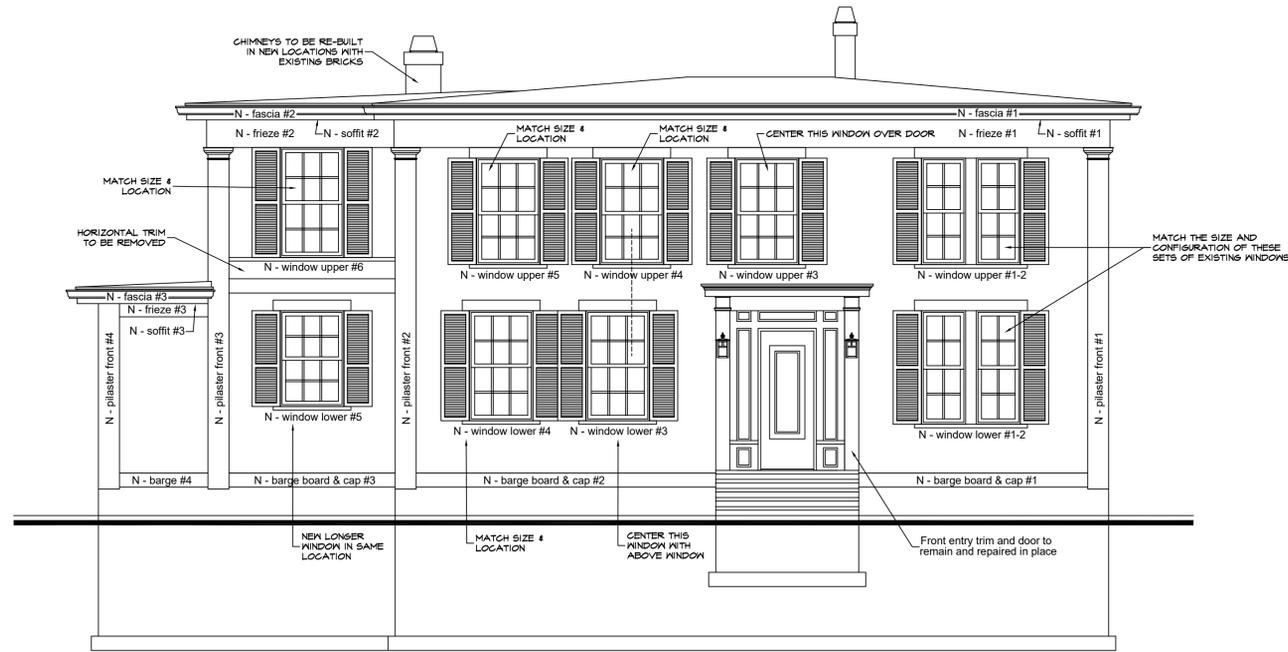
WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

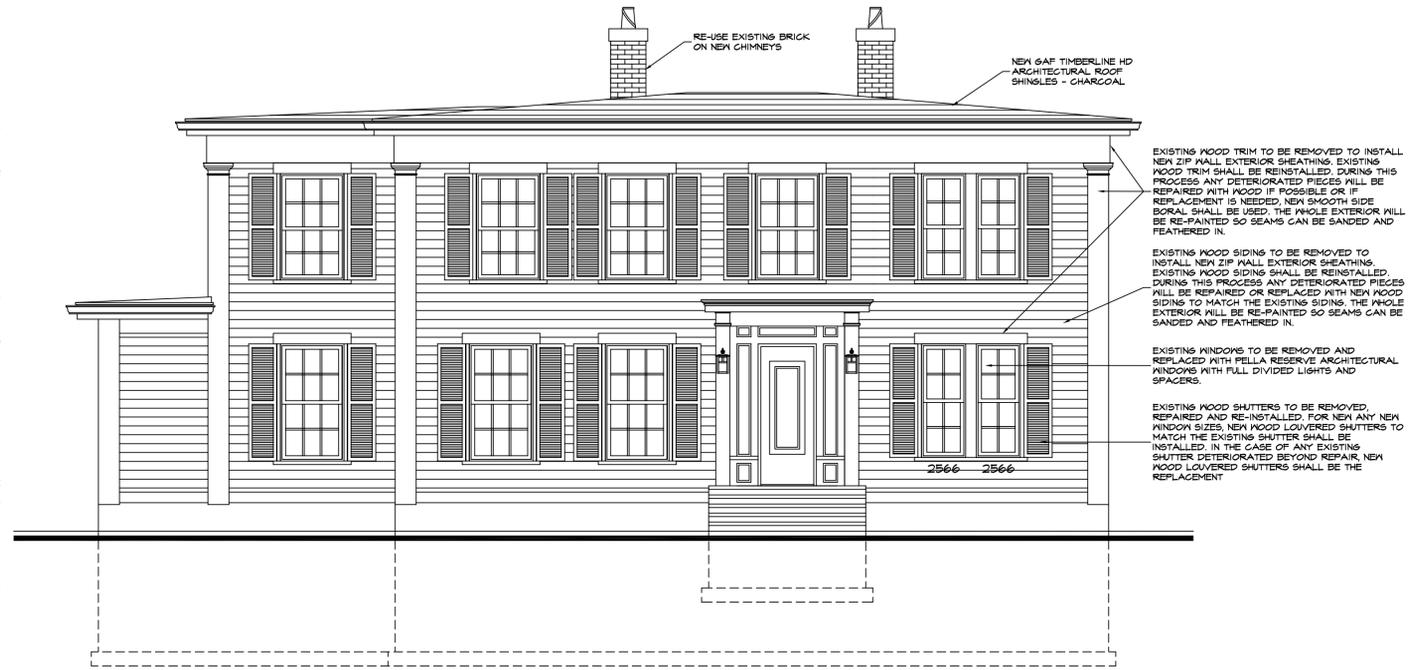
### EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

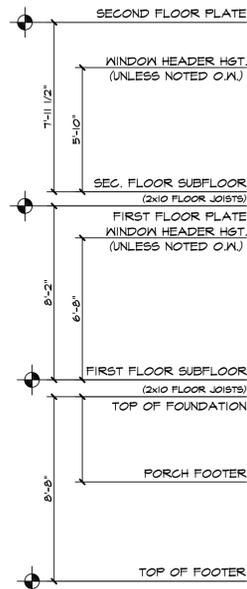
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FRONT ELEVATION - EXIST.  
S: 1/4" = 1'-0"



FRONT ELEVATION - NEW  
S: 1/4" = 1'-0"



Approved

05/16/2024

Zoning Certificate #:

24-195



CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123

www.jkapela.com

FINAL PERMIT  
PLANS 4/29/24

MOORHEAD RESIDENCE  
172 AUPORA STREET  
HUDSON, OH 44236  
EXTERIOR ELEVATIONS

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

4-29-24

COPYRIGHT 2024  
ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

A201

# ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:  
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

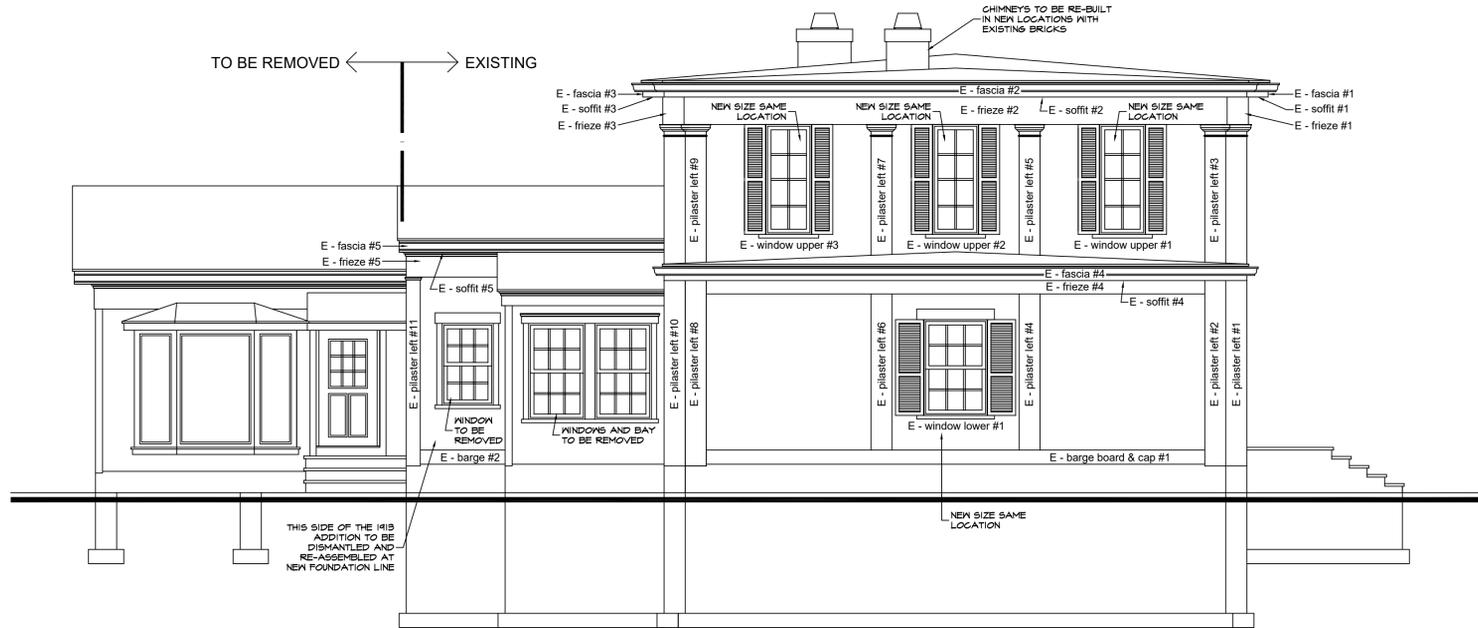


Approved

05/16/2024

Zoning Certificate #:

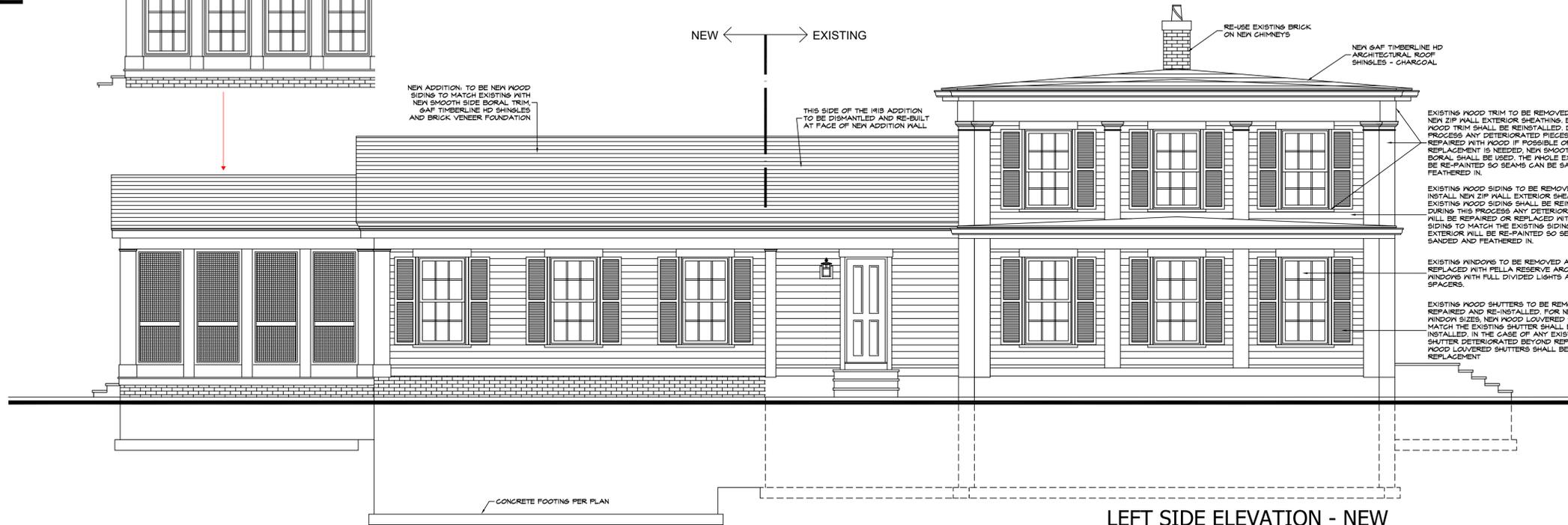
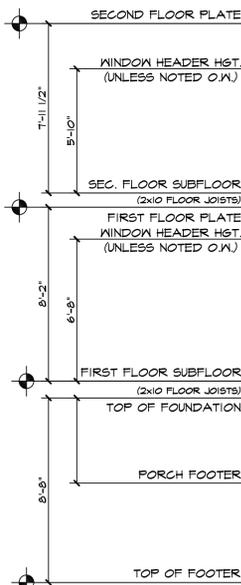
24-195



LEFT SIDE ELEVATION - EXIST.  
S: 1/4" = 1'-0"



Revised sun room design approved 3.28.25.  
Windows to be installed in-lieu of screens



LEFT SIDE ELEVATION - NEW  
S: 1/4" = 1'-0"



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123

www.jkapela.com

FINAL PERMIT  
 PLANS 4/29/24

MOORHEAD RESIDENCE  
 177 AUPORA STREET  
 HUDSON, OH 44236

EXTERIOR ELEVATIONS

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

4-29-24

COPYRIGHT 2024  
 ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THE BEING PAID FOR BY THE CLIENT OR BUILDER, THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

A202

# ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTIALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

### EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

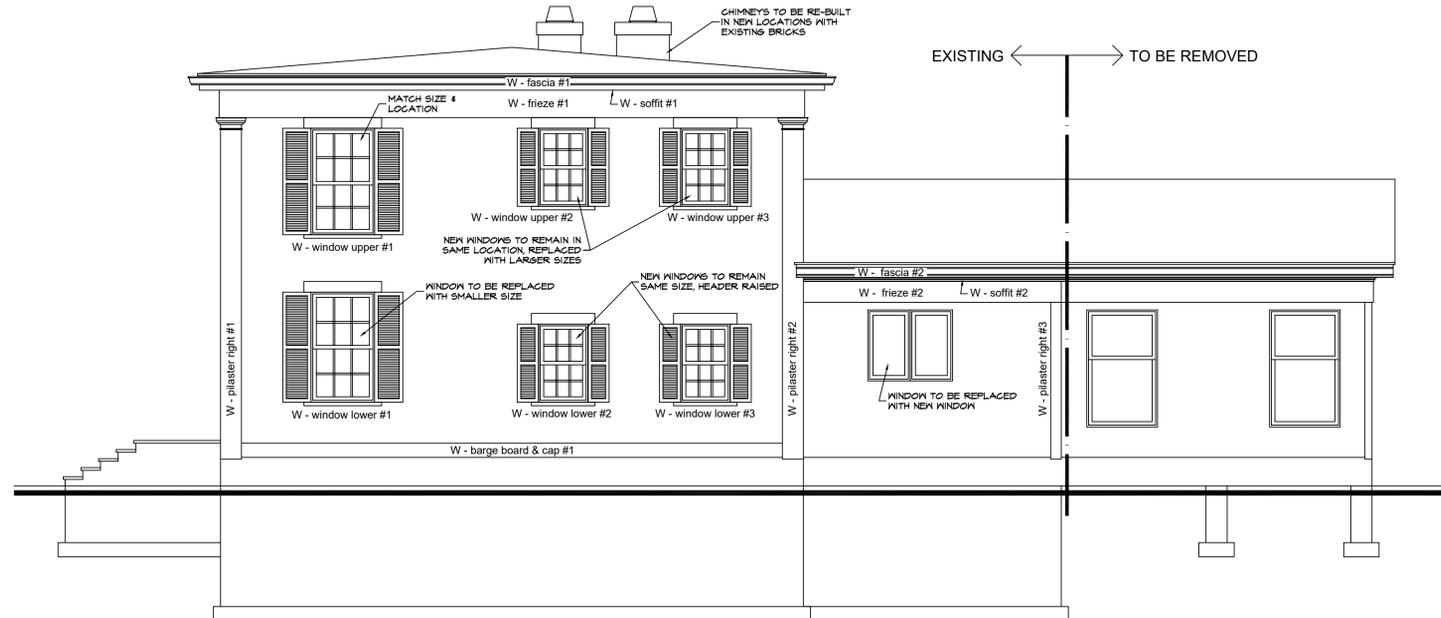


Approved

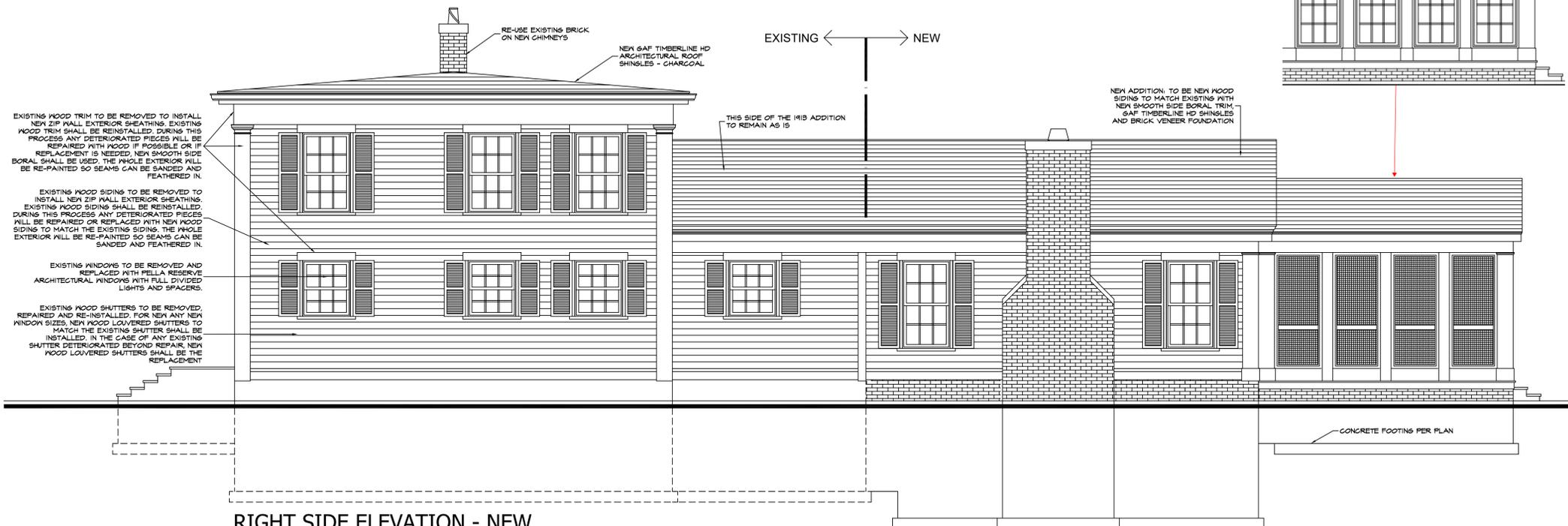
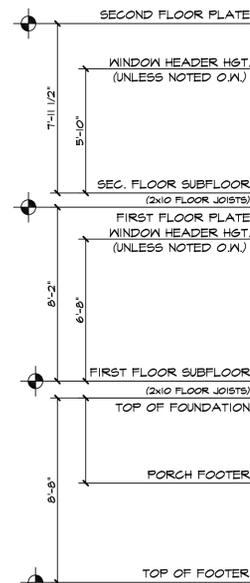
05/16/2024

