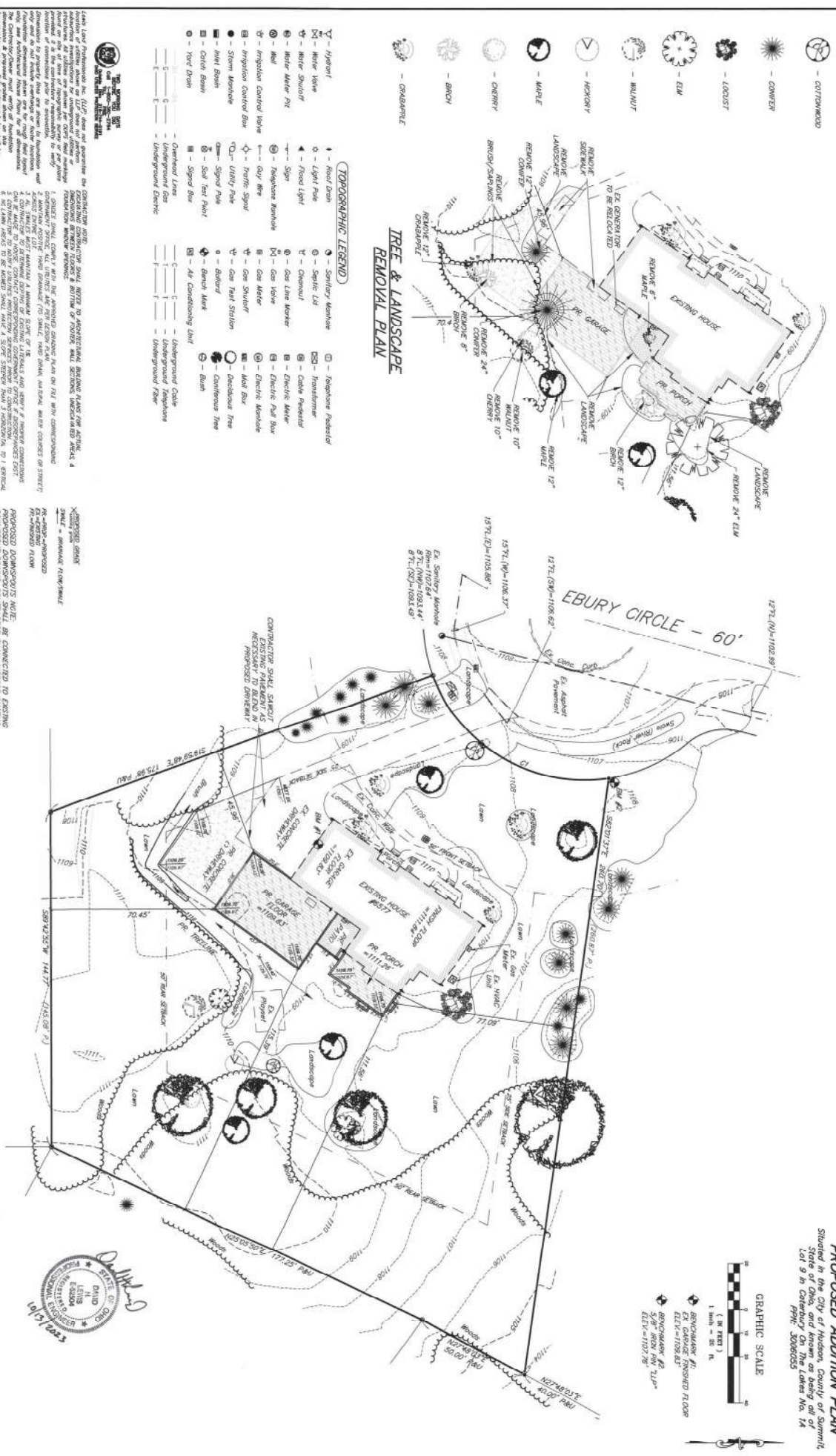
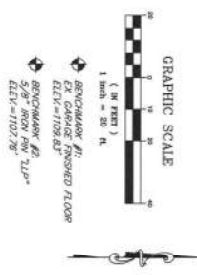


