

Meeting Date:

July 13, 2026

Location:

1465 Norton Road

Parcel Numbers

3010362

Request:

Major Site Plan

Applicant:

Leon Sampat, LS
Architects

Property Owner:

Hudson Reserve
Properties LLC

Zoning:

D9- Darrowville
Commercial Corridor

Case Manager:

Nick Sugar, City Planner

Staff Recommendation

Continuation subject to
the recommendations on
page 10.

Contents

- Project Summary Letter
- Civil Site Plans
- Overall Site Plan
- Elevations – Floor Plan
- Landscaping Plan
- Lighting Plan
- Stormwater Report
- Trip Gen. Report
- Wetland Delineation
- Submittal Checklist
- Engineer's Estimate
- Asst. City Engineer
review dated 7.7.26



City of Hudson GIS

Project Background:

The application is a request to construct a 5,000 square foot dental office for Dr. Anthony Caruso. Dr. Caruso would relocate from his current location at 4466 Darrow Road in Stow.

The property is located on the corner of Norton Road and Lawnmark Drive. The parcel in question was part of the former Double Play site, a sports recreation complex. The parcel is 2 acres and located within Zoning District 9 – Darrowville Commercial Corridor.

An existing 2,500 sq. ft. building is located on the property and would be demolished. An existing gravel drive is located on the property that provides access to 5100 Darrow Road and multiple properties fronting Darrow Road.

The review would include a Major Site Plan review by the Planning Commission and design review by the Architectural and Historic Board of Review.

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

- Fire Department Review Letter dated 7.7.26
- Deed

Adjacent Development:

The property is adjacent to a vacant lot and commercial office to the north, a vacant lot in the City of Stow to the south, a vacant lot to the east, and the Redwood senior apartments to the west.

Section 1206 – Use Classification

The proposal would be classified as “Office, business or professional” pursuant to the definition below. Professional offices are a use by right within District 9.

*(202) "Office, business or professional" shall mean an establishment providing executive, management, administrative, or professional services, including medical or dental services, but not involving the sale of merchandise, except as incidental to a permitted use. Such uses include, but are not limited to, real estate, insurance, property management, investment, travel, advertising, law, doctor, **dentist**, out-patient medical laboratories, architecture, design, engineering, accounting, and similar offices.*

Chapter 1204.04 – Site plans

Site Plan applications are reviewed to the following general standards:

1. *The development shall be consistent with the purposes and intent of this Code, and with the policies, goals, and objectives of any applicable community plan, including the City Comprehensive Plan, as amended from time to time.*

Staff Comment: Page 53 of the City’s Comprehensive Plan depicts the Future Land Use Map. The map classifies the future land use of this parcel as “Darrowville Commercial”. Page 56 defines “Darrowville Commercial” as follows:



Darrowville Commercial

An area of neighborhood-scaled retail and businesses in and around the boundaries of the historic Darrowville Village. Development in this area should consider and elevate the historic nature of the district, and include elements that define the southern gateway into the community.

Staff notes the proposed 5,000 sq. ft. dental office would meet the intent of the “Darrowville Commercial” land use by introducing a neighborhood-scaled business with a design that creates an attractive gateway to the community.

2. *The development complies with the use regulations as set forth in Chapter 1206.*

Staff Comment: The development complies, as it is a permitted use by right in this zoning district.

3. *The development complies with all applicable requirements set forth in Chapter 1207, "Zoning Development and Site Plan Standards," except to the extent modifications, variances, or waivers have been expressly allowed.*

Staff Comment: See analysis on pages 5-9.

4. *The development complies with all applicable federal, state, or county development regulations, standards, and requirements, or plans, including but not limited to wetlands, water quality, and wastewater*

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

regulations.

Staff Comment: The development would comply with the applicable regulations. Staff notes there are no wetlands or streams on the property and the building would be served by Summit County sewer.

5. *The proposed development shall avoid or minimize land disturbance and grading and preserve the original contours and other natural topographical features of the site to the maximum extent feasible and shall incorporate measures to minimize soil erosion during all construction phases.*

Staff Comment: Staff notes the proposal would constitute a redevelopment of the site. Minimal grade changes are proposed as the property is currently graded and partially developed.

6. *The development must protect and enhance historic structures, sites, and archeological features designated by federal, state, and local agencies, and the applicant shall commit, to the maximum extent feasible, to protecting and enhancing any such structures, sites, and features eligible for designation discovered during the development process.*

Staff Comment: No known historic structures or archaeological features are located within the project area. Staff notes the existing building located on the site is approximately 20 years old.