Zoning Certificate #:

24-195



RIGHT SIDE ELEVATION - EXIST.  
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - NEW  
S: 1/4" = 1'-0"



Revised sun room design approved 3.28.25. Windows to be installed in-lieu of screens



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
 www.jkapela.com

FINAL PERMIT  
 PLANS 4/29/24

MOORHEAD RESIDENCE  
 172 AUPORA STREET  
 HUDSON, OH 44236  
 EXTERIOR ELEVATIONS

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

4-29-24

COPYRIGHT 2024  
 ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THE BEING PAID FOR BY THE CLIENT OR BUILDER, THE DESIGN, DRAWING AND/OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

A203

# ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTIALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

## EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

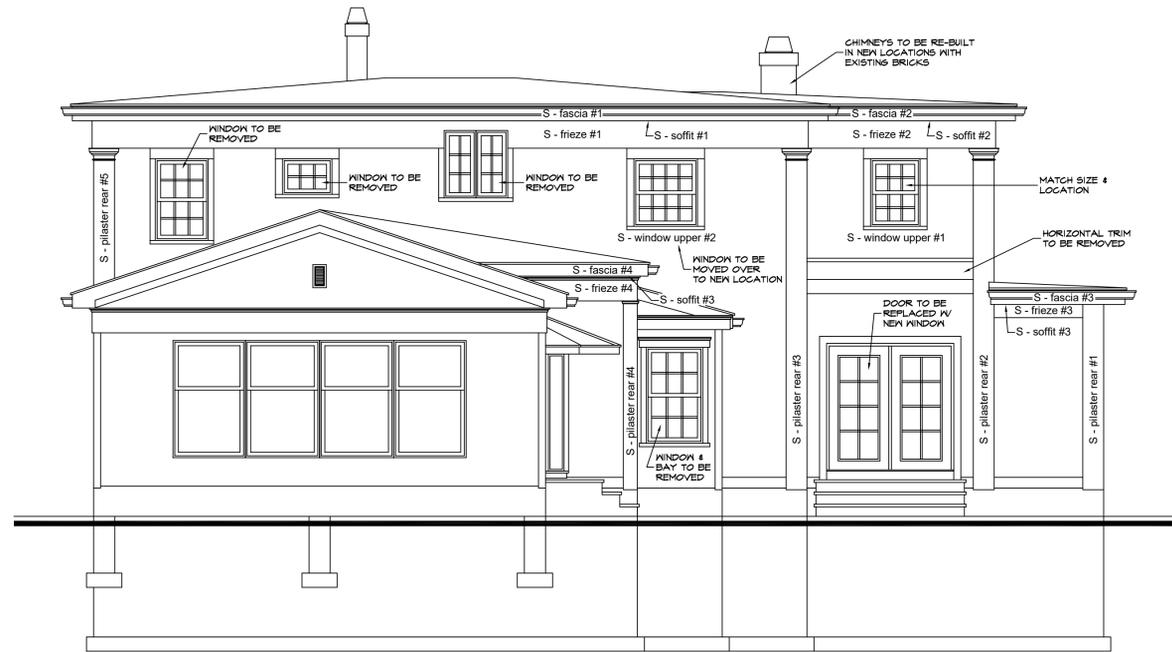


Approved

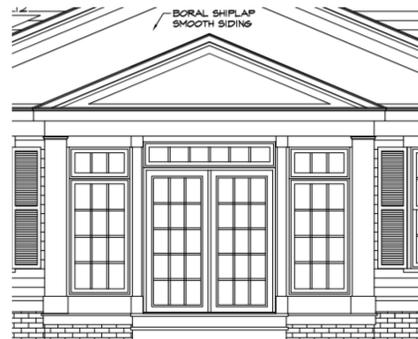
08/21/2024

Zoning Certificate #:

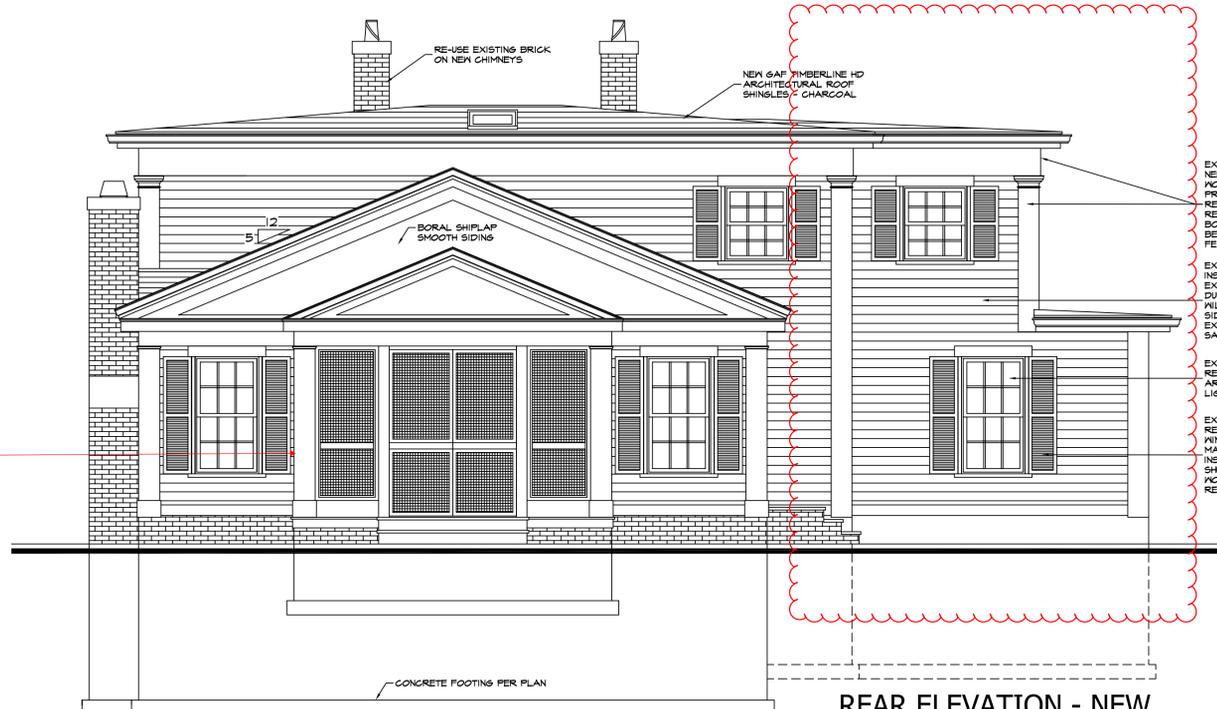
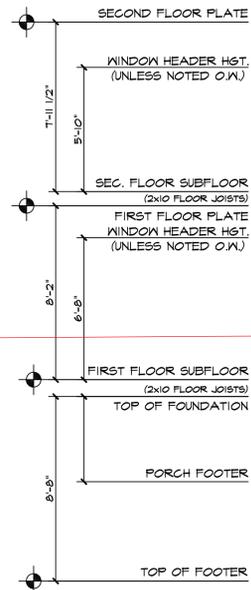
24-195



REAR ELEVATION - EXIST.  
S: 1/4" = 1'-0"



Revised sun room design approved 3.28.25. Windows to be installed in-lieu of screens



REAR ELEVATION - NEW  
S: 1/4" = 1'-0"

EXISTING WOOD TRIM TO BE REMOVED TO INSTALL NEW ZIP WALL EXTERIOR SHEATHING. EXISTING WOOD TRIM SHALL BE REINSTALLED. DURING THIS PROCESS ANY DETERIORATED PIECES WILL BE REPAIRED WITH WOOD IF POSSIBLE OR IF REPLACEMENT IS NEEDED, NEW SMOOTH SIDE BORAL SHALL BE USED. THE WHOLE EXTERIOR WILL BE RE-PAINTED SO SEAMS CAN BE SANDED AND FEATHERED IN.

EXISTING WOOD SIDING TO BE REMOVED TO INSTALL NEW ZIP WALL EXTERIOR SHEATHING. EXISTING WOOD SIDING SHALL BE REINSTALLED. DURING THIS PROCESS ANY DETERIORATED PIECES WILL BE REPAIRED OR REPLACED WITH NEW WOOD SIDING TO MATCH THE EXISTING SIDING. THE WHOLE EXTERIOR WILL BE RE-PAINTED SO SEAMS CAN BE SANDED AND FEATHERED IN.

EXISTING WINDOWS TO BE REMOVED AND REPLACED WITH FELLA RESERVE ARCHITECTURAL WINDOWS WITH FULL DIVIDED LIGHTS AND SPACERS.

EXISTING WOOD SHUTTERS TO BE REMOVED, REPAIRED AND RE-INSTALLED. FOR NEW ANY NEW WINDOW SIZES, NEW WOOD LOUVERED SHUTTERS TO MATCH THE EXISTING SHUTTER SHALL BE INSTALLED. IN THE CASE OF ANY EXISTING SHUTTER DETERIORATED BEYOND REPAIR, NEW WOOD LOUVERED SHUTTERS SHALL BE THE REPLACEMENT.



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
 www.jkapela.com

MOORHEAD RESIDENCE  
 1772 AURORA STREET  
 HUDSON, OH 44236  
 EXTERIOR ELEVATIONS

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

8-20-24

COPYRIGHT 2024  
 ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

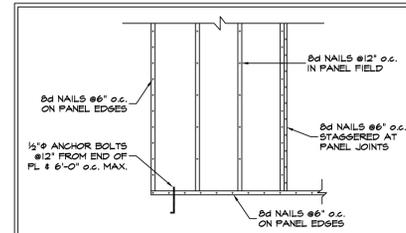
JOB # 2023-45

A204

Approved

05/16/2024

Zoning Certificate #:  
**24-195**



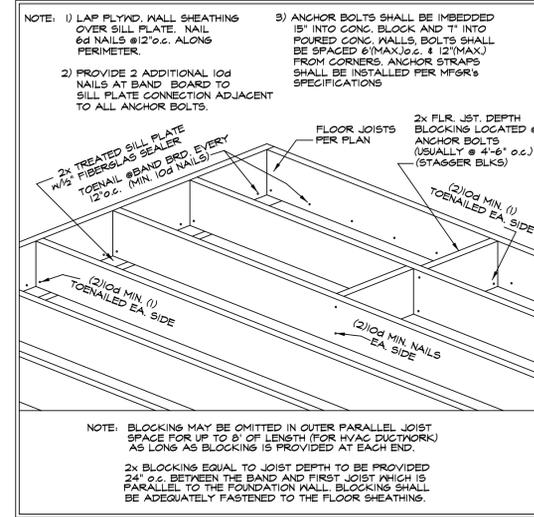
**METHOD CS-WSP (602.10.4)**

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

**METHOD GB (602.10.4)**

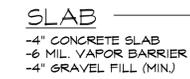
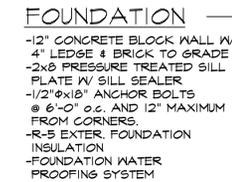
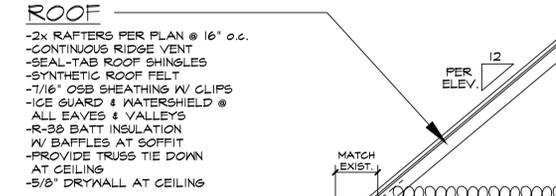
- THIS IS ONLY FOR INTERIOR WALLS OF THE HOME THAT ARE SPECIFICALLY CALLED OUT ON THE PLANS WITH "GB WALL"
- INTERIOR BRACED WALL PANELS WITH GYPSUM WALL BOARD FASTENED ON BOTH SIDES PER CODE
- 1/2" GYPSUM BOARD WITH 7" o.c. FIELD AND EDGE NAILING PER TABLE 702.3.5
- MIN. 48" LENGTHS OF PANELS PER TABLE 602.10.4

**BRACED WALL PANELS**  
SCALE: N.T.S.



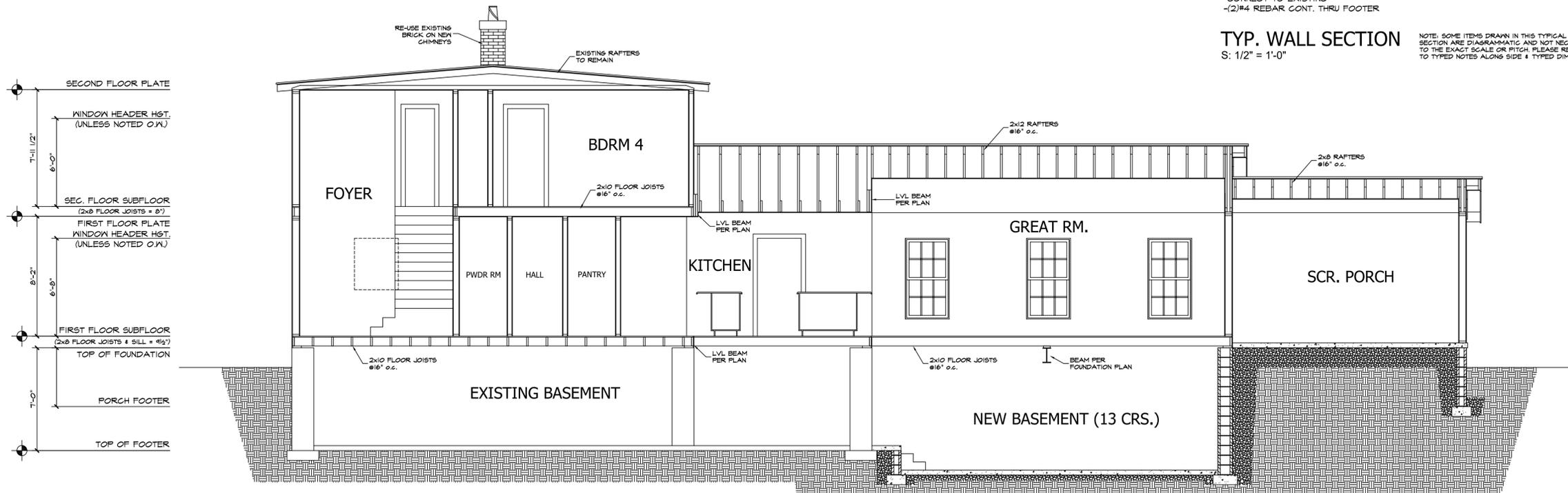
**FLOOR JOIST BLOCKING DETAIL**  
S: 1/2" = 1'-0"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



**TYP. WALL SECTION**  
S: 1/2" = 1'-0"

NOTE: SOME ITEMS DRAWN IN THIS TYPICAL WALL SECTION ARE DIAGNOSTIC AND NOT NECESSARILY TO THE EXACT SCALE OR FIT. PLEASE REFER TO TYPED NOTES ALONG SIDE & TYPED DIMENSIONS.



**BUILDING SECTION - A**  
S: 1/4" = 1'-0"

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
172 AURORA STREET  
HUDSON, OH 44236

**TYP. WALL SECTION & DETAILS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & DRAWING SERVICES HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THE BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED, OR USED BY ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**A301**

## MECHANICAL NOTES

### RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

### GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

### AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

### SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

### BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

### DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

### ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	110V DUPLEX RECEPTACLE
	SWITCH PLUG
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GFI GROUND FAULT CIRCUIT INTERRUPTER
	WP WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	WALL LIGHT
	CEILING OUTLET (RECESSED FIXTURE)
	CEILING OUTLET (RECESSED EYEBALL FIXTURE)
	EXHAUST FAN
	SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
	CEILING FAN
	FLUORESCENT PANEL

## PLAN DESIGN & CONSTRUCTION CRITERIA

### BASED ON THE FOLLOWING CODES:

- 2019 Residential Code of Ohio (RCO)
- 2017 National Electric Code (NEC)
- 2017 Ohio Mechanical Code (OMC)
- 2017 Ohio Plumbing Code (OPC)
- 2017 International Energy Conservation Code (IECC)



Approved

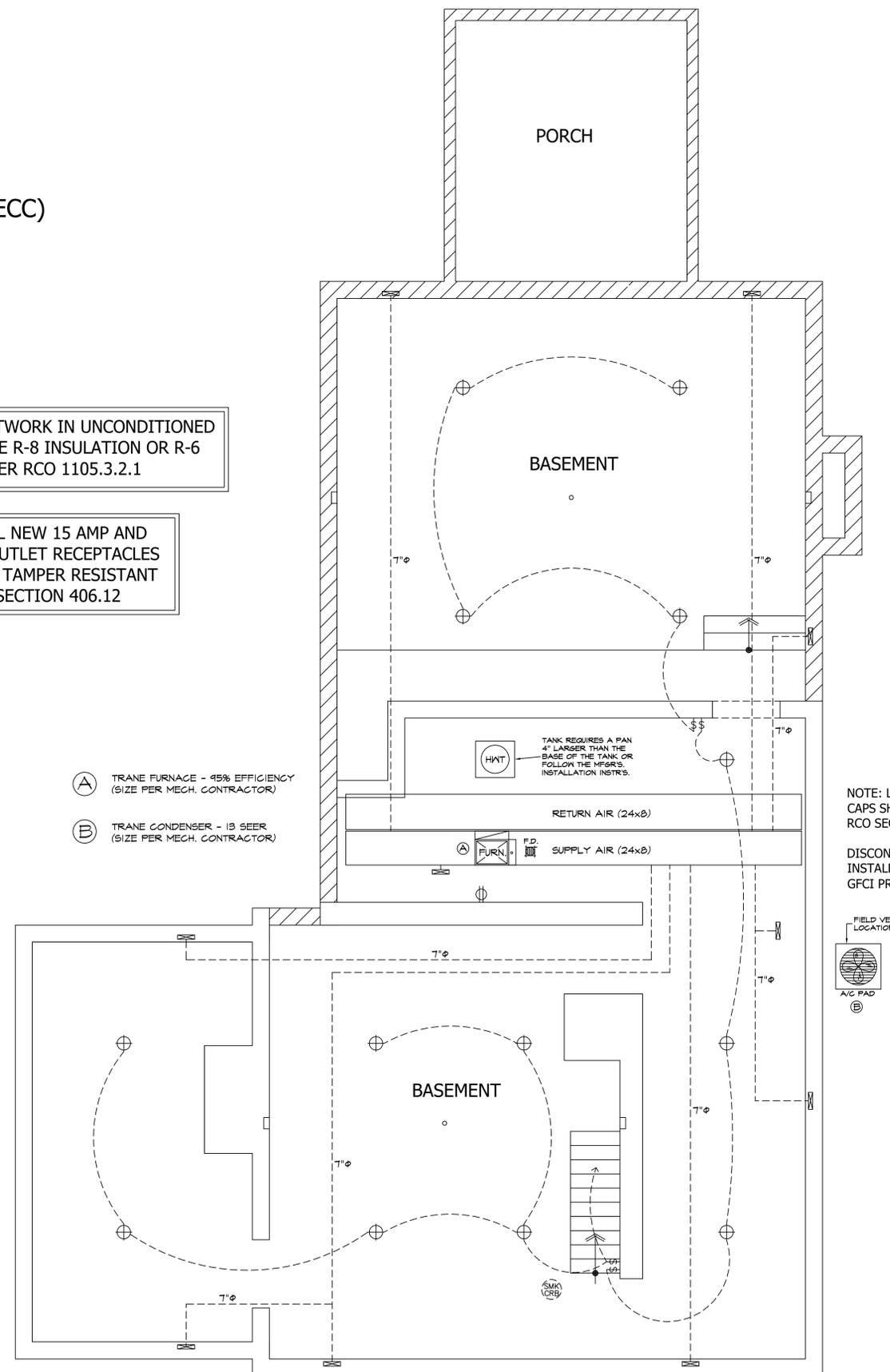
05/16/2024

Zoning Certificate #:

**24-195**

NOTE: ALL DUCTWORK IN UNCONDITIONED SPACES TO HAVE R-8 INSULATION OR R-6 FOR EXHAUST PER RCO 1105.3.2.1

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12



(A) TRANE FURNACE - 95% EFFICIENCY (SIZE PER MECH. CONTRACTOR)

(B) TRANE CONDENSER - 13 SEER (SIZE PER MECH. CONTRACTOR)

NOTE: LOCKING ACCESS PORT CAPS SHALL BE INSTALLED PER RCO SECTION 1411.6

DISCONNECT & OUTLET SHALL BE INSTALLED WITHIN 25' AND BE GFCI PROTECTED T/R OUTLET

**BASEMENT MECHANICAL**  
S: 1/4" = 1'-0"



CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
1772 AURORA STREET  
HUDSON, OH 44236  
**MECHANICAL SCHEMATICS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & SERVICE APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER, THE DESIGN, DRAWINGS AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**M101**

## MECHANICAL NOTES

### RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

### GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

### AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

### SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

### BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

### DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

### ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	110V DUPLEX RECEPTACLE
	SWITCH PLUG
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GFI GROUND FAULT CIRCUIT INTERRUPTER
	WP WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	MALL LIGHT
	CEILING OUTLET (RECESSED FIXTURE)
	CEILING OUTLET (RECESSED EYEBALL FIXTURE)
	EXHAUST FAN
	SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
	CEILING FAN
	FLUORESCENT PANEL

## PLAN DESIGN & CONSTRUCTION CRITERIA BASED ON THE FOLLOWING CODES:

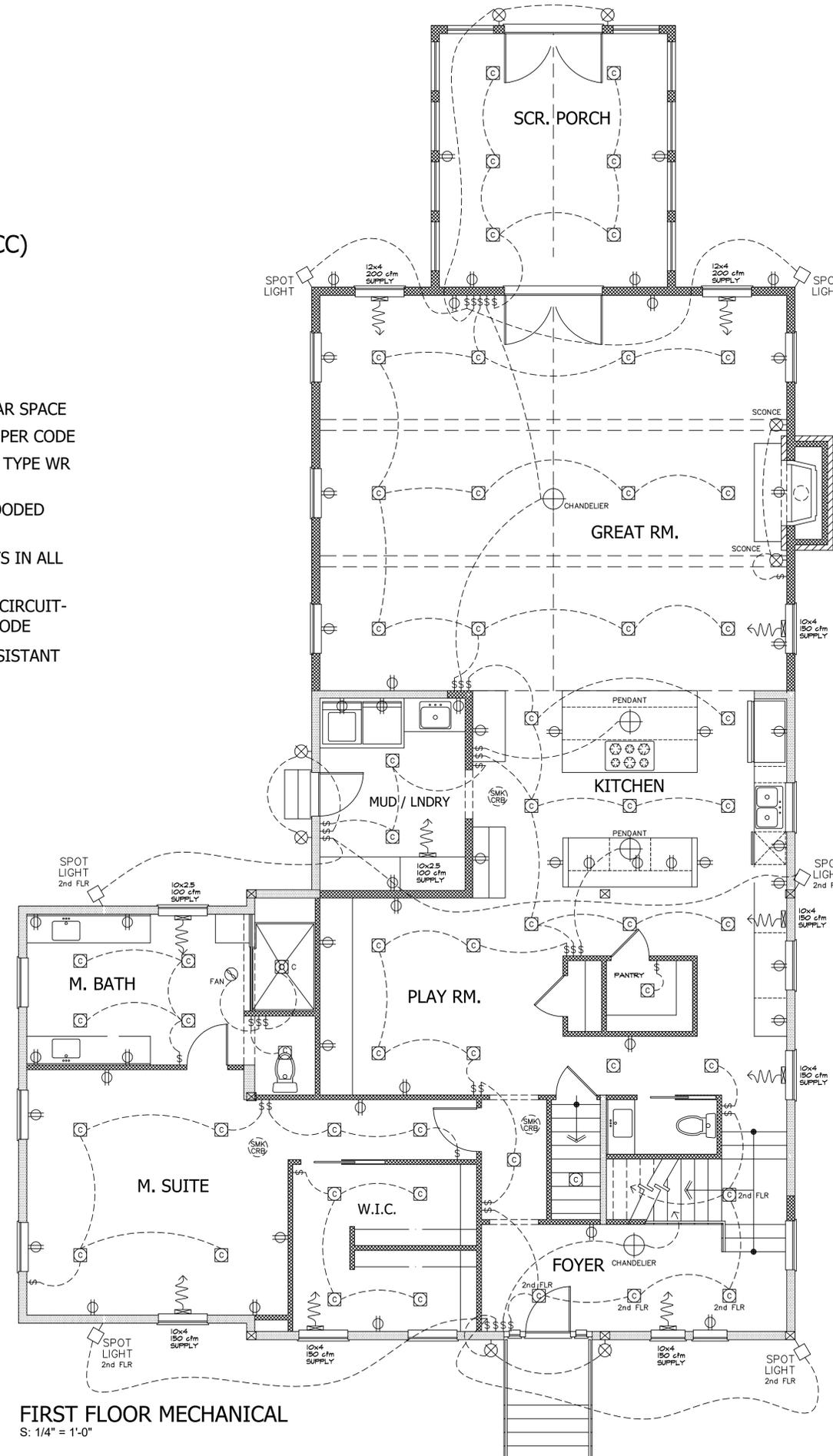
- 2019 Residential Code of Ohio (RCO)
- 2017 National Electric Code (NEC)
- 2017 Ohio Mechanical Code (OMC)
- 2017 Ohio Plumbing Code (OPC)
- 2017 International Energy Conservation Code (IECC)

NOTE: OHIO LICENSED ELECTRICIAN IS REQUIRED TO INSTALL ALL ELECTRICAL ITEMS AS FOLLOWS PER THE NEC:

- NEC 210.52(G)(1) REQUIRES A GFCI OUTLET FOR EACH CAR SPACE
- NEC 210.52(H) REQUIRES HALLWAY OUTLETS INSTALLED PER CODE
- NEC 406.4(D)(6) REQUIRES ALL OUTSIDE OUTLETS TO BE TYPE WR AND GFCI PROTECTED
- NEC 406.5 REQUIRES ALL OUTSIDE OUTLETS TO HAVE HOODED WET LOCATION COVERS
- PER NEC 210.8 ELECTRICIAN MUST INSTALL GFCI OUTLETS IN ALL LOCATIONS LISTED PER CODE
- PER NEC 210.12 ELECTRICIAN MUST INSTALL ARC-FAULT-CIRCUIT-INTERRUPTER OUTLETS IN ALL LOCATIONS LISTED PER CODE
- PER NEC 406.12 ELECTRICIAN MUST INSTALL TAMPER-RESISTANT DEVICES IN ALL LOCATIONS LISTED PER CODE

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12



FIRST FLOOR MECHANICAL  
S: 1/4" = 1'-0"

Approved  
05/16/2024

Zoning Certificate #:  
**24-195**

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
1772 AURORA STREET  
HUDSON, OH 44236  
**MECHANICAL SCHEMATICS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & SERVICE FEES HEREBY  
CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF J. KAPELA CONSTRUCTION, LLC AND  
OWNED SOLELY BY J. KAPELA CONSTRUCTION,  
LLC REGARDLESS OF THEIR BEING PAID FOR  
BY THE CLIENT OR BUILDER. THE DESIGN,  
DRAWING AND / OR PLANS MAY NOT BE  
REPRODUCED, COPIED, REPRODUCED OR SOLD TO  
ANOTHER BUILDER, DESIGNER, ENGINEER,  
ARCHITECT OR PERSON WITHOUT THE WRITTEN  
CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**M102**

## MECHANICAL NOTES

### RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

### GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

### AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

### SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

### BATH FANS / VENTS

ALL BATHROOM EXHAUST FANS SHALL VENT TO THE EXTERIOR AND HAVE A TERMINATION CAP INSTALLED PER RCO SECTION 303.3 EXCEPTION AND 303.5.

### DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

### ELECTRIC SYMBOLS

	SINGLE POLE SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	ANY SWITCH WITH DIMMER
	110V DUPLEX RECEPTACLE
	SWITCH PLUG
	SPECIAL OUTLET
	TELEPHONE OUTLET
	CABLE OUTLET
	GFI GROUND FAULT CIRCUIT INTERRUPTER
	WP WEATHERPROOF
	JUNCTION BOX
	CEILING LIGHT
	MALL LIGHT
	CEILING OUTLET (RECESSED FIXTURE)
	CEILING OUTLET (RECESSED EYEBALL FIXTURE)
	EXHAUST FAN
	SERVICE PANEL (MAY BE RECESSED OR SURFACE MOUNTED)
	CEILING FAN
	FLUORESCENT PANEL

## PLAN DESIGN & CONSTRUCTION CRITERIA

### BASED ON THE FOLLOWING CODES:

2019 Residential Code of Ohio (RCO)

2017 National Electric Code (NEC)

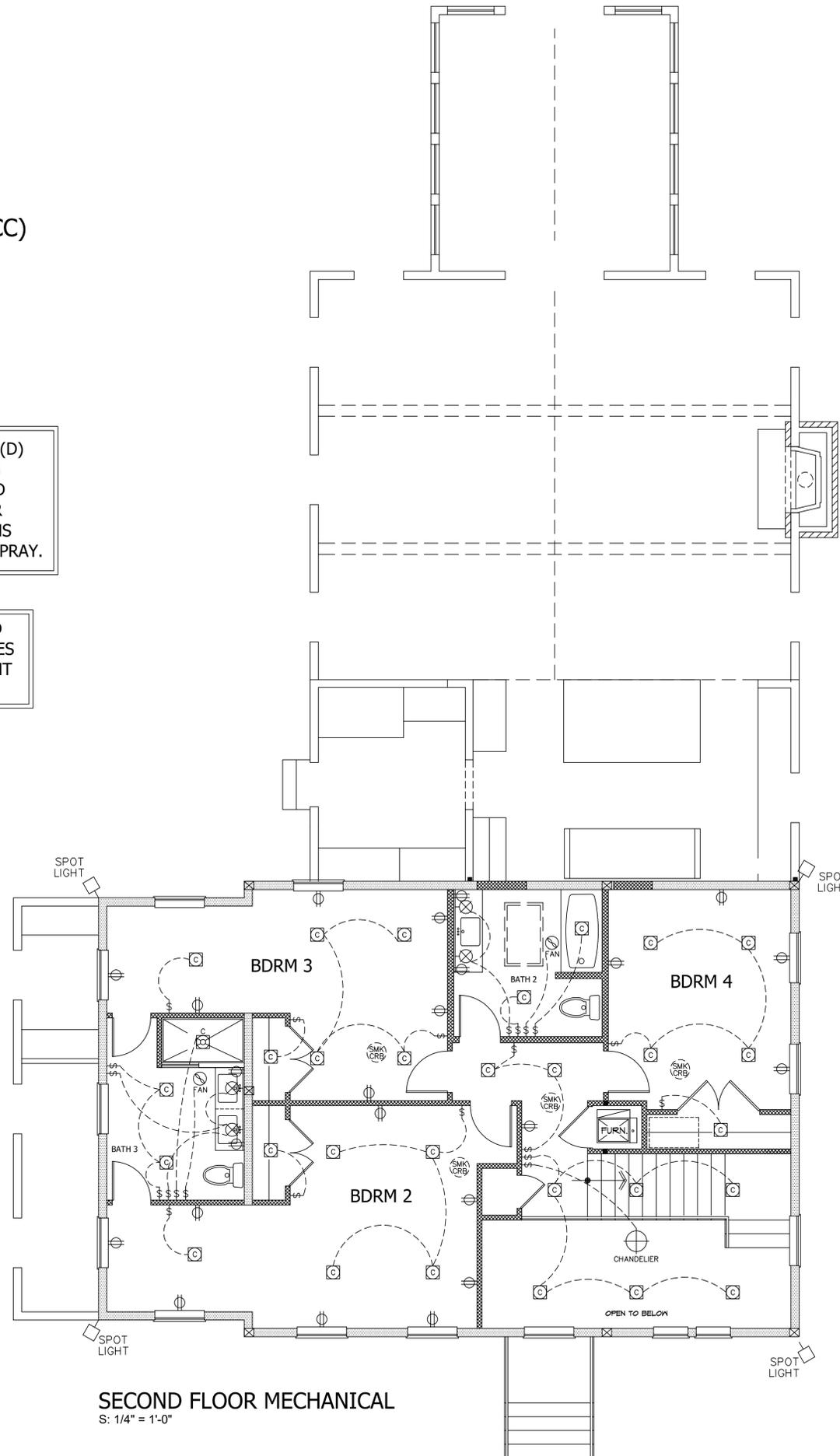
2017 Ohio Mechanical Code (OMC)

2017 Ohio Plumbing Code (OPC)

2017 International Energy Conservation Code (IECC)

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12



SECOND FLOOR MECHANICAL  
S: 1/4" = 1'-0"

Approved

05/16/2024

Zoning Certificate #:

**24-195**

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
1772 AURORA STREET  
HUDSON, OH 44236  
**MECHANICAL SCHEMATICS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHRB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & SERVICE APPEARING HEREIN  
CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF J. KAPELA CONSTRUCTION, LLC AND  
OWNED SOLELY BY J. KAPELA CONSTRUCTION,  
LLC. REGARDLESS OF THEIR BEING PAID FOR  
BY THE CLIENT OR BUILDER. THE DESIGN,  
DRAWINGS AND / OR PLANS MAY NOT BE  
COPIED, REPRODUCED, COPIED OR SOLD TO  
ANOTHER BUILDER, DESIGNER, ENGINEER,  
ARCHITECT OR PERSON WITHOUT THE WRITTEN  
CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**M103**

## FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

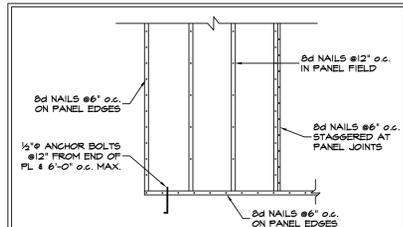
### GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4'S OR (2)2x6'S UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

### WINDOWS:

- ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.
- WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.
- WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

- EGRESS REQUIREMENTS:
- MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
  - MINIMUM NET CLEAR OPENING HEIGHT.....24"
  - MINIMUM NET CLEAR OPENING WIDTH.....20"
  - MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
  - MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
  - REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

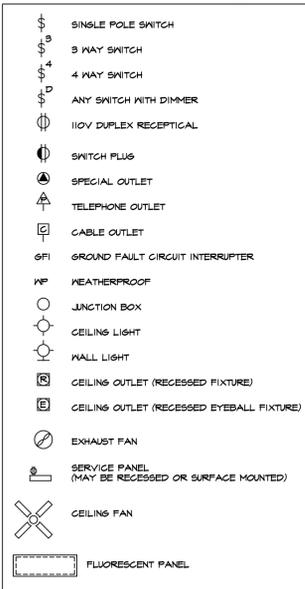


### METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 3/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

### BRACED WALL PANELS (NOT TO SCALE)

### ELECTRIC SYMBOLS



## FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" x 18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

### FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
- (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.
- CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:
  - 24"x24".....(2)#4
  - 30"x30".....(3)#4
  - 36"x36".....(3)#5
  - 42"x42".....(4)#5
  - 48"x48".....(4)#5
  - 60"x60".....(5)#5
  - 72"x72".....(6)#5

### POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

## ELECTRICAL NOTES

### RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

### GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

### AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

### DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12

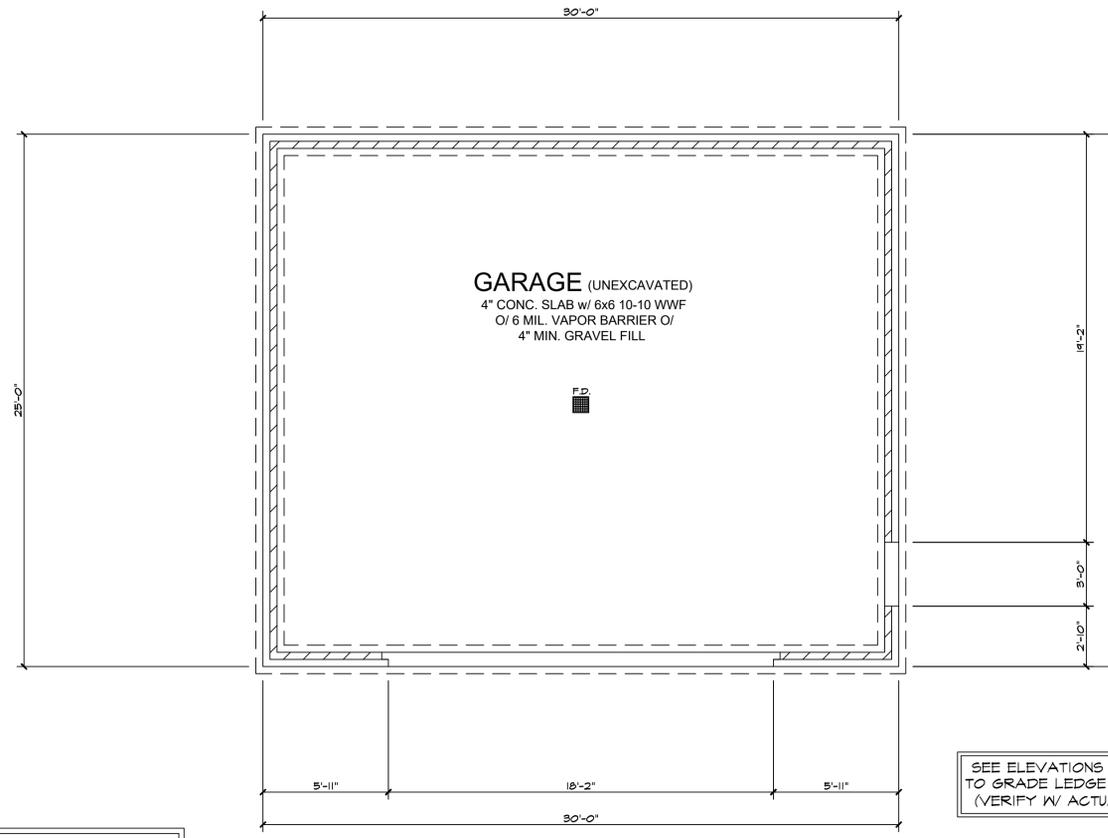


Approved

05/16/2024

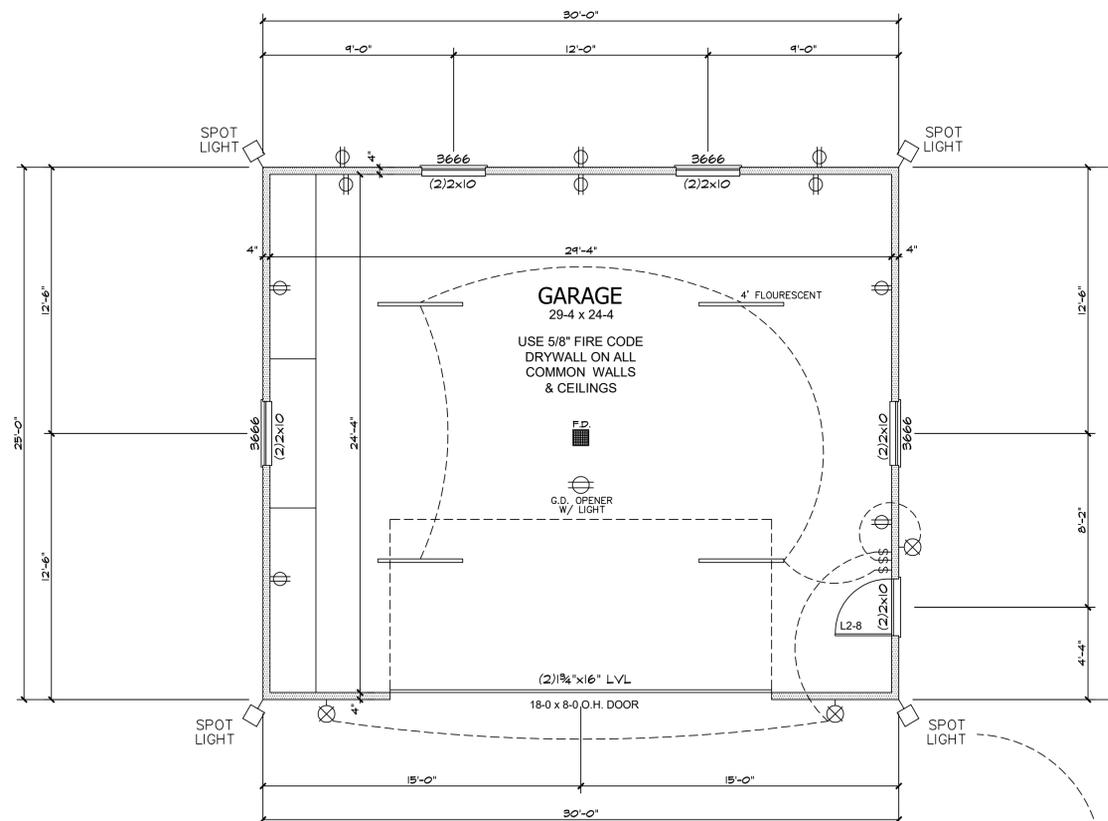
Zoning Certificate #:

24-195



FOUNDATION PLAN  
S: 1/4" = 1'-0"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FIRST FLOOR PLAN  
S: 1/4" = 1'-0"



CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

FINAL PERMIT  
PLANS 4/29/24

MOORHEAD RESIDENCE  
1772 AURORA STREET  
HUDSON, OH 44236  
GARAGE & POOL HOUSE PLANS

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

4-29-24

COPYRIGHT 2024  
ALL DESIGN & SERVICE APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWINGS AND / OR PLANS MAY NOT BE REPRODUCED, COPIED, REPRODUCED, OR USED BY ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

G101

Approved

05/16/2024

Zoning Certificate #:

**24-195**

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**ROOF NOTES**

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

**SHINGLES:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

**SHEATHING:**

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 5/16" OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

**OVER-LAY RAFTERS:**

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"  
USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"  
USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"  
USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

**LIVE LOADS:**

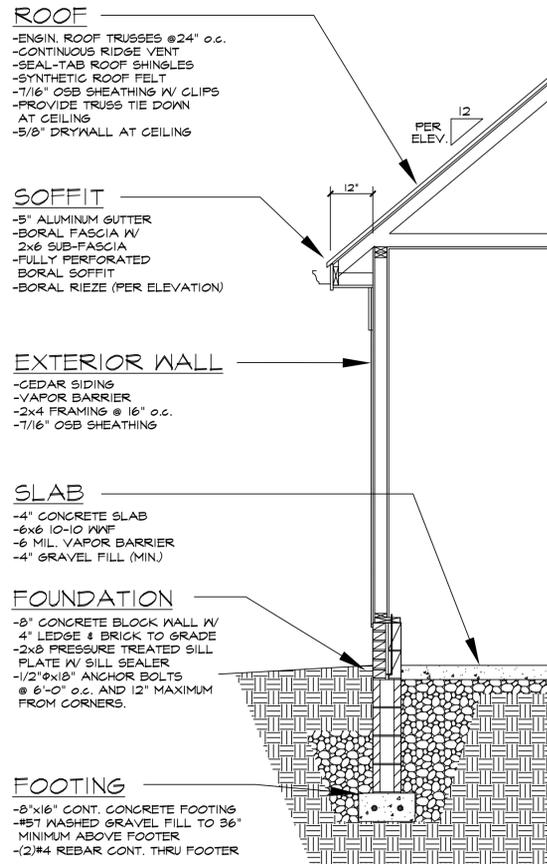
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:  
ROOF/SNOW.....25psf ATTIC.....20psf  
FIRST FLOOR.....40psf SECOND FLOOR.....40psf  
BALCONIES.....60psf BASIC WIND SPEED.....90mph

**POINT LOADS:**

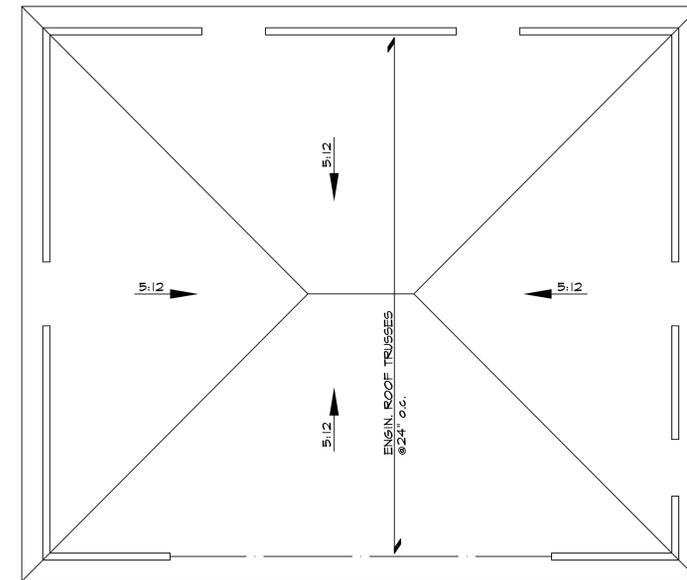
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



**TYP. WALL SECTION**

S: 1/2" = 1'-0"



**ROOF PLAN**  
S: 1/4" = 1'-0"

**MOORHEAD RESIDENCE**  
172 AUJORA STREET  
HUDSON, OH 44236  
**ROOF PLAN PLAN & TYP. WALL SECTION**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & DRAWING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER, THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**G102**

# ELEVATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

## GENERAL:

-GRADE SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

## SHINGLES:

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

## ATTICS:

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

## TRUSSES:

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

## WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

EGRESS REQUIREMENTS:  
 MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

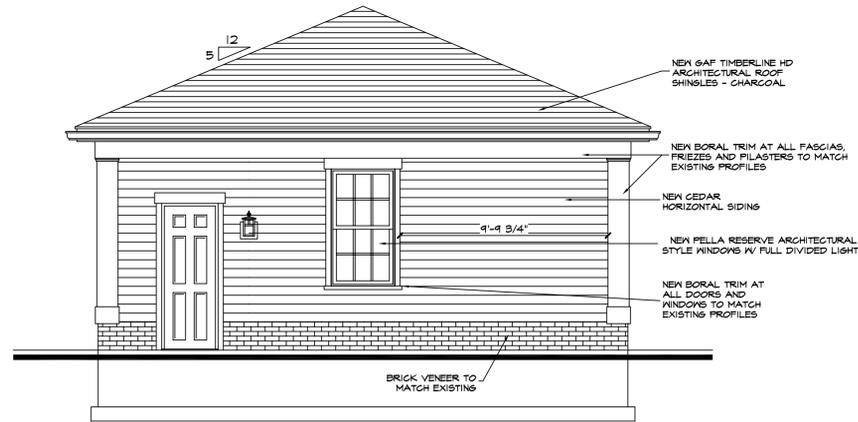
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



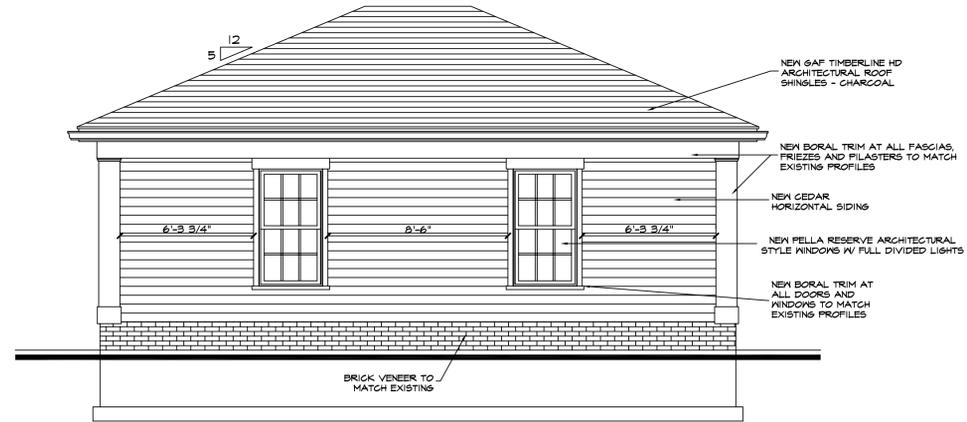
Approved

05/16/2024

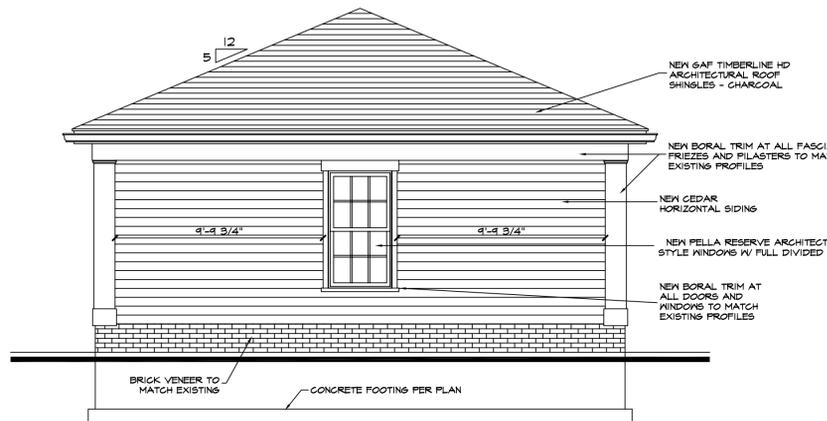
Zoning Certificate #:  
**24-195**



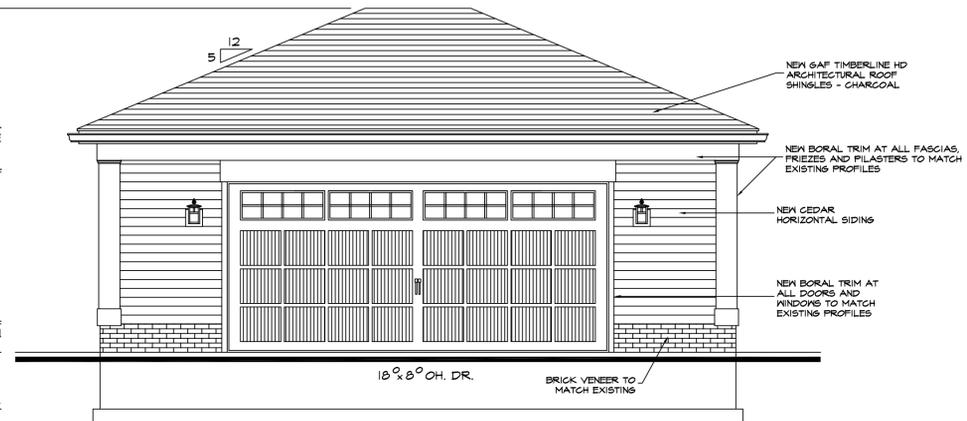
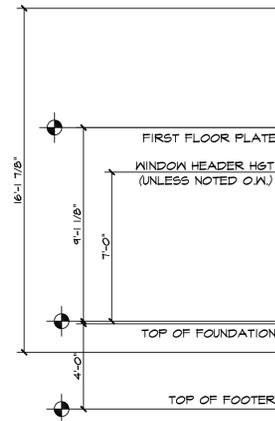
**RIGHT SIDE ELEVATION**  
 S: 1/4" = 1'-0"



**REAR ELEVATION**  
 S: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
 S: 1/4" = 1'-0"



**FRONT ELEVATION**  
 S: 1/4" = 1'-0"



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
 www.jkapela.com

**FINAL PERMIT  
 PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
 1772 AUPORA STREET  
 HUDSON, OH 44236  
**GARAGE EXTERIOR ELEVATIONS**

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
 ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**G201**

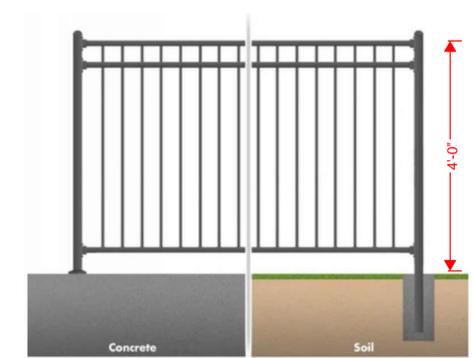
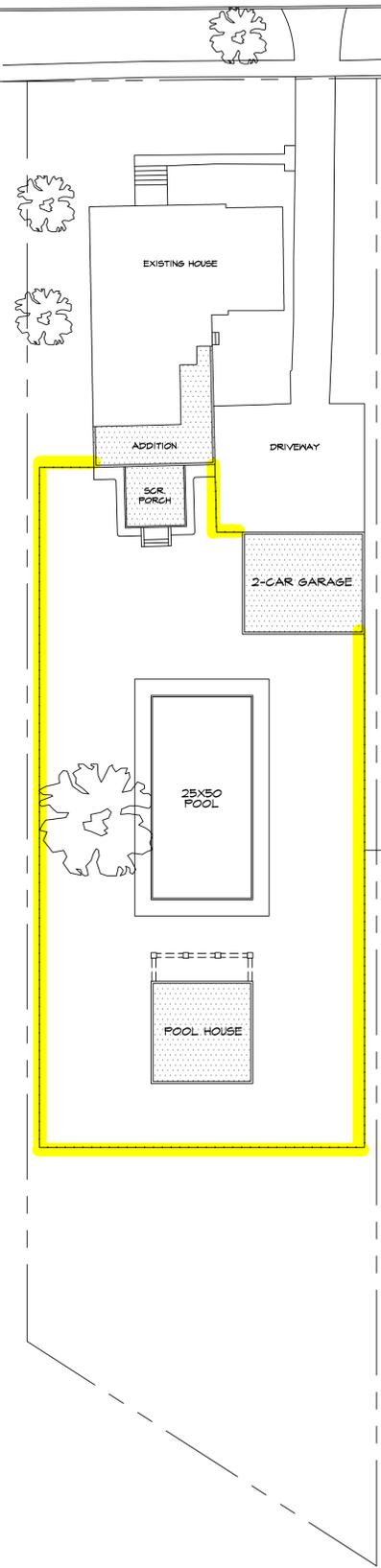
Approved

05/16/2024

Zoning Certificate #:

**24-195**

AURORA STREET (60' R/W)



LINE OF FENCE ENCLOSURE  
BASIS OF DESIGN: 4'-0" HT. BLACK  
ALUMINUM FENCE

FENCE DETAIL  
N.T.S.

 FENCE ENCLOSURE PLANS  
S: 1" = 20'-0"

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
172 AURORA STREET  
HUDSON, OH 44236  
**FENCE ENCLOSURE PLANS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & SERVICE APPEARING HEREIN  
CONSTITUTE THE ORIGINAL AND UNPUBLISHED  
WORK OF J. KAPELA CONSTRUCTION, LLC AND  
OWNED SOLELY BY J. KAPELA CONSTRUCTION,  
LLC. REGARDLESS OF THEIR BEING PAID FOR  
BY THE CLIENT OR BUILDER. THE DESIGN,  
DRAWINGS AND / OR PLANS MAY NOT BE  
COPIED, REPRODUCED, COPIED, ISSUED OR  
ANOTHER BUILDER, DESIGNER, ENGINEER,  
ARCHITECT OR PERSON WITHOUT THE WRITTEN  
CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**P100**

## FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

- ALL WALLS ARE DIMENSIONED STUD-TO-STUD.
- ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
- ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.
- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4'S OR (2)2x6'S UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
- POINT LOADS ARE REPRESENTED BY (●)

### WINDOWS:

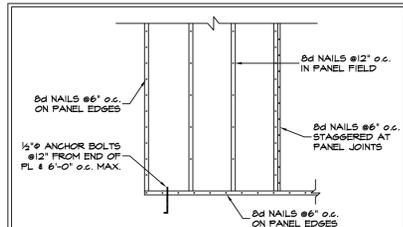
ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

### EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....	44"
MINIMUM NET CLEAR OPENING HEIGHT.....	24"
MINIMUM NET CLEAR OPENING WIDTH.....	20"
MINIMUM NET CLEAR OPENING SQUARE FEET.....	5.7
MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....	5.0
REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.	

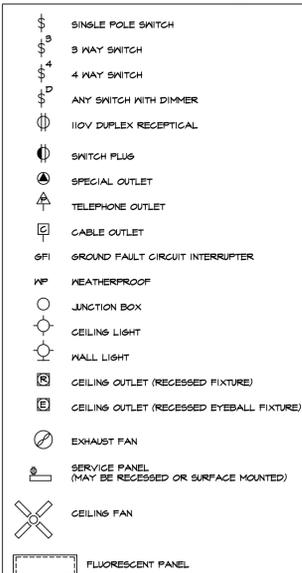


### METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 3/4" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.3(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

### BRACED WALL PANELS (NOT TO SCALE)

### ELECTRIC SYMBOLS



## FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" x 18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

### FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
- (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
- ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
- ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
- ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.
- CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:
 

24"x24"	(2)#4
30"x30"	(3)#4
36"x36"	(3)#5
42"x42"	(4)#5
48"x48"	(4)#5
60"x60"	(5)#5
72"x72"	(6)#5

### POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

## ELECTRICAL NOTES

### RECEPTACLE LOCATIONS:

PER NEC SECTION 210.52 AND 210.52(A)(1) - REQUIRES ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6'-0" FROM A RECEPTACLE OUTLET.

### GFCI LOCATIONS:

PER NEC SECTION 210.8 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, EXTERIOR WALLS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS ABOVE COUNTER TOP HEIGHT, BOAT HOUSES, AND ANY ROOM WITH A SINK WHERE THE OUTLET IS WITHIN SIX FEET OF THE SINK SHALL BE GROUND-FAULT CIRCUIT INTERRUPTER TYPE.

### AFCI LOCATIONS:

PER NEC SECTION 210.12 - ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN ANY ROOM, CLOSET, HALLWAY, CEILING, ETC. OF THE HOUSE SHALL BE ARC-FAULT CIRCUIT INTERRUPTER TYPE EXCEPT WHERE GFCI LOCATIONS SUPERCEDE LISTED IN THE NOTE ABOVE PER NEC SECTION 210.8.