PROPOSED ADDITION PLAN Situated in the City of Hudson, County of Summit, State of Ohio, and known as being all of Lot 9 in Caterbury Subdivision, Lakes No. 14 PPM: 5006055



TREE & LANDSCAPE REMOVAL PLAN

- LEGEND**
- Lightning Bolt: Lightning
 - Water Valve: Water Valve
 - Water Shutoff: Water Shutoff
 - Water Meter Pit: Water Meter Pit
 - Mail: Mail
 - Injection Control Valve: Injection Control Valve
 - Injection Control Box: Injection Control Box
 - Storm Manhole: Storm Manhole
 - Mail Box: Mail Box
 - Crack Patch: Crack Patch
 - Yard Drain: Yard Drain
 - Overhead Line: Overhead Line
 - Underground Gas: Underground Gas
 - Underground Electric: Underground Electric
 - Telephone Pole: Telephone Pole
 - Transformer: Transformer
 - Cable Pole: Cable Pole
 - Electric Meter: Electric Meter
 - Electric Fuel Box: Electric Fuel Box
 - Electric Manhole: Electric Manhole
 - Mail Box: Mail Box
 - Deciduous Tree: Deciduous Tree
 - Coniferous Tree: Coniferous Tree
 - Bush: Bush
 - Sign: Sign
 - Sign Pole: Sign Pole
 - Soil Test Pit: Soil Test Pit
 - Sign Box: Sign Box
 - Air Conditioning Unit: Air Conditioning Unit
 - Underground Cable: Underground Cable
 - Underground Telephone: Underground Telephone
 - Underground Pipe: Underground Pipe

LEWIS LAND PROFESSIONALS INC.
 CIVIL ENGINEERING
 8891 WASHINGTON ROAD
 WASHINGTON, OH 44281
 (330) 535-8232

6577 EBURY CIRCLE, HUDSON OHIO
GARAGE AND PORCH ADDITION PLAN

1" = 20'
 23-285 ADDITION PLANNING
 1 OF 1



FOUNDATION PLAN

EXISTING FOUNDATION WALLS 1/4"=1'-0"

NEW CONCRETE BLOCK FOUNDATION WALLS

GENERAL NOTES

This project consists of a new garage added to the rear of the existing garage, removal of the rear decks and replacing them with same sized covered porches on concrete foundations, concrete floors and roofs that are a continuation of the existing rear roofs. The width of the existing garage to be verified and matched, and the new garage floor to match the height of the existing garage. All exterior trim work, details, projections, sizes, material, and colors to match existing.

All construction shall conform to all ordinances of the Residential Code of Ohio, latest edition and any local ordinances or restrictions that may apply and shall take precedent over what is shown on these drawings.

Although every attempt has been made for accuracy of these drawings, it is recommended that each trade review any part of the drawings that pertain to the work they will be responsible for and report any dimensional or other errors to the Contractor/Designer for correction or further clarification, especially after opening existing walls where prior assumptions may have to be re-evaluated. Some minor dimensional changes may be made in the field to accommodate mechanicals, specific materials, or general field conditions. All room sizes shown on the drawings are approximate.