Chapter 1205.12 – District 9 Zoning District Standards

- ✓ **Purpose Statement**
1205.12(a) *District 9 is intended to encourage neighborhood scaled retail and service business and enhance the southern gateway to the community. It respects the boundaries of the historic Darrowville Village and is distinguished from the suburban style commercial development in Stow and the office/industrial zoning to the north. It offers recreational and wellness amenities, including the Metro parks Bike and Hike Trail, which should be enhanced with complementary retail and personal service businesses. With adjacent and nearby housing, District 9 retail, services and offices offer a sustainable development pattern that encourages walking and promotes alternative circulation to dependency on State Route 91. Historic structures will be preserved wherever feasible with development standard incentives and new development should incorporate those structures.*
Staff Comment: Staff notes general alignment with the purpose statement. While the proposed use is not a retail or service business it would help transition the S Darrow Road corridor from the residential development to the east.
- ✓ **Uses**
1205.12(b)(2)(G) The proposed use is classified as “Offices, business or professional”. This is a permitted by right use within Zoning District 9.
- ✓ **Parcel Size**
1205.12(d)(3) *Minimum lot size: one acre*
Staff Comment: Acceptable. Staff notes the property is 2 acres.
- ✓ **Maximum Floor Area to Lot Area Ratio**
1205.12(d)(5)(B) *.5 to 1.0*
Staff Comment: Acceptable. Staff notes the 5,000 square foot building on the 2 acre site would only equate to a .06 to 1 floor area to lot area ratio.

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

- ✓ **Maximum Building Footprint**
1205.12(d)(5)(C) *Only applicable to retail buildings*
Staff Comment: Acceptable
- ✓ **Building Setbacks**
1205.12(d)(6) *Yard setbacks in District 9 shall be:*
- *Minimum front yard setback: 20 feet*
Staff Comment: Acceptable. Staff notes the following:
 - The parcel is situated on the corner of Norton Road and Lawnmark Drive and, therefore, is subject to two front yard setbacks.
 - The parking lot is partially located within the Norton Road front yard setback; however, this is permitted under Section 1201.07(c)(1)(A) which stipulates “features allowed within a setback.” Additionally, staff notes front yard landscaping requirements are exempted for properties within District 9 under Section 1207.04(k)(1).
 - *Minimum side yard setbacks: ten feet, except when the side yard abuts a residential use, the side yard setback for buildings or parking shall be increased to thirty feet. Buildings may share a common side wall when addressed by easement; then the side yard setback does not apply between those buildings.*
Staff Comment: Acceptable. Staff notes an approximate 250 ft side yard setback to the east.
 - *Minimum rear yard setback: 100 feet, except when the rear yard abuts a residentially zoned property the setback for parking shall be at least fifty feet to the adjoining property line. For lots with retained historic structures the rear yard setback shall be reduced to ten feet from historic structures:*
Staff Comment: Acceptable. Staff notes a 125 ft rear yard setback for the building and a 55 ft rear yard setback to the parking lot.
- ✓ **Structure Height**
1205.12(d)(7) *Maximum structure height: 35 ft.*
Staff Comment: Acceptable. Section 1201.07(e) stipulates building height is measured at the midpoint of the gable. Staff notes the proposed building height is 35ft to the peak of the gable.
- ✓ **Architectural Design Standards**
1205.12(d)(8) *See architectural design guidelines located in Appendix D*
Staff Comment: The design will be reviewed by the Architectural and Historic Board of Review. Staff notes, overall, the building design is compatible and scaled appropriately for the Darrowville corridor. Staff suggests the following
- Additional lap siding be utilized in lieu of stone to be more compatible with the Darrowville architecture.
 - Further review roof massing to ensure compatibility with the District 9 historic buildings.
- ✓ **Commercial Parking**
1205.12(d)(9) *Parking in the front yard is limited to one aisle and two rows of parking spaces. All other off-street parking shall be located at the rear or side of the building on the interior of the lot and shall to the maximum extent feasible be accessed by means of shared driveways*

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

Staff Comment: Acceptable. Staff notes minimal parking (2 spaces) is proposed in the front yard along Norton Road.

Shared parking: Parking lots located to the rear of principal buildings shall be interconnected with commercial/retail parking lots on adjacent properties to the maximum extent feasible. As per Section 1207.12(h), Joint or Collective Parking Facilities, cross-access easements or other acceptable agreements for adjacent lots with interconnected parking lots shall be required in language acceptable to the City's solicitor to ensure availability of shared parking to users

Staff Comment: Staff notes shared parking could be established through the existing shared access drive on the property; however, would not be practical for the proposed use. Staff anticipates the requirement is intended for properties fronting Darrow Road.