### DISCLAIMER:

ALL HVAC, PLUMBING & ELECTRICAL SCHEMATICS ARE SUGGESTED. BUILDER AND/OR OWNER IS RESPONSIBLE FOR FINAL LAYOUTS THAT COMPLY WITH ALL LOCAL AND STATE BUILDING CODES. BUILDER AND/OR OWNER FULLY UNDERSTAND THAT J. KAPELA DESIGNS, INC. IS NOT A MECHANICAL ENGINEER AND ASSUMES NO RESPONSIBILITY FOR MECHANICAL SYSTEM INSTALLATIONS AND/OR ANY ISSUES RELATED TO THEIR INSTALLATION.

NOTE: ALL NEW 15 AMP AND 20 AMP OUTLET RECEPTACLES SHALL BE TAMPER RESISTANT PER NEC SECTION 406.12



Approved

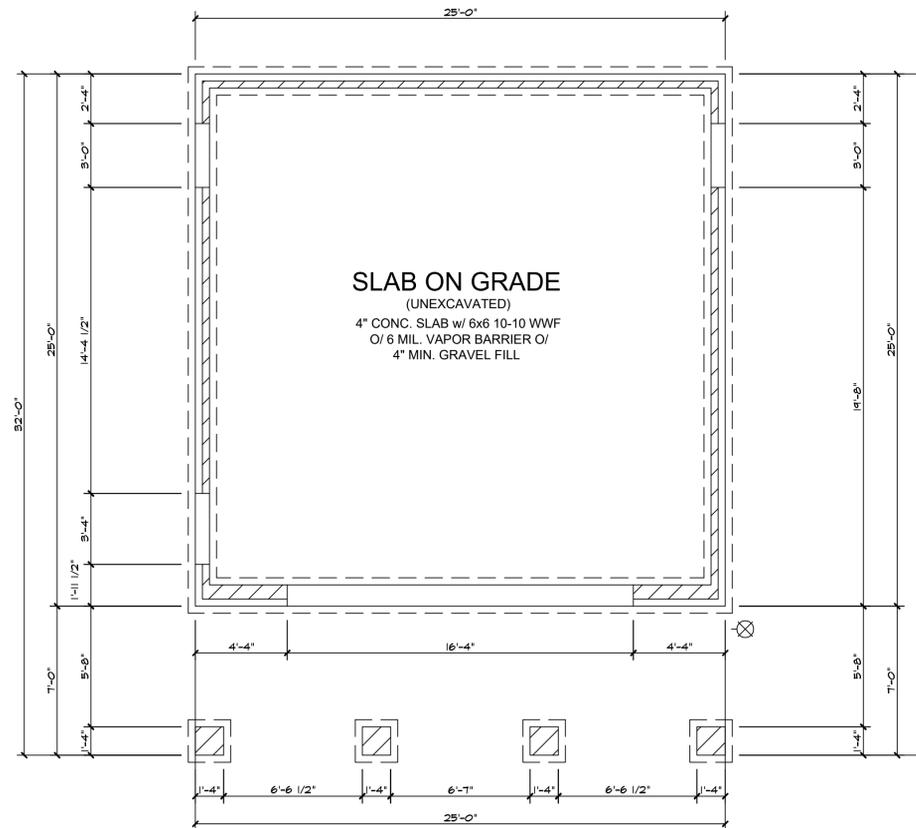
05/16/2024

Zoning Certificate #:

24-195

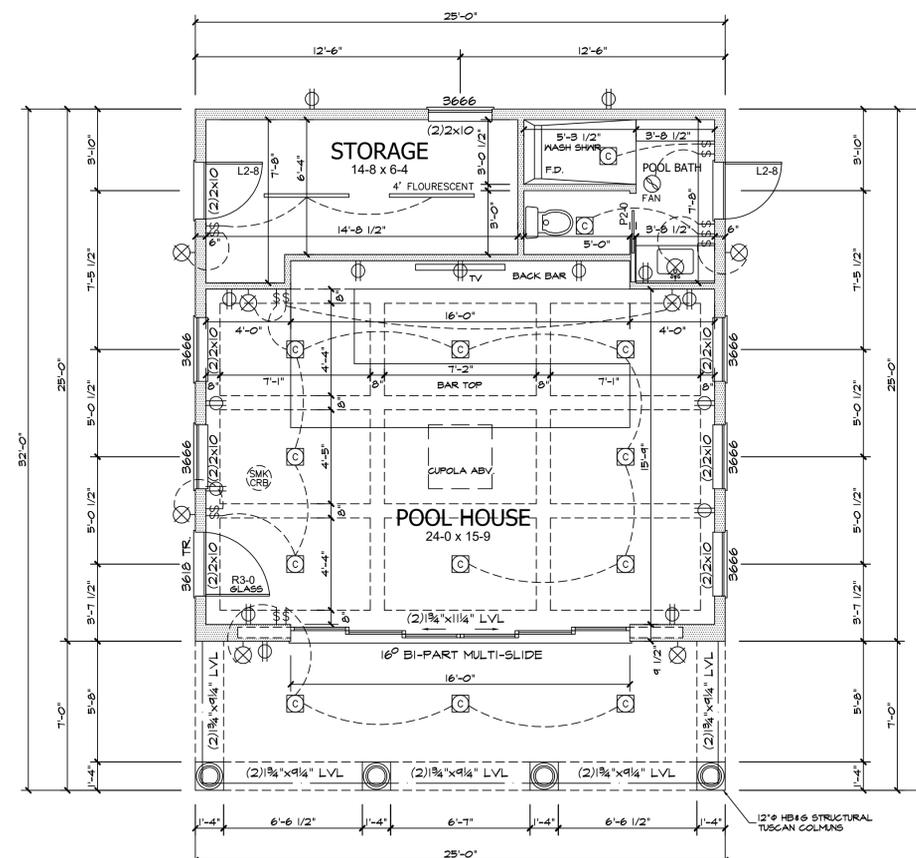
SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES

NOTE: PER NEC SECTION 410(D) ALL BATHROOM LIGHTING FIXTURES SHALL BE LISTED FOR DAMP LOCATIONS, OR LISTED FOR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY.



SLAB ON GRADE  
(UNEXCAVATED)  
4" CONC. SLAB w/ 6x6 10-10 WWF  
0/6 MIL. VAPOR BARRIER 0/  
4" MIN. GRAVEL FILL

FOUNDATION PLAN  
S: 1/4" = 1'-0"



FIRST FLOOR PLAN  
S: 1/4" = 1'-0"



CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

FINAL PERMIT  
PLANS 4/29/24

MOORHEAD RESIDENCE  
172 AUPORA STREET  
HUDSON, OH 44136  
POOL HOUSE PLANS

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHRB SUBMISSION

4-29-24

COPYRIGHT 2024  
ALL DESIGN & SERVICE APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWINGS AND / OR PLANS MAY NOT BE REPRODUCED, COPIED, REPRODUCED, OR USED BY ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

P101

Approved

05/16/2024

Zoning Certificate #:

**24-195**

**ROOF NOTES**

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

**SHINGLES:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

**SHEATHING:**

EXTERIOR WALLS & ROOF SHALL BE CONTINUOUSLY SHEATHED WITH MIN. 7/16" OSB OR PLYWOOD PER SECTION R602.10. NAILED W/ 8d NAILS AT 6" o.c. AT ALL PANEL EDGES AND 12" o.c. AT INTERMEDIATE SUPPORTS

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

**OVER-LAY RAFTERS:**

USE 2x4's @24" o.c. FOR SPANS UP TO.....6'-0"  
USE 2x6's @24" o.c. FOR SPANS UP TO.....9'-0"  
USE 2x8's @24" o.c. FOR SPANS UP TO.....12'-0"  
USE 2x10's @24" o.c. FOR SPANS UP TO.....15'-0"

**LIVE LOADS:**

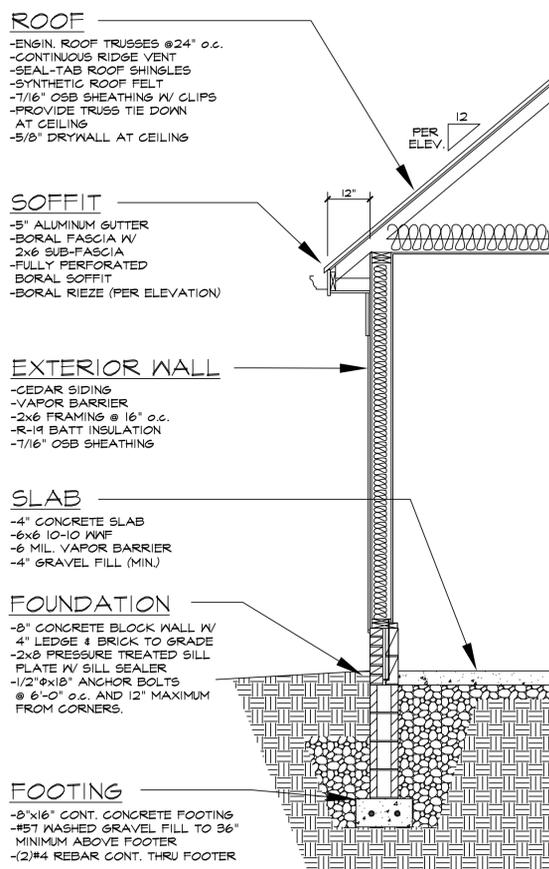
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING LOADS:  
ROOF/SNOW.....25psf    ATTIC.....20psf  
FIRST FLOOR.....40psf    SECOND FLOOR.....40psf  
BALCONIES.....60psf    BASIC WIND SPEED.....90mph

**POINT LOADS:**

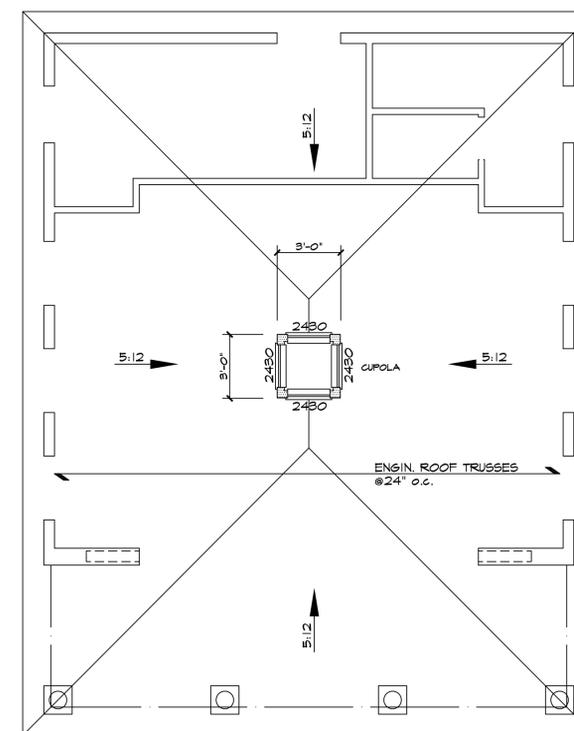
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



**TYP. WALL SECTION**  
S: 1/2" = 1'-0"

NOTE: SOME ITEMS DRAWN IN THIS TYPICAL WALL SECTION ARE DIAGRAMMATIC AND NOT NECESSARILY TO THE EXACT SCALE OR PITCH. PLEASE REFER TO TYPED NOTES ALONG SIDE & TYPED DIMENSIONS.



**ROOF PLAN**  
S: 1/4" = 1'-0"

CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
172 AURORA STREET  
HUDSON, OH 44236  
**ROOF PLAN & TYP. WALL SECTION**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHPB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & DRAWING APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF THEIR BEING PAID FOR BY THE CLIENT OR BUILDER. THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**P102**

Approved

05/16/2024

Zoning Certificate #:

**24-195**

**ELEVATION NOTES**

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

**GENERAL:**  
GUTTERS SHALL HAVE A MINIMUM OF 6" FALL AWAY FROM THE STRUCTURE WITHIN THE FIRST 10' PER RCO SECTION 401.3.

-ALL CHIMNEYS SHALL EXTEND PAST ANY ROOF THAT IS WITHIN 10'-0" OF THE CHIMNEY BY A MINIMUM OF 2'-0".

-IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO CHOOSE ALL SIDING COLORS, TRIM SIZES AND ANY FALSE VENTS.

**SHINGLES:**

ROOF SHINGLES SHALL BE APPLIED OVER A MINIMUM OF ONE PLY OF #15 FELT. FELT SHALL BE LAID PARALLEL TO THE EAVES, WITH A 2" TOP LAP AND 4" END LAP. MINIMUM ROOF SLOPE NO LESS THAN 1/4" / FT. ICE GUARD AND WATERSHIELD AT ALL EAVES AND VALLEYS. ICE GUARD SHALL BE INSTALLED A MINIMUM OF 24" MEASURED FROM THE INSIDE OF THE EXTERIOR WALL PER RCO SECTION 905.2.7.2.

**ATTICS:**

ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATING AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND RAIN.

REFER TO ROOF PLAN SHEET FOR VENTING CALCULATIONS.

**TRUSSES:**

ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNERS RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT J. KAPELA DESIGNS, INC. IN ORDER TO UPDATE THE DRAWINGS.

**WINDOWS:**

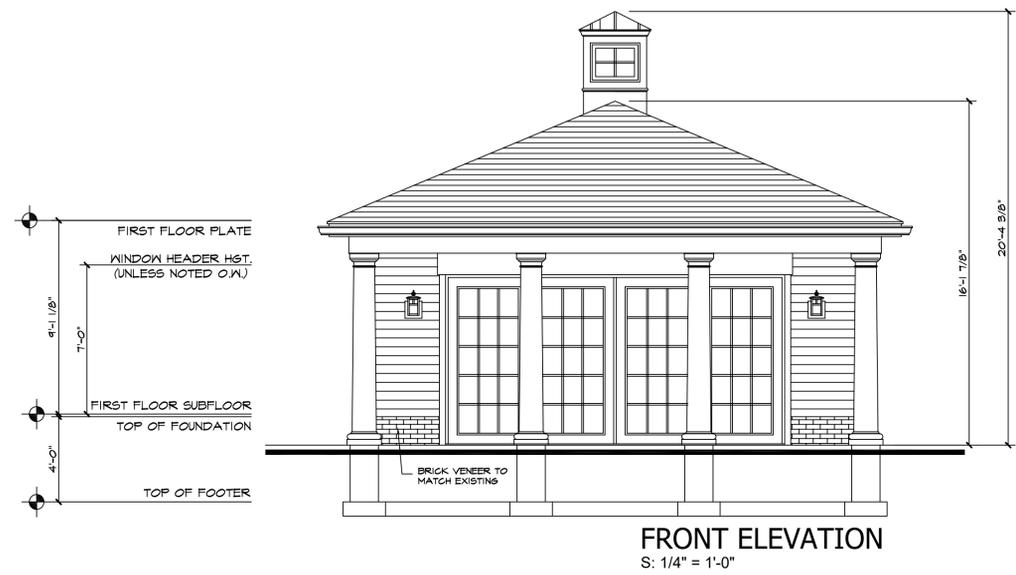
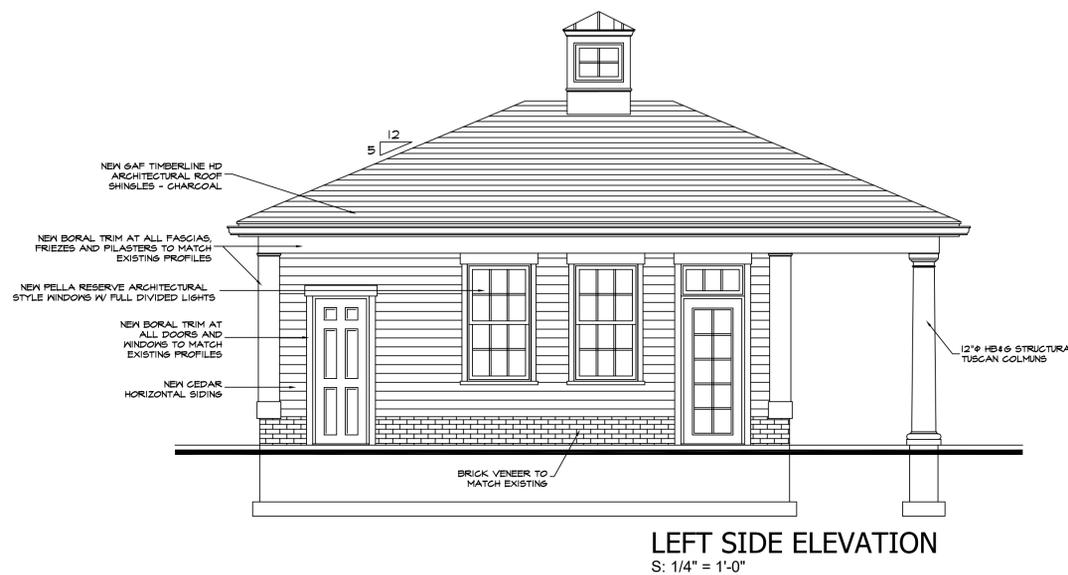
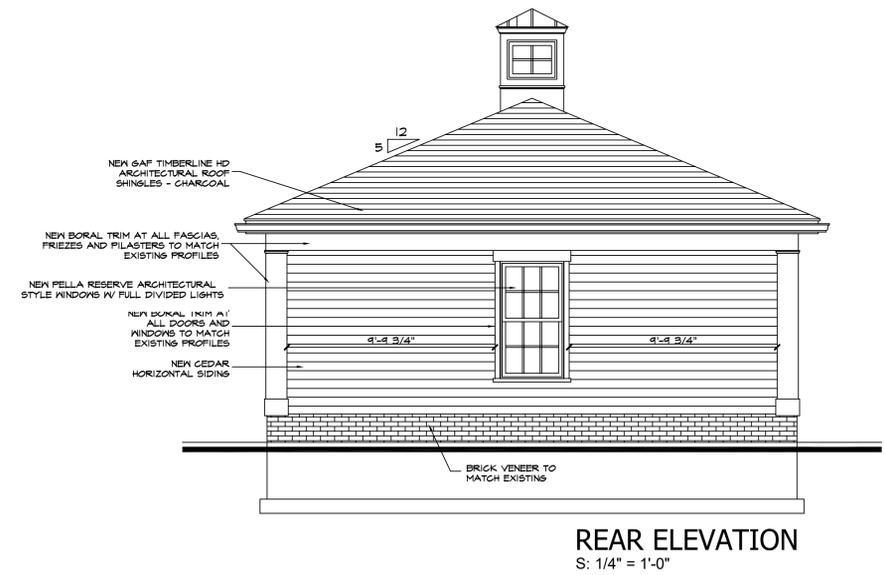
ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 36" HORIZONTALLY & 60" VERTICALLY OF A TUB OR SHOWER MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

**EGRESS REQUIREMENTS:**  
MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
MINIMUM NET CLEAR OPENING HEIGHT.....24"  
MINIMUM NET CLEAR OPENING WIDTH.....20"  
MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



CONTACT:  
J. KAPELA DESIGNS & CONST.  
4302 John Avenue  
Cleveland, Ohio 44113  
216-465-2123  
www.jkapela.com

**FINAL PERMIT  
PLANS 4/29/24**

**MOORHEAD RESIDENCE**  
1772 AURORA STREET  
HUDSON, OH 44236  
**POOL HOUSE EXTERIOR ELEVATIONS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHRB SUBMISSION

**4-29-24**

COPYRIGHT 2024  
ALL DESIGN & DRAWING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF J. KAPELA CONSTRUCTION, LLC AND OWNED SOLELY BY J. KAPELA CONSTRUCTION, LLC. REGARDLESS OF WHETHER PAID FOR BY THE CLIENT OR BUILDER, THE DESIGN, DRAWING AND / OR PLANS MAY NOT BE COPIED, REPRODUCED, COPIED OR SOLD TO ANOTHER BUILDER, DESIGNER, ENGINEER, ARCHITECT OR PERSON WITHOUT THE WRITTEN CONSENT OF J. KAPELA CONSTRUCTION, LLC.