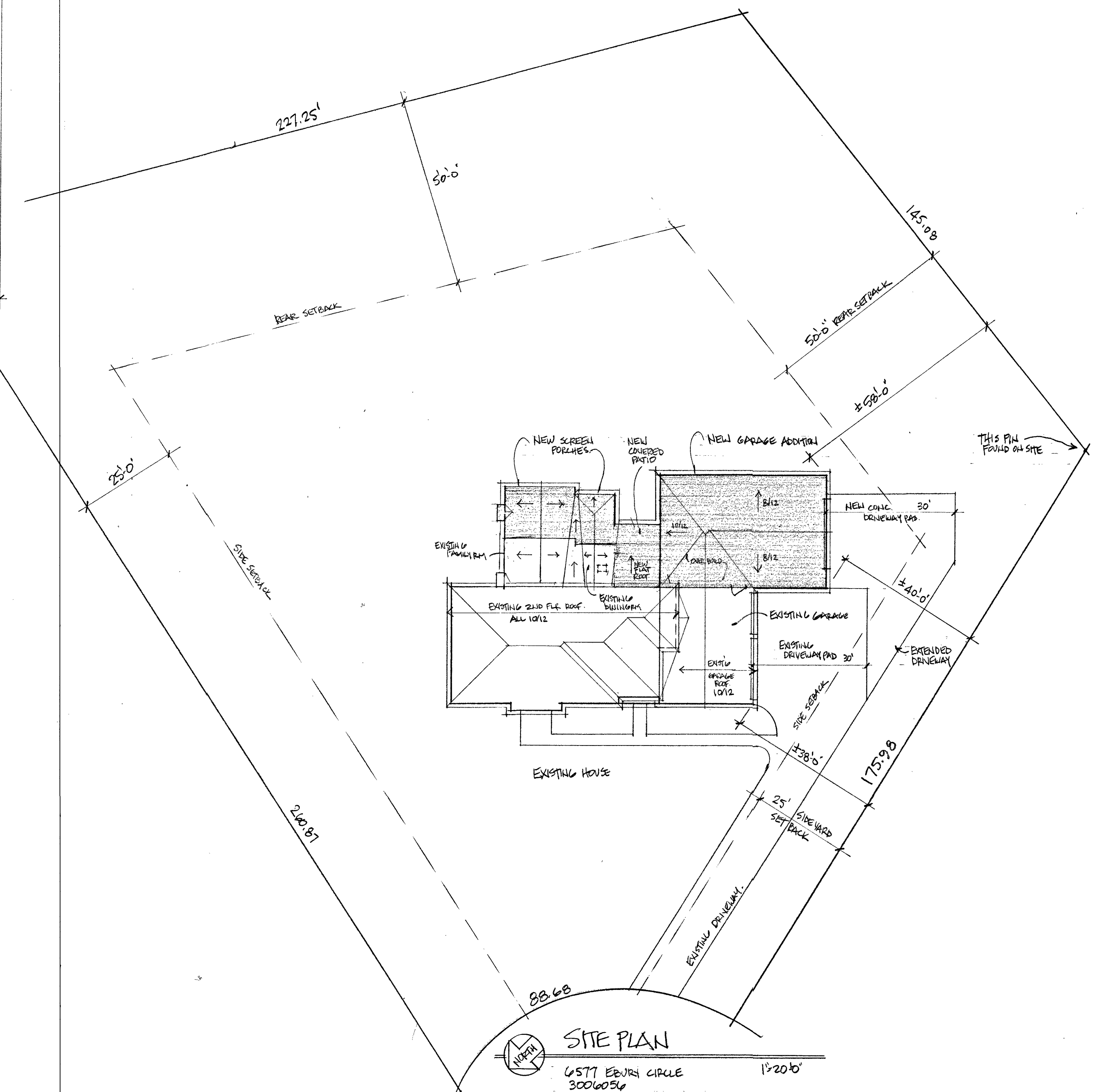
All footers to bear on original solid soil, assumed 2000 soil bearing capacity, verify and expand footer sizes as required. Adjust all footer depths as required to extend minimum 3'-6" below the finish grade height.