□ **Vehicular
access/driveway
curb cuts
1205.12(d)(10)**

Vehicular access to all new development must comply with the State Route 91 Traffic Corridor Study or similarly adopted document

Staff Comment: Acceptable. Staff notes the 2003 Corridor Study recommends a north/south access road to be constructed from Norton Road to Corporate Drive. Lawnmark Drive was constructed in 2020 with the Redwood Development per this recommendation.

To the maximum extent feasible, vehicular access to all new development in District 9 shall be from entrance drives, access roads, or shared driveways.

Staff Comment: Staff recommends the existing shared drive be utilized to access the proposed parking lot in lieu of a separate curb cut entrance. Staff initially made this recommendation during the pre-application review.

Staff notes a shared access easement was established on the parcel and required by the city through a 2009 lot split. Though the easement area does not align with the current location of the driveway, staff recommends the driveway continue to be utilized for this intended purpose. The existing easement may need to be modified to align with the current location of the shared access drive and access be provided to the property to the east to accommodate future development. The existing gravel drive could be partially paved to serve the proposed development.

All driveways within District 9 shall be spaced at least 200 feet from the pavement edge of any other driveway or public street intersection.

Staff Comment: The proposed driveway would not meet this requirement as it would be located approximately 80 ft from the existing shared driveway. This requirement would be met if the shared accessed drive is utilized as access for development.

Driveway curb cuts shall be limited to one per development site and, to the maximum extent feasible, the number of curb cuts shall be minimized by consolidation, shared driveways, or other means.

Staff Comment: The proposal would not meet this requirement as there would be two curb cuts access points on the property.

✓ **Pedestrian/Bicycle Linkages**
1205.12(d)(11)

Provision shall be made in the design of all developments for non-vehicular circulation systems, including but not limited to sidewalks, pathways, and bikeways.

Staff Comment: Staff notes the property is served by a multipurpose trail along Norton Road and a sidewalk along Lawnmark Drive. A direct sidewalk connection is proposed to the Norton Road trail.

Chapter 1207 – Zoning Development and Site Plan Standards

✓ **Impervious Surface**
1207.01(a)(3)

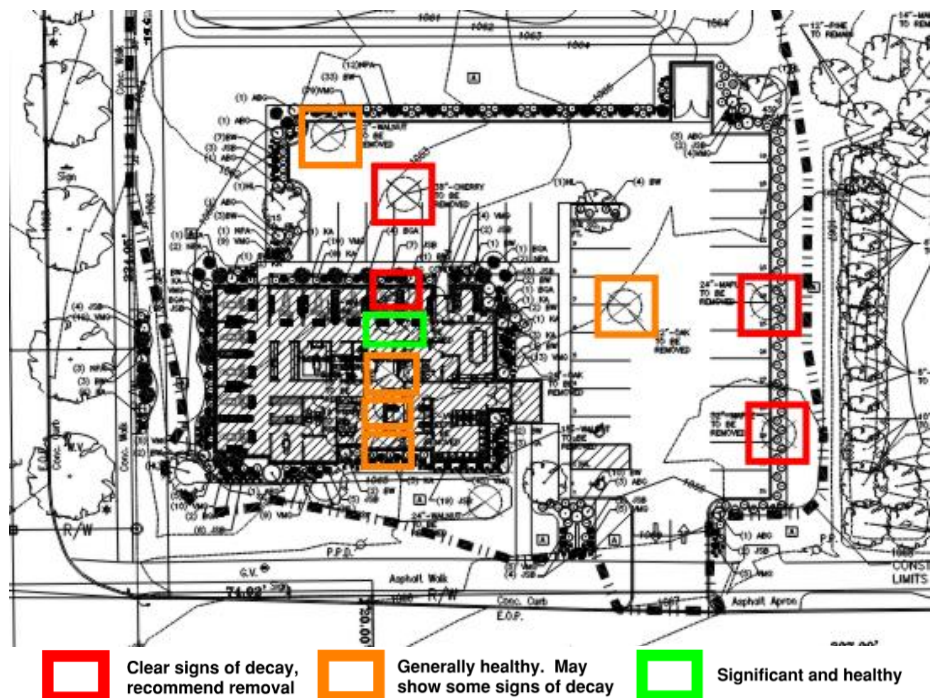
The maximum impervious surface coverage for commercial, industrial, and institutional uses shall be determined on a case-by-case basis based on the criteria set forth in division (b) of this section, but in no case shall the maximum impervious surface coverage exceed sixty percent of the total gross area of the underlying lot or lots except for the following:

Staff Comment: Acceptable. Staff notes 20% of the 2-acre parcel would be developed as impervious coverage.