JOB # 2023-45

**P201**

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
 Approved  
05/16/2024  
Zoning Certificate #:  
**24-195**





172

HUDSON  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
Approved  
05/16/2024  
Zoning Certificate #:  
24-195



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
 Approved  
05/16/2024  
Zoning Certificate #:  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved  
05/16/2024

Zoning Certificate #:  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
 Approved  
05/16/2024  
Zoning Certificate #:  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
Approved  
05/16/2024  
Zoning Certificate #  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved  
05/16/2024

Zoning Certificate #:  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
Approved  
05/16/2024  
Case No. 24-195



City of HUDSON  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
 Approved  
05/16/2024  
Zoning Certificate #:  
24-195



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved  
05/16/2024

Zoning Certificate #:  
**24-195**



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT  
 Approved  
05/16/2024  
Zoning Certificate #:  
**24-195**



# Spec sheet for Boral Trim

**TruExterior**<sup>®</sup>  
Siding & Trim

## INSTALLATION INSTRUCTIONS

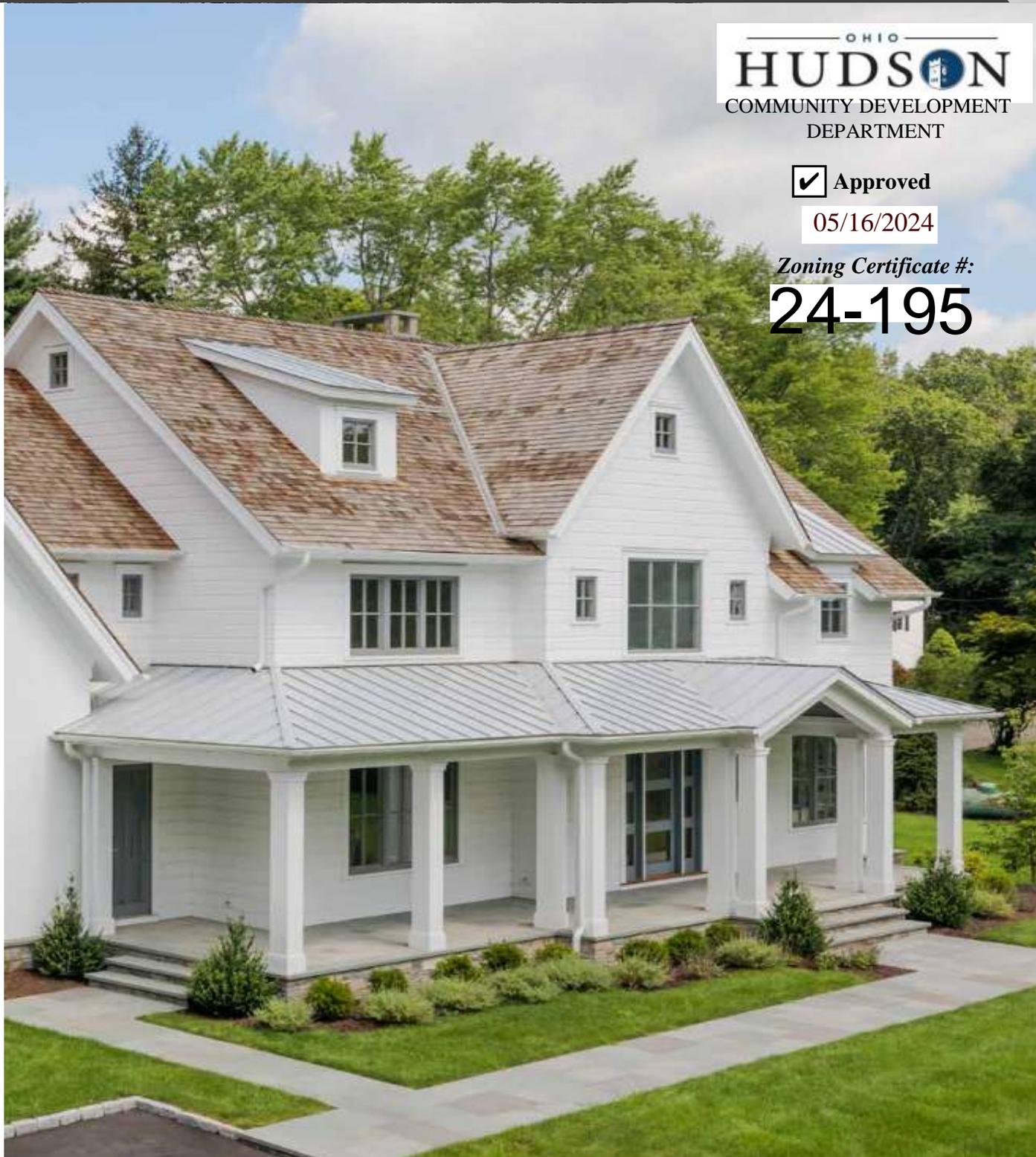
OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

05/16/2024

Zoning Certificate #:

**24-195**



# Spec sheet for Boral Trim

## INTRODUCTION TO TRUExTERIOR SIDING & TRIM

TruExterior Siding & Trim is made with an innovative poly-ash material that is highly resistant to moisture and termites, and offers a high level of dimensional stability. It cuts and installs with carbide woodworking tools and meets or exceeds most code requirements. For additional information, visit the resources page on [TruExterior.com](http://TruExterior.com).



Approved

05/16/2024

Zoning Certificate #:

24-195



## MATERIALS & TOOLS

### Materials

- TruExterior Siding
- TruExterior Trim
- Drainable weather-resistant barrier
- Flashing, flashing tape
- 6D or 8D stainless steel or hot-dipped hand-driven or pneumatic ring shank nails
- 15 gauge finish nails (5/8, 1X and 5/4 trim only)
- High-grade exterior caulk
- Exterior acrylic paint or solid color stain

### Tools

- Carbide woodworking tools
- Tape measure
- Eye protection
- Respirator
- Gloves

## STORAGE AND HANDLING

- Product must be stored flat on a level surface in a clean, dry location (**Fig. 1**).
- Keep product wrapped and protected from the elements until ready for installation (**Fig. 1**).
- Installing product wet or saturated may result in gapping at joint locations.

## APPLICATIONS

TruExterior Siding and Trim offer exceptional durability in virtually any application. It's an ideal choice for hot, freezing, windy and wet climates. Take precaution and avoid installing product in areas of standing water.

### Approved for:

- Ground contact
- Contact with masonry or brick

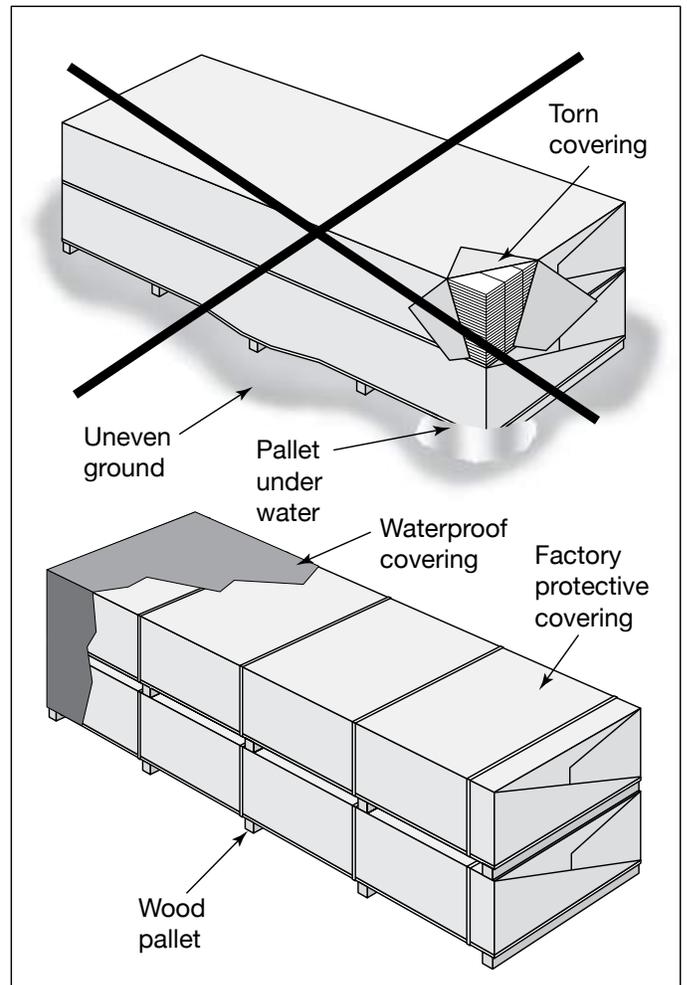


Fig. 1

# Spec sheet for Boral Trim

## APPROVED WALL PREPARATION

### Traditional Wood Framed Walls

- TruExterior Siding must be installed on frame-built walls with studs spaced 16 in. O.C. or, at most, 24 in. O.C. (**Fig. 2**).
- The wall may be sheathed with O.S.B. panels depending on local codes. TruExterior Siding must be fastened at the locations of the studs (**Fig. 2**).

## MANAGING MOISTURE

- Always install a drainable weather-resistant barrier according to local building code requirements (**Fig. 3**).
- Avoid installing product in standing water or areas that can stop water from draining away from the building.

### Installing Flashing

- Prepare your step flashing along roof and wall lines using your weather barrier, flashing tape or z-flashing as counter flashing (**Fig. 3**).
- Allow a minimum 1/2" clearance between the siding and the roof line to help prevent debris from building up (**Fig. 3**).
- Install window and door flashing per window and door manufacturer guidelines.
- Siding may be installed right up against the trim and sealed with a high-grade exterior caulk.
- Appropriate color-matched aluminum flashing or 30 lb. felt strips can be used behind all butt joints to reduce water infiltration.

## CUTTING TRUEXTERIOR SIDING & TRIM

**Safety Note:** When cutting or shaping, avoid breathing dust. Use only outdoors or in a well-ventilated area. In case of inadequate ventilation, use respiratory protection. Always wear eye protection.

### Installation Advantages:

- TruExterior Siding & Trim can be installed anywhere wood, engineered wood and fiber cement siding and trim products are used.
- TruExterior Siding can be cut, drilled and routed using carbide saw blades and woodworking tools to achieve custom shapes.
- Unlike other wood, engineered wood and fiber cement products, there is no need to prime or paint end-cuts or field-cut edges.

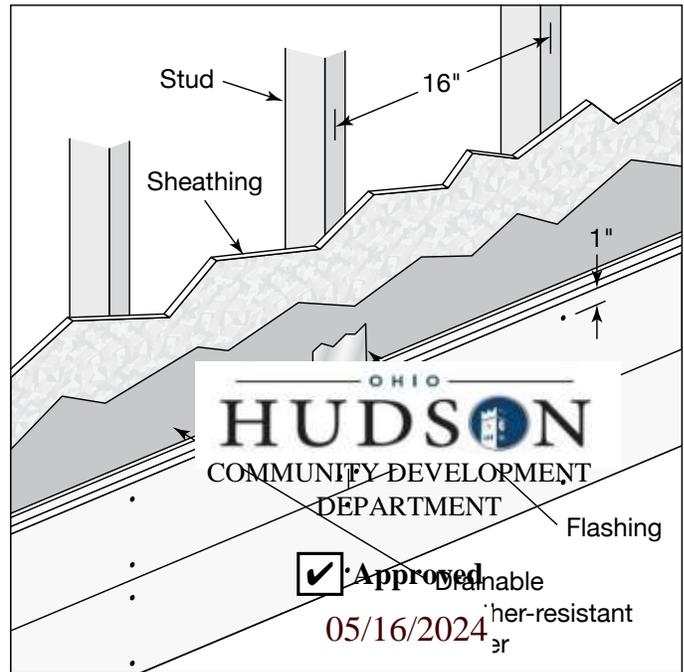


Fig. 2

Zoning Certificate #:

24-195

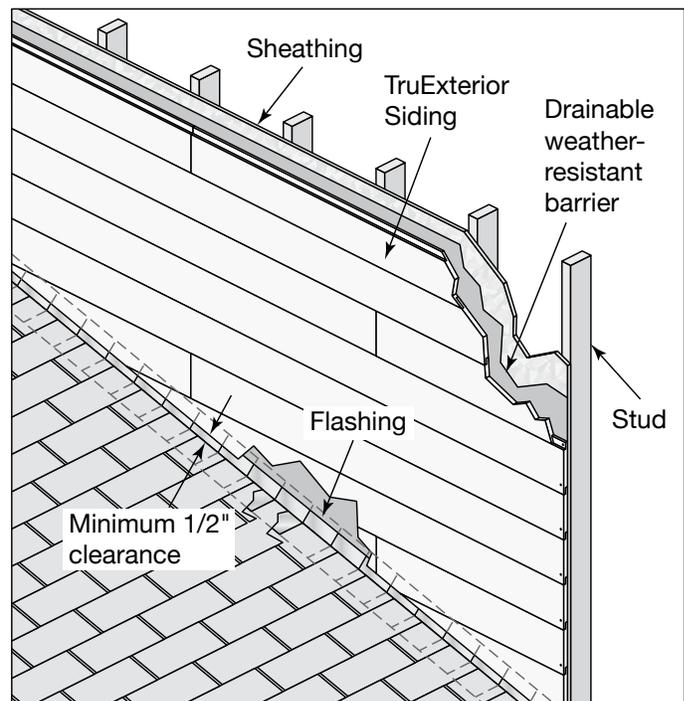


Fig. 3

# Spec sheet for Boral Trim

## INSTALLING TRUEXTERNAL SIDING

**Note:** Ensure boards are dry and free from moisture before installing.

### Spacing

- Joints can be installed butted together with no gap.

### Nailing TruExterior Siding

- Use 6D or 8D stainless steel or hot-dipped ring shank nails to meet wind load requirements stated in the Intertek CCRR-0300 report. Check your local code requirements.
- Make sure your nail gun is set to drive the nail head even/flush with the surface of the siding.
- Fasteners should be spaced 16" to 24" and penetrate each stud at least 1-1/4" deep.
- If installing over foam insulation sheathing, make sure the length of your nail is adjusted to ensure it penetrates each stud at least 1-1/4" deep.
- For 4", 6" and 8" profiles use 2 fasteners per every framing member. Both fasteners should be through the face of the profile. Product should not be fastened through the tongue (Fig. 4a & 4b).
- For 10" profiles use 3 fasteners per every framing member. All fasteners should be through the face of the profile. Product should not be fastened through the tongue (Fig. 4b).
- When installing TruExterior in situations where fasteners are unable to penetrate solid framing, fasten into a minimum 7/16 O.S.B. or 15/32 plywood no more than 12" apart along the length of the siding.

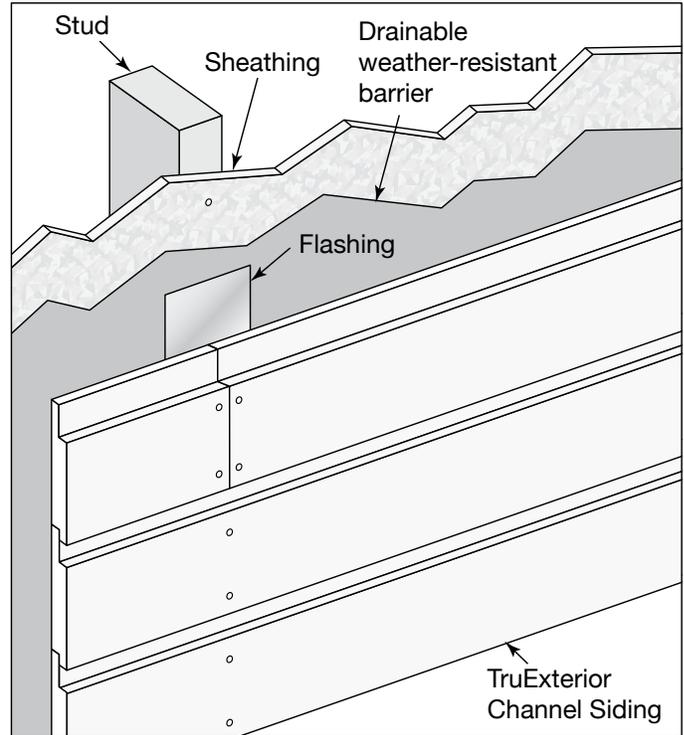


Fig. 4a

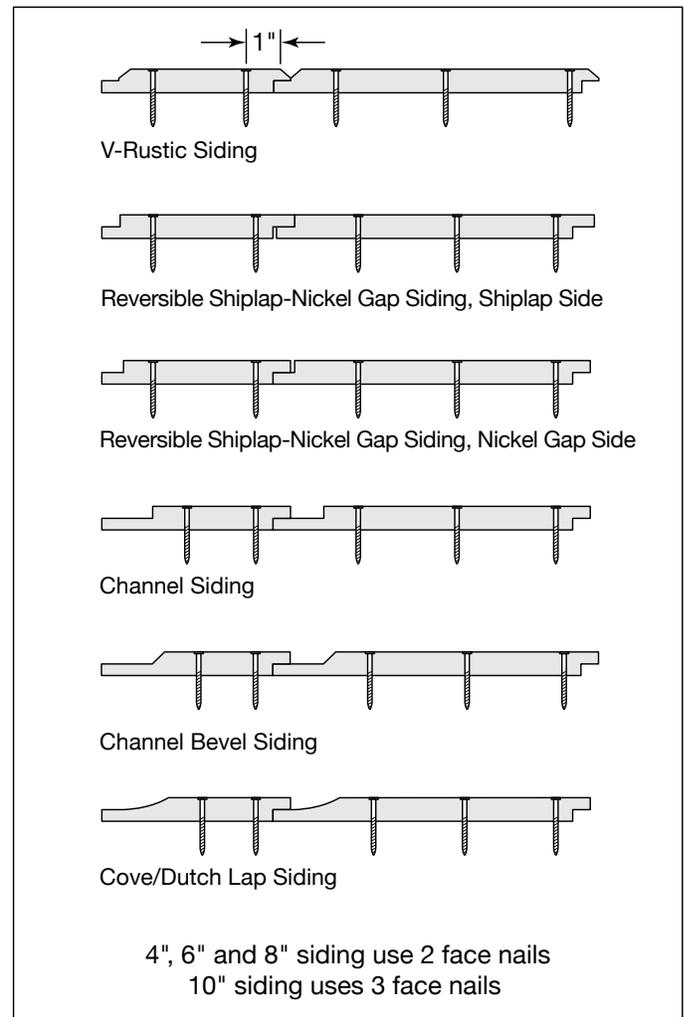


Fig. 4b

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

**Approved**

05/16/2024

Zoning Certificate #:

**24-195**

# Spec sheet for Boral Trim

## HOW TO HANG TRUEXTERIOR SIDING

### Installation Methods

TruExterior Siding can be installed in two orientations to enhance the curb appeal of a home—traditional horizontal application or vertical application.