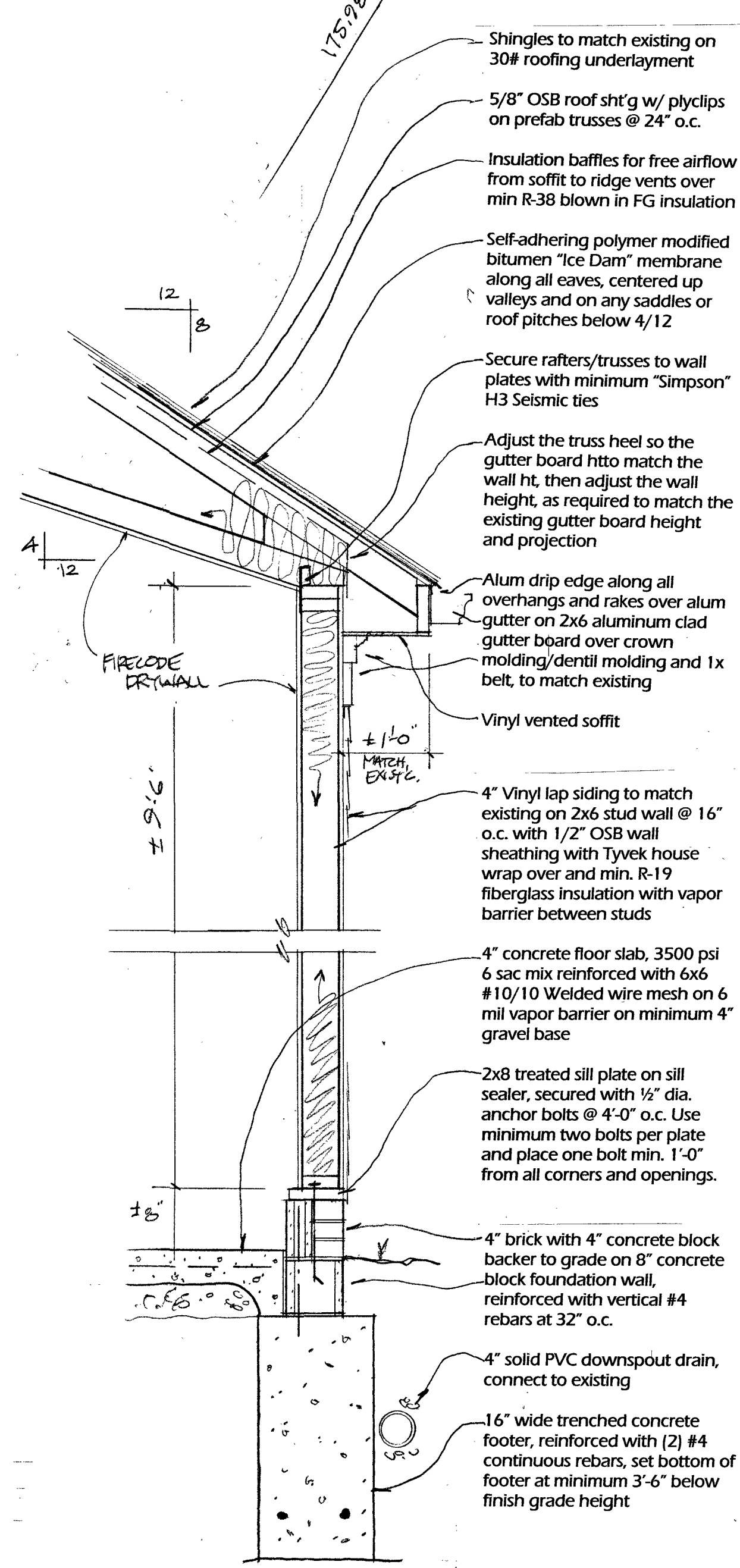
All bearing headers to be minimum (2) 2x10's, unless noted otherwise. All beams or headers, three members wide or greater, or two members with a steel flitch plate between, to be through bolted with 1/2" diameter bolts at 2'-0" o.c, alternating top and bottom of beam, and minimum two bolts located 3" from each end. All beams to bear on a 2x trimmer stud, PSL engineered post or steel posts to bearing points below. Use minimum (2) trimmer studs to support all headers over 8'-0" long.

All beams, rafters or pre-engineered/prefabricated trusses or joists, shall be braced and secured to top of walls per manufacturer's instructions, local building codes, or as required to prevent racking, shifting, lifting, or settling. The new garage gutter board height to be set to match existing, by using a truss heel height that sets the new gutter board height flush with the top of the wall, then adjust the wall height as required.

All "Simpson" plates, hangers, ties or brackets to be installed per Simpson instructions, including the use of the properly rated and number of nails, screws and bolts, for each piece.

