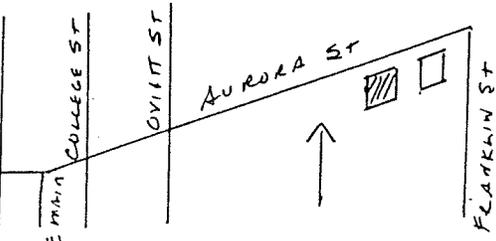


# OHIO HISTORIC INVENTORY

Ohio Historic Preservation Office  
Ohio Historical Center  
Columbus, Ohio 43211

1. No.	4. Present Name(s) Residence, John Burke
2. County Summit	5. Other Name(s) I. T. Frary House
3. Location of Negatives HHA 50-10	

6. Specific Location 172 Aurora Street	16. Thematic Category C	28. No. of Stories 2
7. City or Town Hudson If Rural, Township & Vicinity Hudson	17. Date(s) or Period 1878	29. Basement? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
8. Site Plan with North Arrow 	18. Style or Design Greek Revival	30. Foundation Material sandstone blocks
9. Coordinates Lat. _____ Long. _____ U.T.M. Reference 17 463 768 4565 850	19. Architect or Engineer	31. Wall Construction wood frame
10. Ownership Public <input type="checkbox"/> Private <input checked="" type="checkbox"/>	20. Contractor or Builder	32. Roof Type & Material hip, asph shingle
11. Original Use, if apparent residence	21. Present Use residence	33. No. of Bays Front 4 Side 3
12. Owner's Name & Address, if known John Burke 172 Aurora Street Hudson 44236	22. Changes (Explain in #42) Addition <input checked="" type="checkbox"/> Altered <input checked="" type="checkbox"/> Moved <input type="checkbox"/>	34. Wall Treatment beveled siding
13. Open to Public? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	23. Local Contact Person or Organization Hudson Heritage Association	35. Plan Shape rect
14. Other Surveys In Which Included	24. Endangered? By What? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	36. Preservation Underway? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
15. Name of Established District Hudson Local Historic District	25. Visible from Public Road? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	37. Distance from and Frontage on Road 30' 60'

2. Further Description of Important Features Greek Revival doorway with transom, sidelights; wide frieze, corner boards; one story rear addition; 2 story porch enclosed to east. Sandstone foundation partially cemented over. 6/6 double-hung windows.	Photo
---	-------

13. History and Significance H. R. Corner, 1929.  
Said to have been moved from present site of Hayden Hall; on present site since 1878. Residence of I. T. Frary in early 1900's. Frary, author of Early Homes of Ohio, (1936), made extensive alterations.

14. Description of Environment and Outbuildings 1900 garage. Residential street of historic houses.

15. Sources of Information Summit County Tax Assessment records Personal inspection	46. Prepared by L. Newkirk, F. Barlow
	47. Organization HHA
	48. Date   49. Revision Date(s)

Summit  
Residence, John Burke





## FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

- 2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER
- 1/2" Ø x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.
- EXTERIOR FOUNDATION INSULATION AS REQUIRED.
- R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

### FOOTINGS:

- ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.
  - (2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.
  - ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.
  - ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.
  - ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.
- CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:
- |              |       |
|--------------|-------|
| 24"x24"..... | (2)#4 |
| 30"x30"..... | (3)#4 |
| 36"x36"..... | (3)#5 |
| 42"x42"..... | (4)#5 |
| 48"x48"..... | (4)#5 |
| 60"x60"..... | (5)#5 |
| 72"x72"..... | (6)#5 |

### CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

### POINT LOADS:

IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

## 12" CONC. BLOCK REINFORCING DETAIL

MASONRY WALL REINFORCEMENT=

(1)#5 @ 48" o.c.

- 24" MAX. FROM CORNERS
- BARS 9" IN FROM SOIL SIDE
- GROUT CORES FULL-HEIGHT SOLID AT REINFORCING BARS



DESIGN CRITERIA:

- 36" MINIMUM GRAVEL FILL
- MAX. LATERAL SOIL PRESSURE OF 55 psf
- 1,500 psf SOIL BEARING PRESSURE
- MIN. 3,000 psi CONCRETE STRENGTH
- REINFORCING YIELD STRENGTH OF 60,000 psi