Follow the nailing guidelines to help ensure a successful installation.

### Horizontal Application

- Always stagger your butt joints over stud locations (**Fig. 5**).
- Siding may be installed tight against the trim at the ends of each course.
- Where a course of siding runs underneath a window, you must face nail every 8" and cover the nail head with high-grade exterior caulk or wood filler.
- Seal all vertical joints along window and door edges with a high-grade exterior caulk per the manufacturer's guidelines.
- See Nailing TruExterior Siding and **Fig. 4b** on page 4 for fastening instructions.



✓ Approved

05/16/2024

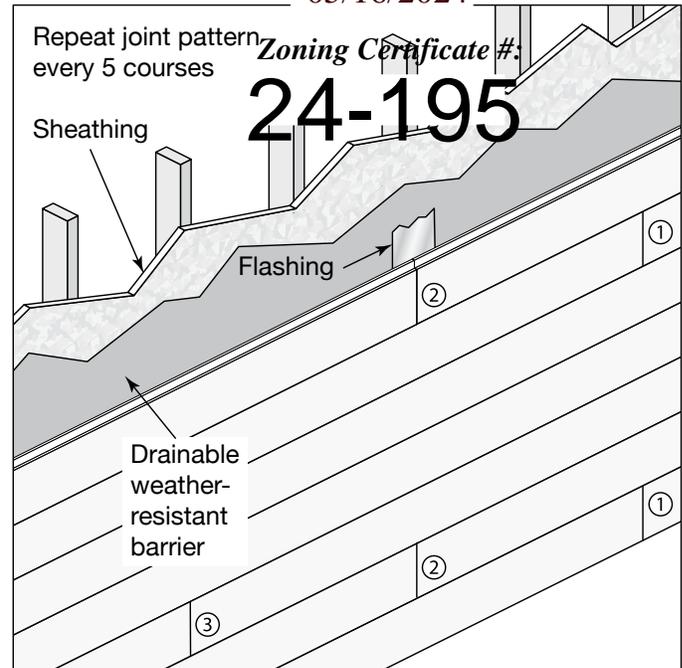


Fig. 5

### Vertical Applications

- When installing TruExterior in a vertical orientation, make sure to install flashing above windows, doors and roof lines as usual.
- In situations where the height of the home requires more than one piece of siding installed vertically, create a "belly band" trim joint with a piece of 1"x4", 1"x6" or 1"x8" trim (depending on preference) and z-flashing above and below (**Fig. 6**).
- Fasten each piece of siding through the face no less than 3/4" from the edge and no more than 12" along the length of both sides of the siding.
- Install a frieze board trim piece with flashing along the top edges of the siding under the soffits.
- See Nailing TruExterior Siding and **Fig. 4b** on page 4 for fastening instructions.

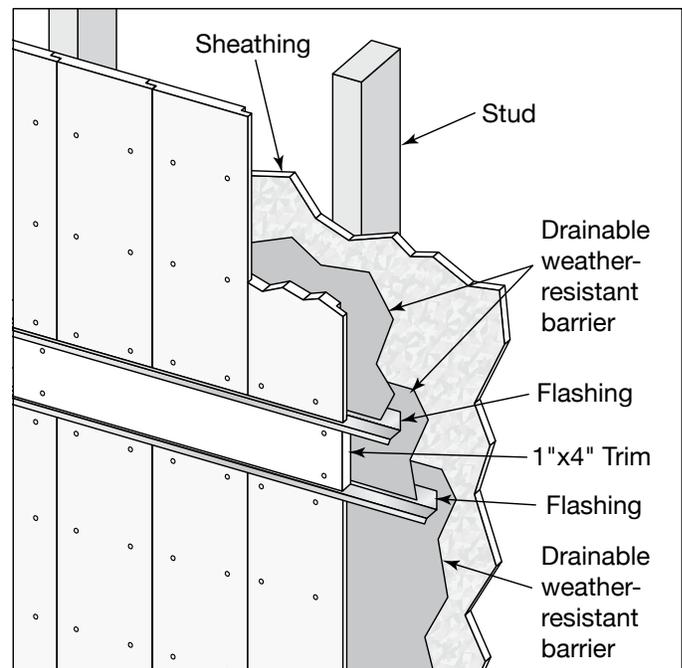


Fig. 6

# Spec sheet for Boral Trim

## INSTALLING TRUEXTERIOR TRIM

**Note:** *TruExterior Trim should never be used for structural or load-bearing applications.*

- When installing TruExterior Trim, allow the top trim pieces to extend to the edges of the vertical trim pieces. The bottom trim should fit between the two vertical side pieces (**Fig. 7**).
- Nail the trim pieces in place within 2" of the edge of the trim piece using approved fasteners (**Fig. 8**).
- Use 2 nails every 16" along the length of the trim piece. For trim 10" or wider, use 3 nails across the trim piece spaced every 16" along the length.
- On long trim runs, use butt joints cut at 30- to 45-degree angles (**Fig. 8**).

**Note:** *TruExterior Trim may be installed directly over bricks or other masonry exteriors. When using TruExterior as fascia, a sub-fascia is required (**Fig. 8**).*



Approved

05/16/2024

Zoning Certificate #:  
**24-195**

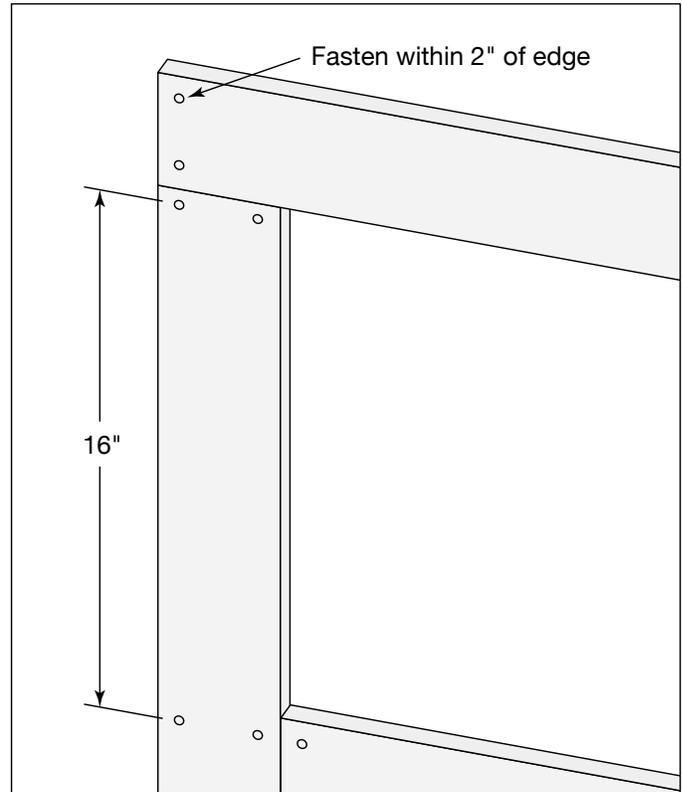


Fig. 7

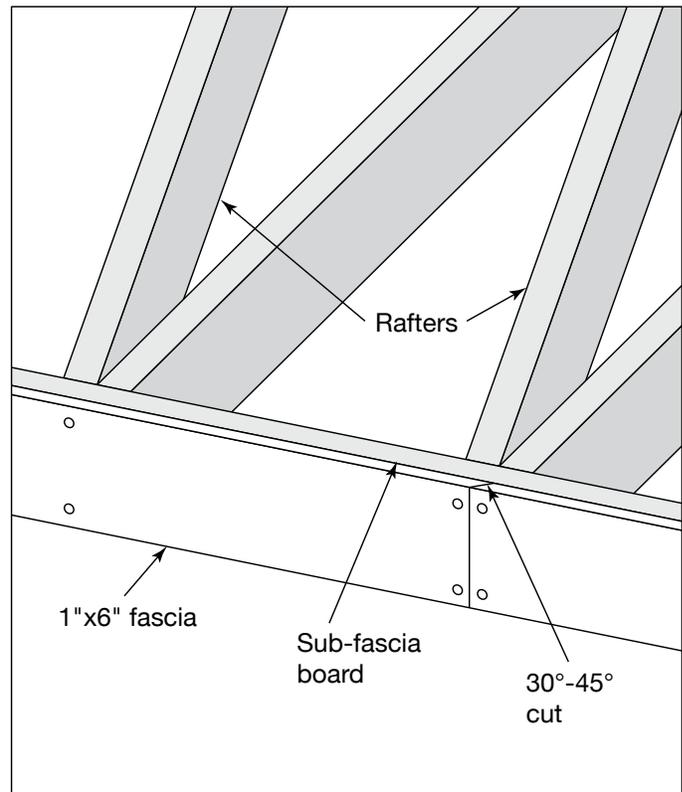


Fig. 8



# America's #1-selling shingle just got better — again

Now featuring a 25-Year Limited Warranty against  
blue-green algae discoloration\*

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

05/16/2024

Zoning Certificate #:

**24-195**



Now with GAF Time-Release Algae-Fighting Technology and LayerLock™ Technology, Timberline HDZ<sup>®</sup> offers everything you can expect from an architectural shingle roof, and more.\*

\* See reverse for details





# Timberline HDZ<sup>®</sup> Shingles

## Benefits:

- **LayerLock™ Technology** mechanically fuses the common bond between overlapping shingle layers.
- The added strength at the common bond powers the **StrikeZone™** — The industry's widest nailing area.
- **Up to 99.9% nailing accuracy** — The StrikeZone™ nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test.<sup>3</sup>
- **Up to 30% faster nail fastening** thanks to the industry's largest nail zone.<sup>3</sup>
- **Dura Grip™** sealant pairs with the smooth microgranule surface of the StrikeZone™ nailing area for fast tack. Then, an asphalt-to asphalt monol bond cures for durability, strength, exceptional wind uplift performance.
- **WindProven™ Limited Wind Warranty<sup>2</sup>** — When installed with the required combination of GAF Accessories, Timberline HDZ<sup>®</sup> Shingles are eligible for an industry first: a wind warranty with no maximum wind speed limitation.
- **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.<sup>1</sup>



**Approved**

05/16/2024

**Zoning Certificate #:**  
**24-195**

## Installation:



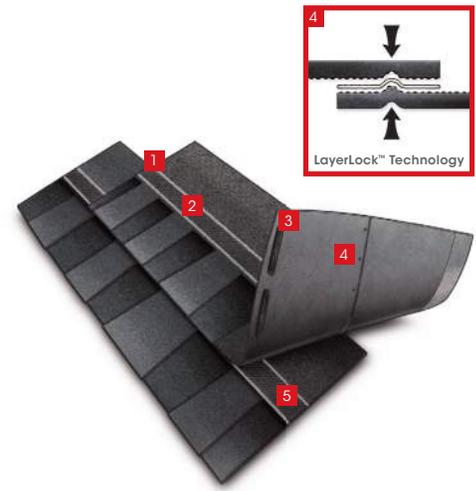
### The StrikeZone™ Nailing Area

The industry's largest nailing area for up to 99.9% nail placement accuracy.<sup>2</sup>



### LayerLock™ Technology

Proprietary technology mechanically fuses the common bond between overlapping shingle layers.



1. Alignment guide
2. StrikeZone™ Nailing Area
3. Dura Grip™ Adhesive
4. LayerLock™ Technology
5. Smooth microgranule surface



Visit [gaf.com/TimberlineHDZ](https://gaf.com/TimberlineHDZ)

<sup>1</sup> 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions.

<sup>2</sup> 15-year WindProven™ limited wind warranty on Timberline HDZ<sup>®</sup> Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit [gaf.com/LRS](https://gaf.com/LRS) for qualifying GAF products.

<sup>3</sup> Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HD<sup>®</sup> Shingles to Timberline HDZ<sup>®</sup> Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

We protect what matters most™



# Pella Reserve Window Specifications

## Pella® Reserve™ Traditional Wood & Clad/Wood



Approved

05/16/2024

Zoning Certificate #:  
**24-195**

Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Historical details**  
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**  
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**  
 Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**  
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**  
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**  
 The award-winning Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**  
 To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified<sup>1</sup>**  
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**  
 All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty<sup>2</sup>**  
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>2</sup>

Available in these window and patio door styles:



<sup>1</sup>Special shape windows also available.

<sup>2</sup>See back cover for disclosures.

## Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-1/4"	13-1/4"	59"	59"	LC30 - CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Casement	13-1/4"	13-1/4"	47"	108"	R35-CW50	0.25-0.29	0.18-0.47	27-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Double-Hung	14"	24-3/4"	48"	96"	CW30-CW50	0.25-0.30	0.19-0.53	28-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-1/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-1/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Sliding Patio Door (O)	30-1/4"	74"	60-1/4"	119-1/2"	LC40-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC35-LC65	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC30-LC45	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OXXD)	116-1/4"	74"	236-1/4"	119-1/2"	LC25-LC40	0.29-0.32	0.15-0.42	-	
Multi-Slide Patio Door	40-1/4"	50-1/4"	701-1/2"	119-1/2"	R15-LC25 <sup>1</sup>	0.30 - 0.36	0.15 - 0.46	31	
Bifold Patio Door	31-1/4"	55-1/2"	312"	119-1/2"	R15-LC25 <sup>1</sup>	0.26-0.44	0.13-0.45	-	For more info visit PellaADM.com

Window sizes available in 1/8" increments  
 Special sizes available. For more information regarding performance, visit [pella.com/performance](http://pella.com/performance). For more information regarding frame and installation types, visit [PellaADM.com](http://PellaADM.com).

## Grilles

Integral Light Technology\*

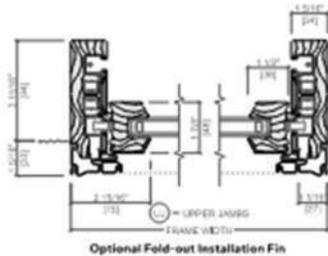
Choose the look of true divided light without sacrificing energy performance.



7/8" Grilles

## Cross Sections

Cross Sections



The double putty exterior architect

OHIO  
**HUDSON**  
 COMMUNITY DEVELOPMENT  
 DEPARTMENT

Approved

05/16/2024

<sup>1</sup> See back cover for disclosures.

Zoning Certificate #:  
**24-195**

**Window Hardware**

**Classic Collection**

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank  
Antik



Spoon-Style Lock

Finishes:



**Rustic Collection**

Create a distinct and charming look with distressed finishes.

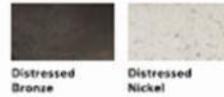


Fold-away Crank  
Antik



Spoon-Style Lock

Finishes:



**Essential Collection**

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:



**Patio Door Hardware**

**Classic Collection**

Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.

BALDWIN



Hinged & Bifold Patio Door Handle  
Vintage



Sliding & Multi-Slide Patio Door Handle  
Antique



Multi-Slide Patio Door Handle\*\*

Finishes:



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

te your style and transform a home with elegant selections.



Hinged & Bifold Patio Door Handle  
Standard



Sliding Patio Door Handle  
Standard



Multi-Slide Patio Door Handle\*\*

Finishes:



**Approved**

05/16/2024

Zoning Certificate #: available. Visit PellaADM.com for more information.

\*\* See back cover for disclosures.

**24-195**

## Colors

### Wood Types

Choose the wood species that best complements your project's interior.



Pine

#### Custom solutions:



Douglas Fir

Mahogany

White Oak

Red Oak

Cherry

Maple

### Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Natural Stain



Golden Oak Stain



Early American Stain



Provincial Stain



Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Charcoal Stain



Black Stain

### Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad<sup>®</sup> exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.<sup>2</sup>



Black



White



Brown



Fossil



Iron Ore



Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green



Pearl Gray



Soft Linen



Satin Steel



Matte Gray



Wolf Gray



Spice Red



Sage



Frost Blue



Blue Ash



Custom colors are also available.

### Added Peace of Mind

#### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella<sup>®</sup> Insynctive<sup>®</sup> App and are compatible with major security panel systems.<sup>6</sup> For more information, go to [connectpella.com](http://connectpella.com).



#### The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.<sup>7</sup>

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

05/16/2024

Zoning Certificate #:  
**24-195**

Pella products may not meet ENERGY STAR<sup>®</sup> guidelines in Canada. For more information, contact your local Pella sales representative or go to [energyguide.ca](http://energyguide.ca).  
Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty) or contact Pella Customer Service.

- <sup>1</sup> Ratings are contingent on product configuration.
- <sup>2</sup> Color matched to your product's interior and exterior color.
- <sup>3</sup> Flush multi-slide handle is a Pella exclusive design.
- <sup>4</sup> Flush multi-slide handle is not available in Champagne.
- <sup>5</sup> EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.
- <sup>6</sup> Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

172 Aurora St.  
Hudson, Oh. 44236  
Pella Reserve  
Sun Room Windows

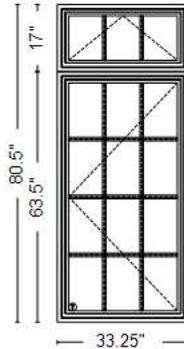


Approved

03/28/2025

Zoning Certificate #:

24-195



Viewed from the Exterior

Quote Number: 19256514

Line Number: 15

Quote Qty: 5

Scaling: 1/2" = 1'

Description: Pella Reserve, Traditional Casement, Pella Reserve, Awning, 33.25 X 80.5, White

Rough Opening: 34" X 81.25"

**Performance Information:** U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-11-24315-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 27, OITC 23, Clear Opening Width 23.5, Clear Opening Height 59.375, Clear Opening Area 9.689671, Egress Meets minimum clear opening and 5.7 sq.ft

**Performance Information:** U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-30-14553-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 27, OITC 23, Egress Not Applicable

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.

\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: Porch Enclosure

Project Name: Moorhead Res - J Kapela

Jobsite Location: ,

Room Location: Patio

Sales Branch Location: 27600 Gunton Corp Ohio Division

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

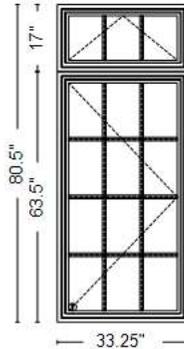


Approved

03/28/2025

Zoning Certificate #:

24-195



Viewed from the Exterior

Quote Number: 19256514

Line Number: 20

Quote Qty: 5

Scaling: 1/2" = 1'

Description: Pella Reserve, Traditional Casement, Pella Reserve, Awning, 33.25 X 80.5, White

Rough Opening: 34" X 81.25"

**Performance Information:** U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-11-24315-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 27, OITC 23, Clear Opening Width 23.5, Clear Opening Height 59.375, Clear Opening Area 9.689671, Egress Meets minimum clear opening and 5.7 sq.ft

**Performance Information:** U-Factor 0.29, SHGC 0.25, VLT 0.46, CPD PEL-N-30-14553-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 27, OITC 23, Egress Not Applicable

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.