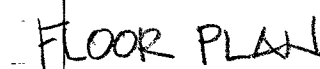
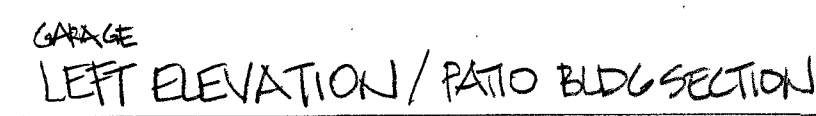
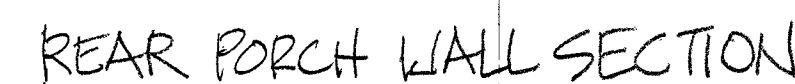
Window numbers shown on the drawings refer to the window frame sizes, use tempered glass and egress rated units/hardware where required by code.

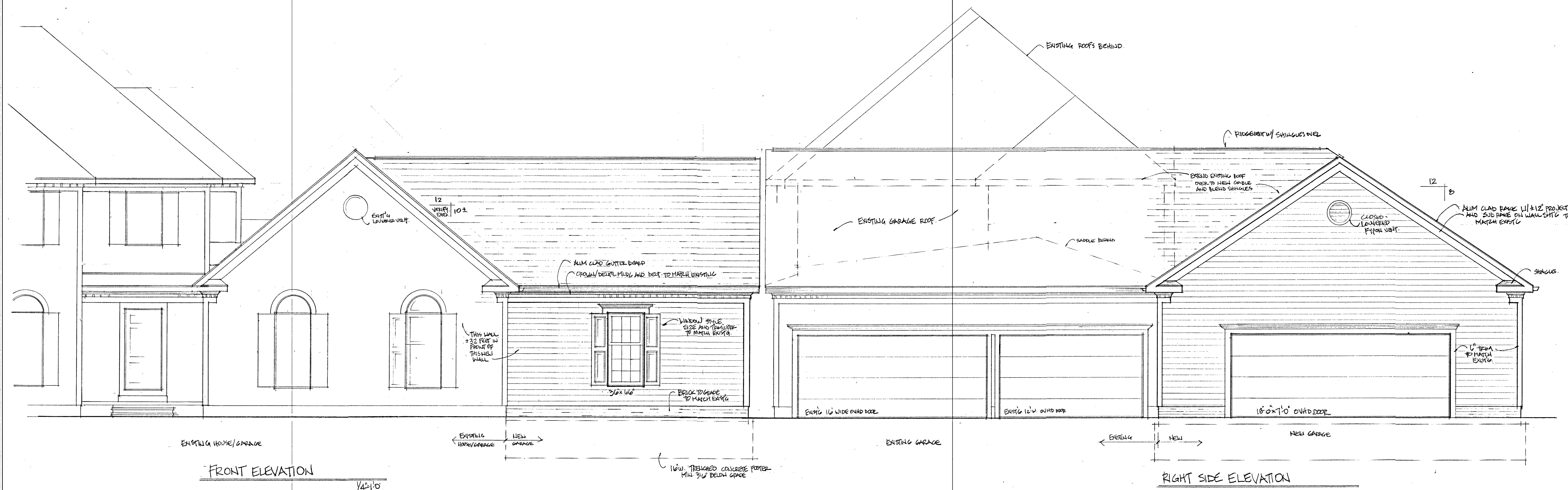




EXISTING WOOD WALLS
NEW WOOD WALLS.