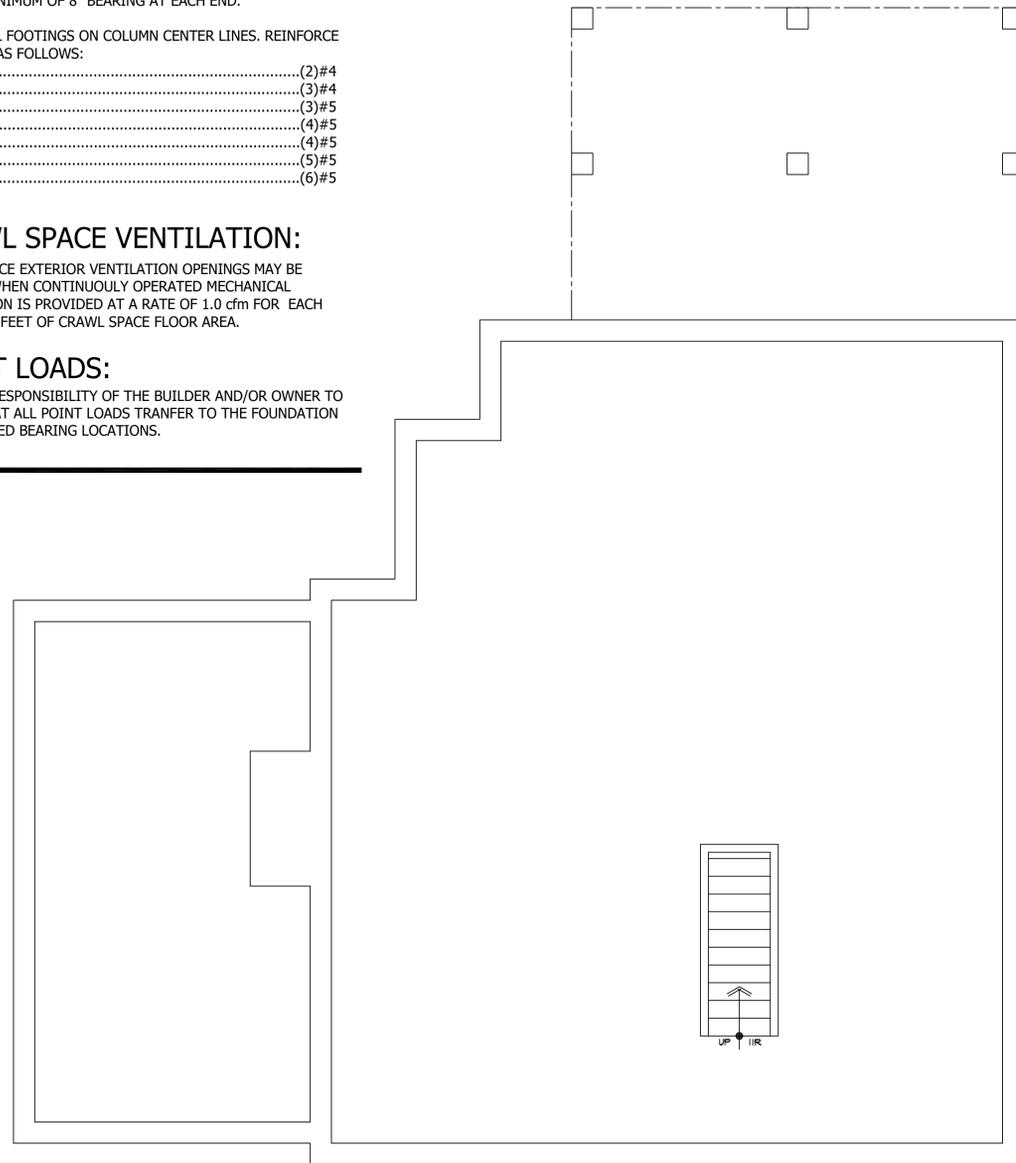
NOTE: THIS DETAIL IS ASSUMING BEST CASE SOIL CONDITIONS. FOR MEDIUM OR WORST CASE REFER TO RCO TABLE 404.1.1(4)