\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: Porch Enclosure

Project Name: Moorhead Res - J Kapela

Jobsite Location: ,

Room Location: Patio

Sales Branch Location: 27600 Gunton Corp Ohio Division

# Customer Approval Form:

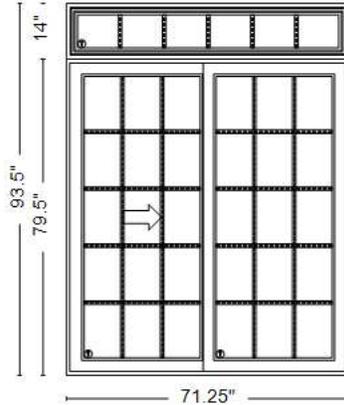
Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Approved  
03/28/2025

Zoning Certificate #:

24-195



Viewed from the Exterior

Quote Number: 19256514

Line Number: 30

Quote Qty: 1

Scaling: 1/2" = 1'

Description: Pella Reserve, Double Sliding Door, Pella Reserve, Sash Set, 71.25 X 93.5, White

Rough Opening: 72" X 94"

Performance Information: U-Factor 0.28, SHGC 0.28, VLT 0.51, CPD PEL-N-1-59313-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, STC 28, OITC 24

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.  
\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: Porch Enclosure

Project Name: Moorhead Res - J Kapela

Jobsite Location: ,

Room Location: Patio

Sales Branch Location: 27600 Gunton Corp Ohio Division

# Pella® Reserve™

## Traditional Wood & Clad/Wood



Approved  
03/28/2025

Zoning Certificate #:

24-195

Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Historical details**  
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve – Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**  
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**  
 Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles to provide meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**  
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**  
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**  
 The award-winning Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**  
 To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified<sup>1</sup>**  
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.
- Testing beyond requirements**  
 All wood products and testing are not created equal. Pella raises the bar on industry standard testing and beyond to deliver long-lasting products and reduced callbacks. Every Pella wood window and door passes 5, on average, quality checks before it arrives on the jobsite.
- Best limited lifetime warranty<sup>2</sup>**  
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>2</sup>

Available in these window and patio door styles:



Special shape windows also available.

<sup>1,2</sup> See back cover for disclosures.

## Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	59"	59"	LC30 - CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Casement	13-3/4"	13-3/4"	47"	108"	R35-CW50	0.25-0.29	0.18-0.47	27-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Double-Hung	14"	24-3/8"	48"	96"	CW30-CW50	0.25-0.30	0.19-0.53	28-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-3/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Sliding Patio Door (O)	30-3/4"	74"	60-3/4"	119-1/2"	LC40-LC70	0.29-0.32	0.15-0.42	—	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC35-LC65	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC30-LC45	0.29-0.32	0.15-0.42	—	
Sliding Patio Door (OXXO)	116-1/8"	74"	236-1/8"	119-1/2"	LC25-LC40	0.29-0.32	0.15-0.42	—	
Multi-Slide Patio Door	40-1/4"	50-1/2"	701-5/8"	119-1/2"	R15-LC25 <sup>3</sup>	0.30 - 0.36	0.15 - 0.46	31	
Bifold Patio Door	31-3/4"	55-1/2"	312"	119-1/2"	R15-LC25 <sup>3</sup>	0.26-0.44	0.13-0.45	—	

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved  
03/28/2025

Zoning Certificate #:

24-195

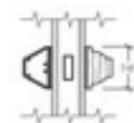
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit [pella.com/performance](http://pella.com/performance). For more information regarding frame and installation types, visit [PellaADM.com](http://PellaADM.com).

## Grilles

### Integral Light Technology<sup>®</sup>

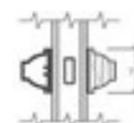
Choose the look of true divided light without sacrificing energy performance.



Putty Glaze Exterior with Ogee Interior<sup>4</sup>  
7/8", 1-1/4" or 2"



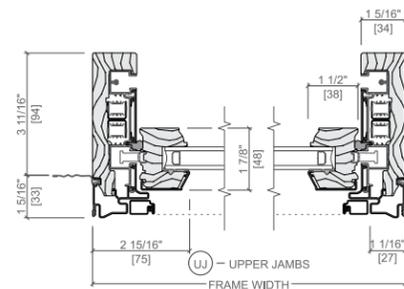
Putty Glaze Exterior with Ogee Interior<sup>4</sup>  
7/8", 1-1/4" or 2"



Ogee Exterior with Ogee Interior<sup>4</sup>  
7/8", 1-1/4" or 2"

## Cross Sections

### Cross Sections



The double-hung cross sections provide visual reference to the historic putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.

<sup>3,4</sup> See back cover for disclosures.

## Window Hardware

### Classic Collection

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank  
Antiek



Spoon-Style Lock

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

### Rustic Collection

Create a distinct and charming look with distressed finishes.



Fold-away Crank  
Antiek



Spoon-Style Lock

Finishes:



Distressed Bronze Distressed Nickel

### Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

## Patio Door Hardware

### Classic Collection

Choose timeless pieces, created in collaboration with Baldwin<sup>®</sup> Hardware, for a look that will never go out of style.

### BALDWIN



Hinged & Bifold Patio Door Handle  
Virago



Sliding & Multi-Slide Patio Door Handle  
Ambrose



Multi-Slide Patio Door Handle<sup>5,6</sup>

Finishes:



Matte Black Oil-Rubbed Bronze Satin Nickel Satin Brass

### Essential Collection

Elevate your style and transform a home with elegant selections.



Hinged & Bifold Patio Door Handle  
Standard



Sliding Patio Door Handle  
Standard



Multi-Slide Patio Door Handle<sup>5,6</sup>

Finishes:



Champagne White Brown Matte Black



Oil-Rubbed Bronze Satin Nickel Satin Brass

Additional hardware collections available. Visit [PellaADM.com](http://PellaADM.com) for more information.

<sup>5,6</sup> See back cover for disclosures.

# Colors

## Wood Types

Choose the wood species that best complements your project's interior.

Custom solutions:



Pine



Douglas Fir



Mahogany



White Oak



Red Oak



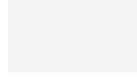
Cherry



Maple

## Prefinished Pine Interior Colors

Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Natural Stain



Golden Oak Stain



Early American Stain



Provincial Stain



Dark Mahogany Stain



Red Mahogany Stain



Espresso Stain



Charcoal Stain



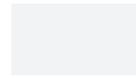
Black Stain

## Extruded Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.<sup>7</sup>



Black



White



Brown



Fossil



Iron Ore



Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green



Pearl Gray



Soft Linen



Satin Steel



Matte Gray



Wolf Gray



Spice Red



Sage



Frost Blue



Blue Ash



Custom colors are also available.

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

03/28/2025

Zoning Certificate #:

## Added Peace of Mind

24-195

### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.<sup>8</sup> For more information, go to connectpella.com.



### The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.<sup>2</sup>

<sup>1</sup> Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

<sup>2</sup> Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service.

<sup>3</sup> Ratings are contingent on product configurations.

<sup>4</sup> Color-matched to your product's interior and exterior color.

<sup>5</sup> Flush multi-slide handle is a Pella exclusive design.

<sup>6</sup> Flush multi-slide handle is not available in Champagne.

<sup>7</sup> EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

<sup>8</sup> Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

**Approved**

05/16/2024

**J KAPELA**  
DESIGN & CONSTRUCTION



*Zoning Certificate #:*

RESIDENTIAL ARCHITECTURE | INTERIOR DESIGN | CONSTRUCTION

**24-195**

4302 John Ave, Cleveland, Oh 44113 | office: 216.465.2123 | web: jkapela.com

## **172 Aurora Street – Moorhead Residence**

### Table of Contents:

- Means & Methods for Removing and Reinstalling Wood Siding
- Use of Boral Trim with Wood Trim
- Pella Reserve Window Specifications
- Construction Schedule

### **Removing and Reinstalling Wood Siding**

This is not a difficult process; this is a time-consuming process. Only one side of the home will be removed and quantified at a time. A historic preservation consultant qualified with the State Historic Preservation Office will be hired by the homeowner and at the homeowner's expense to observe the removal and quantification of the existing siding and trim and aid in the determination of what piece or pieces deterioration levels justify repairing vs. replacement. Preservation consultant shall observe reinstallation of the restored siding and trim. Preservation consultant shall provide documentation to the Hudson AHRB board at each step of the process confirming that the homeowner has complied with the Secretary of Interior Standards for Rehabilitation.

#### **Step 1:**

Having all materials needed on-site prior to any work started.

1. Zip wall exterior sheathing
2. Tape, markers, tags and zip-ties for labeling existing materials
3. Pallets to store large existing materials
4. Plastic bins and zip lock bags to store smaller materials

#### **Step 2:**

Starting on the West / Right Side Elevation

1. Take numerous detailed photographs of the existing conditions.
2. Remove shutters, label them and store on pallets
  - a. Note: shutters will not be re-installed until the full exterior restoration is completed and painted
  - b. These shutters will be stored indoors at homeowners warehouse for the duration of the exterior restoration.

**Step 2 (cont.):**

3. Lightly sand the exterior wall
  - a. For future painting purposes, this is easier to do while the siding is still in place vs. on a work table. There will be some additional work table sanding to address the “lapped” areas and edges.
  - b. The more important part of the sanding process is to expose the existing nails. Being able to see where the nails are allows us to use a flat bar in the correct spot to relieve the potential of the siding boards to split or crack.



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

**Approved**

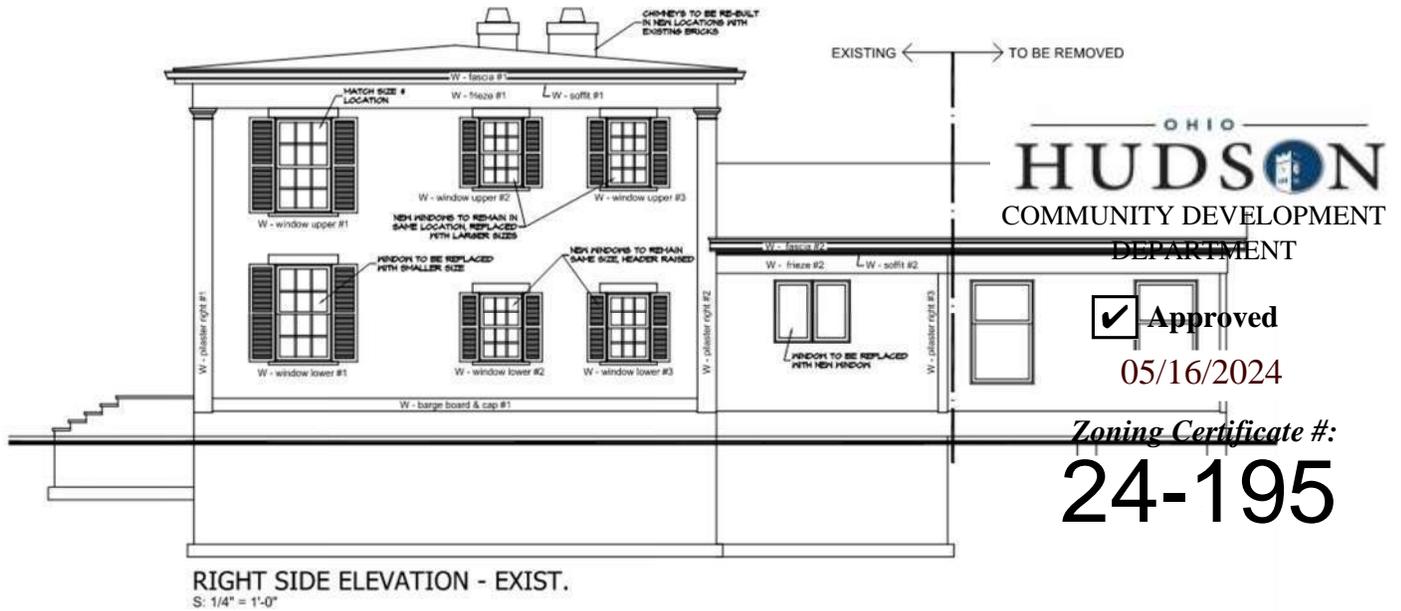
05/16/2024

*Zoning Certificate #:*

**24-195**

**Step 2 (cont.):**

4. Just as there is an order to install siding and trim, we will follow that same order, only in reverse for removal.
  - a. Remove corner pilasters, label and store on pallets
    - i. These pilasters are wrapped to the front and rear elevations, we will be removing the entire pilaster while starting on this elevation.
  - b. Remove fascia, soffit and frieze board, label and store on pallets
  - c. Begin at the top and remove wood siding one row at a time, label and store on pallets
  - d. As we are working down the wall, all window headers, casing and sill will be removed, labeled and stored on pallets
  - e. Remove bottom barge board and cap trim, label and store on pallets
5. Refer to image below and construction drawings for trim labeling sequence
  - a. W = west side



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

Approved

05/16/2024

Zoning Certificate #:

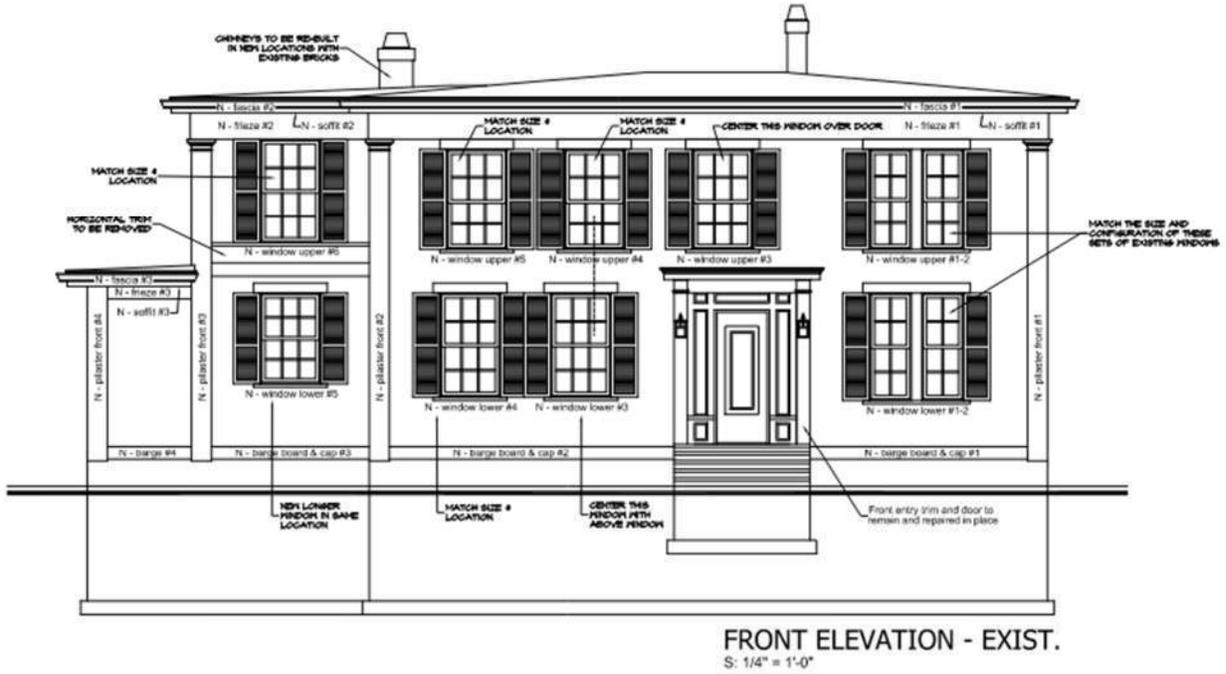
**24-195**

6. Re-frame new window openings
7. Re-sheath the wall with Zip wall exterior sheathing
8. During the installation of the new sheathing and windows we will be finishing the rest of the sanding on the siding and trim and also priming (paint) both sides of the siding for longevity protection of the wood prior to its' re-installation. This process will be done indoors at the homeowners warehouse and then brought back to the site for reinstallation.
9. Note: as we are only removing and quantifying siding and trim one side at a time to install the Zip wall sheathing, the reinstallation of the siding and trim will be done at one time once the entire existing home and addition is completed, and windows installed.

**Step 3:**

Continue to the North / Front Elevation

1. Follow the same construction process as stated in Step 2.
2. Refer to image below and construction drawings for trim labeling sequence
  - a. N = north side



**Step 4:**

Continue to the East / Left Side Elevation

1. Follow the same construction process as stated in Step 2.
2. Refer to image below and construction drawings for trim labeling sequence
  - a. E = east side



OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

**Approved**  
05/16/2024  
THIS SIDE OF THE IRS  
ADDITION TO BE  
DOTTLED AND  
REMOVED AT  
INDICATION LINE

Zoning Certificate #:  
**24-195**



## Construction Schedule

May 8, 2024: Get final AHRB approval for the project

May 9, 2024: Order the Pella Reserve window package

May 10, 2024: Apply for Summit County building permits

(note: all dates below are dependent upon issuance of building permits)

May 23, 2024: Deliver all prep and storage materials to the site as listed in Step 1 above

May 27, 2024: Begin Step 2 – West / Right Side Elevation

June 6, 2024: Begin Step 3 – North / Front Elevation

June 20, 2024: Begin Step 4 – East / Left Side Elevation

June 20, 2024: Pella Window order arrives (framers to begin installation for entire project)

July 1, 2024: Begin Step 5 – South / Rear Elevation

July 8, 2024: Begin to reinstall all siding and trim

J. Kapela Construction shall inform the AHRB board three days in advance of the beginning of each step of the process and welcome any site visits at any time to view the work in progress.



**Approved**

05/16/2024

*Zoning Certificate #:*

**24-195**



**AURORA**  
Research Associates, LLC

Historic Preservation Consulting  
1436 Graham Road  
Silver Lake, OH 44224  
(304) 685-7410

Courtney Fint Zimmerman, P.E.  
Owner/Principal

David Moorhead  
172 Aurora Street  
Hudson, OH 44236

May 6, 2024

Dear David:

Thank you for contacting me regarding preservation design review and monitoring services for the construction work on your home at 172 Aurora Street in Hudson. Based on our correspondence and conversations, it is my understanding that you wish to retain a professional historic preservation consultant to verify that your project adheres to the preservation measures approved by the City of Hudson Architectural and Historic Board of Review. The proposed scope of work is as follows:

- Review of plans for siding replacement and any other work on house involving historic features or fabric.
- Preparation of pre-construction documentation, including photographs and condition assessment of existing siding and other features.
- Periodic (weekly) calls and/or emails to discuss construction tasks and decide whether historic preservation monitoring is required based on construction schedule.
- Site visits to monitor work involving historic fabric and provide guidance for proper treatment of historic features, as follows:
  - Initial site inspection and assessment
  - Inspection of removed siding to identify any materials that are suitable for reuse
  - Additional site visits as needed to verify that historic materials are being reused
  - Any other construction tasks that may affect historic fabric, as mutually agreed-upon based on communications
- Ongoing photographic and narrative documentation of construction involving historic fabric
- Submission of memos via email to the Hudson Department of Community Development as needed

OHIO  
**HUDSON**  
COMMUNITY DEVELOPMENT  
DEPARTMENT

**Approved**

05/16/2024

*Zoning Certificate #:*  
**24-195**

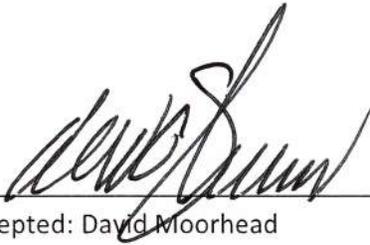
- Two meetings (one initial meeting and one subsequent meeting, if necessary) with Hudson Department of Community Development staff or other city officials

My fee for these services will be \$85/hour, which includes all travel expenses. Invoices will be prepared monthly. If any changes in scope or unforeseen circumstances require a greater time commitment, we will negotiate further tasks and associated fees. Please let me know if you have any questions on the scope or process. If you accept this scope and fee proposal, please sign on the line indicated below and return a copy of this letter to me.

Yours Truly,



Courtney Fint Zimmerman



Accepted: David Moorhead

5-6-2024

Date



**Approved**

05/16/2024

**Zoning Certificate #:**

**24-195**