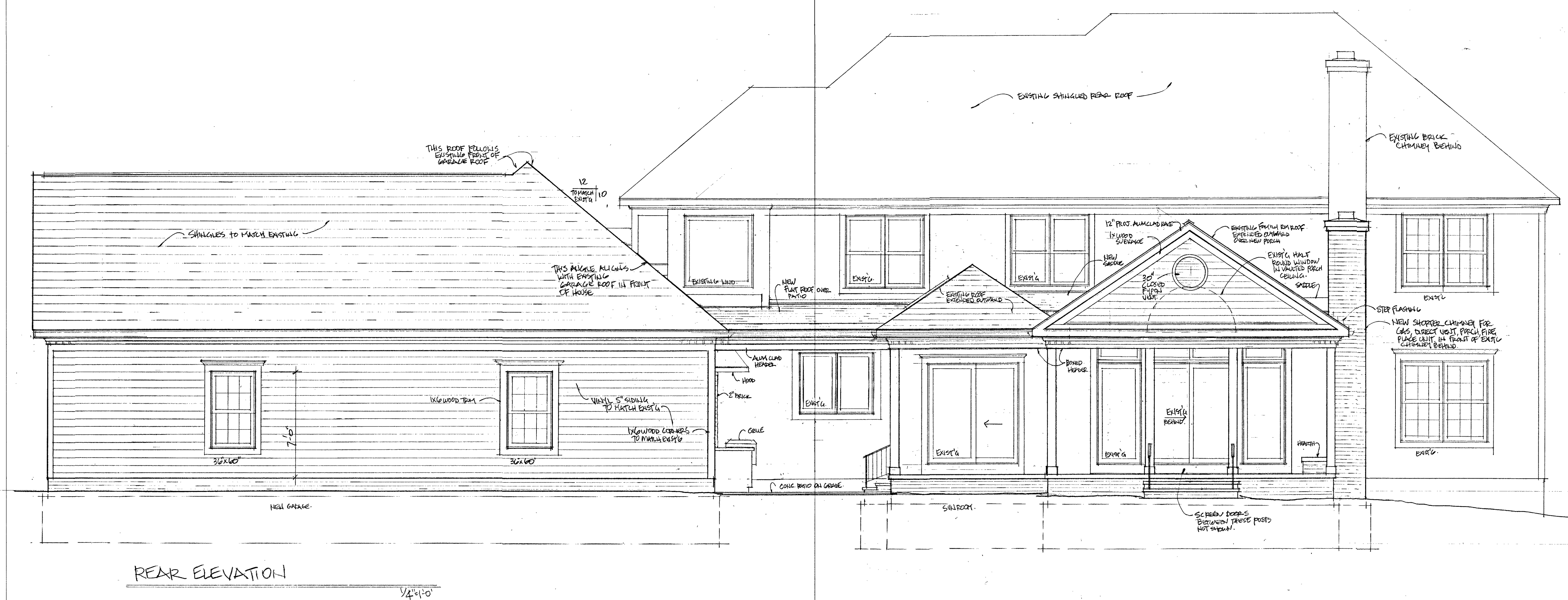
 $\frac{3}{4} \text{ in.}$





FRONT ELEVATION
1/4"=1'-0"

RIGHT SIDE ELEVATION



REAR ELEVATION
1/4"=1'-0"

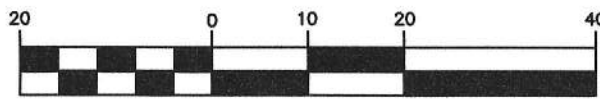
A REAR ATTACHED GARAGE AND REAR PORCHES FOR
BRYAN & LAURA BUCK
6577 EBURY CIRCLE
HUBER, OHIO

JOB NO. 2210
9/8/22
9/13/22
9/21/22
8/30/23

PROPOSED ADDITION PLAN

Situated in the City of Hudson, County of Summit,
State of Ohio, and known as being all of
Lot 9 in Caterbury On The Lakes No. 1A
PPN: 3006055

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft

BENCHMARK #1:
EX. GARAGE FINISHED FLOOR
ELEV.=1109.83'

BENCHMARK #2:
5/8" IRON PIN "LLP"
ELEV.=1107.76'

- COTTONWOOD
- CONIFER
- LOCUST
- ELM
- WALNUT
- HICKORY
- MAPLE
- CHERRY
- BIRCH
- CRABAPPLE

TREE & LANDSCAPE
REMOVAL PLAN

TOPOGRAPHIC LEGEND

- | | | | |
|--------------------------|----------------------|-----------------------|--------------------|
| Hydrant | Roof Drain | Sanitary Manhole | Telephone Pedestal |
| Water Valve | Light Pole | Septic Lid | Transformer |
| Water Shutoff | Flood Light | Cleanout | Cable Pedestal |
| Water Meter Pit | Sign | Gas Line Marker | Electric Meter |
| Well | Telephone Manhole | Gas Valve | Electric Pull Box |
| Irrigation Control Valve | Guy Wire | Gas Meter | Electric Manhole |
| Irrigation Control Box | Traffic Signal | Gas Shutoff | Mail Box |
| Storm Manhole | Utility Pole | Gas Test Station | Deciduous Tree |
| Inlet Basin | Signal Pole | Bollard | Coniferous Tree |
| Catch Basin | Soil Test Point | Bench Mark | Bush |
| Yard Drain | Signal Box | Air Conditioning Unit | |
| Overhead Lines | Underground Gas | Underground Cable | |
| Underground Gas | Underground Electric | Underground Telephone | |
| Underground Electric | | Underground Fiber | |