✓ **Limits of disturbance and Tree protection**
1207.02

Community Development staff conducted a site visit with the City Arborist on 7.7.26. Staff notes the following findings:

- A row of mature pines would be located adjacent to the eastern limits of disturbance. The City Arborist notes the trees would have appropriate separation from construction activities. The pines have been constructed on a landscape mound, which would help protect them from the construction activities.
- Approximately 11 trees are proposed to be removed to accommodate the building and parking lot. Staff has prepared the figure below classifying the general health of the trees.



- The most significant tree of note is a mature spruce tree. The tree is located at the proposed location of the building.

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

- Based on the overall analysis, Community Development staff is acceptable of the proposed layout. Staff notes the proposed layout would protect the greatest number of healthy trees, which are located on the mound central to the site.

☒ **Wetland and Stream Protection 1207.03**

The applicant has submitted a wetland and water resources delineation. The delineation finds no evidence of wetlands, streams, or other water features on the site.

Additionally, the parcel is classified as “developed” within the city’s Index of Ecological Integrity study.

☐ **Landscaping 1207.04**

Staff notes the following landscape requirements:

- Landscape Buffer:** A landscape Bufferyard A (5 ft) is required along the northern and eastern property boundaries. Bufferyard A requires 1 canopy tree and 2 understory trees per 100 ft.

Staff comment: Provide additional landscaping along the northern property line.

- Street Trees:** *The planting of street trees shall be required at the time a parcel is developed or redeveloped.*

Staff Comment: Staff notes existing street trees along Lawnmark Drive; however, street trees would need to be planted along Norton Road to meet this requirement. The trees would need to be planted on private property as the tree lawn is too narrow to plant in the city right-of-way. The City Arborist recommends small to medium sized street trees based on the proximity to overhead power lines. Tree size and spacing requirements are further stipulated in Section 1207.04(i).

- Front Yard Landscaping:**

- *Except in District 5 and 9, landscaped buffers shall be required within the front yard setback area of all uses fronting an arterial street.*

Staff Comment: Acceptable. Staff notes Norton Road is classified as an arterial, therefore, front yard landscaping is not required along this frontage.

- *In all non-residential developments fronting non-arterial streets, at least ten percent of the total front yard area adjacent to the public or private street shall be landscaped with a mixture of trees, shrubs, planting beds and/or perennials.*

Staff Comment: Acceptable. Lawnmark Drive is classified as a non-arterial street. Staff notes adequate landscaping along the Lawnmark Drive frontage adjacent to the building and parking.

- Parking Lot Landscaping:**

- *Parking lots containing twenty or more vehicular parking spaces shall provide interior landscaping. For every ten parking spaces or fraction thereof, the applicant shall provide not less than 160 square feet of interior landscaped parking lot areas containing at least one tree with a minimum DBH of two inches and four shrubs*

Staff Comment: The parking lot would require 480 sq. ft of interior landscaping. Staff notes approximately 100 sq. ft. of interior landscaping is provided.

- *All parking lots shall provide perimeter landscaping.*

Staff Comment: Acceptable

☒ **Stormwater Management**
1207.07

Stormwater retention/detention applies to all development in the City of Hudson except "minor development" as defined in Section 1203.09(d), Site Plan Review. The City of Hudson Engineering Standards for Infrastructure Construction are the accepted design and construction specifications for stormwater management facilities in the City. All provisions in the Engineering Standards shall be applicable to all development in the City of Hudson, Ohio.

Staff Comment: The applicant is proposing a retention pond located at the northern property boundary. The City of Hudson Engineering Department has reviewed the proposed pond and provided attached comments. Additionally, the applicant should address the requirement to provide non-structural control techniques and runoff reduction measures as stipulated in Section 1207.07(d)(B).

☒ **Adequate Public Facilities**
1207.11

Development shall be served by and utilize public water and public sewer systems

Staff Comment: Acceptable. The building would be served by Akron water and Summit County sanitary. Both would be accessed from Lawnmark Drive. Staff notes Section 1040.081 of the Codified Ordinances require new development within 2,640 ft of existing Hudson water supply lines to utilize Hudson water; however, the property is located outside of this range.

☐ **Parking Space Requirements**
1207.12

Minimum parking spaces: Office, business or professional: One space for each 400 square feet of floor area as the minimum parking space requirement and one space for each 250 square feet of floor area as the maximum permitted parking.

These minimum requirements are also the maximum requirements, unless the applicant shows extraordinary circumstances that necessitate additional parking beyond these maximums

Staff Comment: The 5,000 sq ft building would require 13 spaces as the minimum requirement and 20 spaces as the maximum. The proposed parking area would need to be reduced by 11 spaces to meet this requirement or the applicant demonstrate extraordinary circumstances to necessitate additional parking.

☒ **Parking Design**
1207.12

Staff notes the following parking lot design requirements:

- *Parking facilities serving buildings and facilities required to be accessible to the physically disabled shall have conveniently located designated handicapped parking spaces to be provided as follows*

<i>Total Parking Spaces in Lot</i>	<i>Minimum Number of Accessible Spaces</i>
1 to 25	1
26 to 50	2

Staff Comment: Acceptable.

- *The dimension of parking spaces serving handicapped persons shall be at least fourteen feet wide by nineteen feet long*

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

Staff Comment: Acceptable. Staff notes each ADA space would have access to a “no parking” stall.

- *Minimum aisle width: 22 ft*

Staff Comment: Acceptable

- *Paving. Any off-street parking or loading area shall be surfaced with a pavement having an asphalt or concrete binder of sufficient strength to support vehicular loads imposed on it while providing a durable, dustless surface.*

Staff Comment: Acceptable. The parking area would be paved with asphalt.

Wheel stops or continuous curbs shall be provided, located, and designed to protect required screening devices and landscaping and pedestrian ways from damage or encroachment of vehicles and to provide necessary traffic control in the parking area.

Staff Comment: Acceptable. A concrete curb would be located around the parking area. An integral curb and sidewalk would be located adjacent to the building.

☒ **Traffic/Emergency Access 1207.13**

The applicant has submitted a trip generation and parking analysis report, performed by TMS Engineers.

Staff Comment: The Engineering Department has accepted the findings of the study, which includes the following:

- The proposed development is expected to generate 16 AM peak hour trips and 13 PM peak hour trips.
- These volumes represent a minimal increase to background traffic conditions on Norton Road and the Norton/Lawnmark intersection.
- The driveway location has adequate separation from Lawnmark Drive and would not have adverse impacts to traffic circulation from Norton Road.

The Fire Department has verified the proposed site plan will be compliant with the emergency access requirements stipulated in Section 1207.13(c)(9)(A).

☒ **Exterior Lighting 1207.14(g)**

Acceptable. The applicant has submitted an exterior lighting plan. The proposed lighting would meet the requirements for maximum lighting levels, pole mounting height, and glare reduction.

☐ **Signs 1207.17**

Staff notes a ground sign is proposed within the city right of way. Ground signs are required to be located on private property with a setback from the property line *equal to the height of the sign.*

The ground and building signs would be reviewed through a separate application. The design of the signs would be reviewed through the Architectural and Historic Board of Review.

☒ **Oil/Gas Exploration And Drilling Uses 1207.19(c)**

No structure suitable for occupancy shall be erected within 100 feet of any unplugged oil and gas well head. If the well has been abandoned and plugged, no habitable structure shall be erected within twenty-five feet of

Hudson Planning Commission	SITE PLAN REVIEW – DENTIST OFFICE
Case No. 26-435	July 13, 2026

the plugged well head.

Staff Comment: There are no oil and gas wells within or adjacent to the project area

City Departments:

- ☒ **Engineering** Assistant City Engineer David Rapp has submitted the attached review letter dated July 7, 2027.
- ☒ **Fire Department** Fire Marshal Shawn Kasson has submitted the attached review letter dated July 7, 2027 and requested a Knox Box to be furnished and installed at a approved location.
- ☒ **Hudson Public Power** Assistant Public Works Superintendent Dave Griffith has reviewed the proposal and stated HPP will coordinate with the designers/engineers to serve the site. Both single phase and 3 phase power are available from the overhead powerlines along Norton Road.
- ☒ **City Arborist** Community Development staff conducted a site visit with Tom Kiepura, City Arborist. The findings are described on page 6.

Required PC Action

The PC shall consider the development application, the staff report, and then take final action. PC shall approve, approve with conditions, or deny the application based on its compliance with the appropriate review standards. All decisions of the Commission shall be based on findings of fact related to the relevant standards of the Code.

Recommendation

Continue the Major Site Plan application for the proposed dental office per Case 25-1237, The applicant should address the following:

1. Consolidate drive entrances to one curb cut. Staff recommends utilizing the existing shared access drive.
2. Revise the landscaping plan to include the following:
 - a. Depict a landscape bufferyard A (5 ft) along the northern property line.
 - b. Depict street trees along Norton Road.
 - c. Depict additional interior parking lot landscaping
3. Reduce the number of proposed parking spaces by 11.
4. Revise the location of the sign to be located on private property.