TWO WORKING DAYS
BEFORE YOU DIG
Call 1-800-362-2764
TOL 216-218-7444
Ohio Utilities Protection Service

Lewis Land Professionals Inc. (LLP) does not guarantee the location of utilities shown as LLP does not perform subsurface investigations for underground utilities or structures. All utilities are shown per OUPS field markings found on site at time of topographic survey or per plans provided. It is the contractors responsibility to verify location of connections prior to excavation. Dimensions to property lines are shown to foundation wall only and do not include overhangs or footer locations. Foundation dimensions shown are for rough field layout only, see Architectural House Plans for all dimensions. The Contractor/Owner must verify all foundation dimensions & proposed grades shown on this topographic survey. Cuts between hubs shall be compared for discrepancies. Any error resulting from failure to check shall not be the responsibility of Lewis Land Professionals, Inc.

CONTRACTOR NOTE:

EXCAVATING CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR ACTUAL DIMENSIONS BETWEEN FLOORS & BOTTOM OF FOOTER, WALL SECTIONS, UNEXCAVATED AREAS, & FOUNDATION WINDOW OPENINGS.

- GRADES SHALL COMPLY WITH THE APPROVED GRADING PLAN ON FILE WITH CORRESPONDING GOVERNMENT OFFICE. ALL UTILITIES ARE PER DESIGN PLAN.
- MAINTAIN POSITIVE YARD DRAINAGE (TO SWALE, YARD DRAIN, NATURAL WATER COURSES OR STREET) ACROSS ENTIRE LOT.
- ALL SWALES MUST MAINTAIN A MINIMUM SLOPE OF 1%.
- CONTRACTOR TO DETERMINE DEPTHS OF EXISTING LATERALS AND VERIFY IF PROPER CONNECTIONS CAN BE MADE TO HOUSE. CONTACT CORRESPONDING GOVERNMENT OFFICE IF DISCREPANCIES EXIST.
- CONTRACTOR TO NOTIFY UTILITIES PROTECTION SERVICES PRIOR TO CONSTRUCTION.
- NO LAWN AREAS TO BE MOWED SHALL HAVE A SLOPE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL.
- NO DETERMINATION OF THE PRESENCE OF WETLAND AREAS WAS PERFORMED BY LEWIS LAND PROFESSIONALS.
- THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
- CONTRACTOR TO INSTALL SILT FENCE PRIOR TO BEGINNING CONSTRUCTION.

PROPOSED GRADE

SWALE = DRAINAGE FLOW/SWALE

PR.=PROP.=PROPOSED
EX.=EXISTING
FFL=FINISHED FLOOR

PROPOSED DOWNSPOUTS NOTE:
PROPOSED DOWNSPOUTS SHALL BE CONNECTED TO EXISTING DOWNSPOUT DRAINS. CONTRACTOR SHALL INSPECT EXISTING DOWNSPOUT DRAINS AND VERIFY THAT THE EXISTING PIPE IS FREE OF DEBRIS TO ENSURE PROPER DRAINAGE

PLAN PREPARED BY -

LEWIS LAND PROFESSIONALS INC.



CIVIL ENGINEERING LAND SURVEYING
8691 WADSWORTH ROAD SUITE 100
WADSWORTH, OH 44281 (330) 335-8232

PROJECT:

6577 EBURY CIRCLE, HUDSON OHIO

TITLE:

GARAGE AND PORCH ADDITION PLAN

SCALE:

1" = 20'

DRAWING FILE:

23-285 ADDITION PLAN.DWG

DATE:

10/12/2023

PROJECT NUMBER:

23-285

SHEET NUMBER:

1 OF 1