## STEEL BEAM CHART

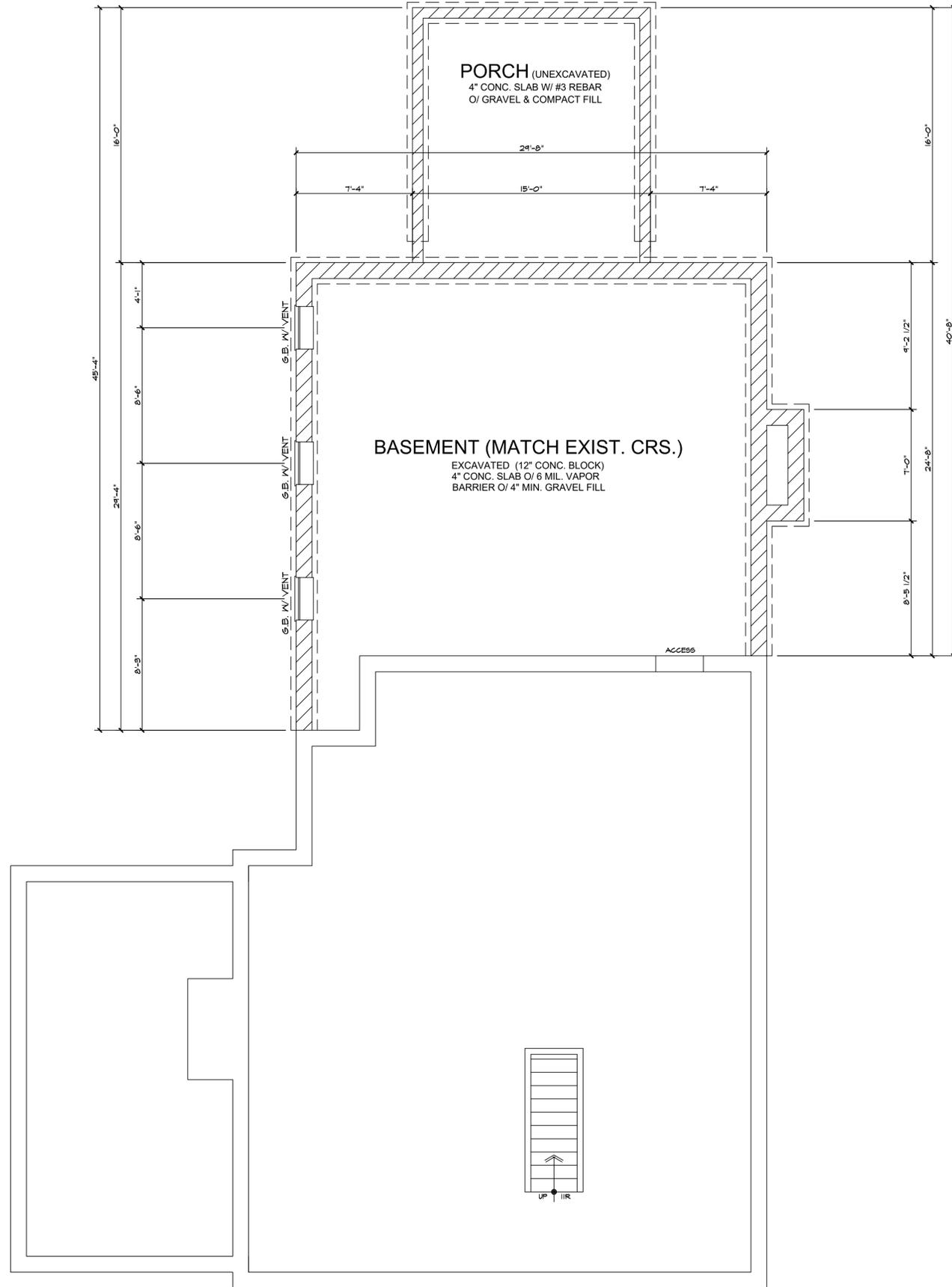
SIZE	DEPTH	WIDTH
W8x15	8 1/8"	4"
W10x22	10 1/8"	5 3/4"
W12x26	12 1/4"	6 1/2"
W12x45	12"	8"

NOTE: DIMENSIONS ARE DERIVED FROM AISC STEEL MANUAL. VERIFY WITH STEEL DISTRIBUTOR.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



FOUNDATION PLAN - EXISTING  
S: 1/4" = 1'-0"



FOUNDATION PLAN  
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- SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.
- ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.
- ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS
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## FIREPLACES:

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## WINDOWS:

- ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.
- WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.
- WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.
- EGRESS REQUIREMENTS:
  - MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"
  - MINIMUM NET CLEAR OPENING HEIGHT.....24"
  - MINIMUM NET CLEAR OPENING WIDTH.....20"
  - MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7
  - MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0
  - REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

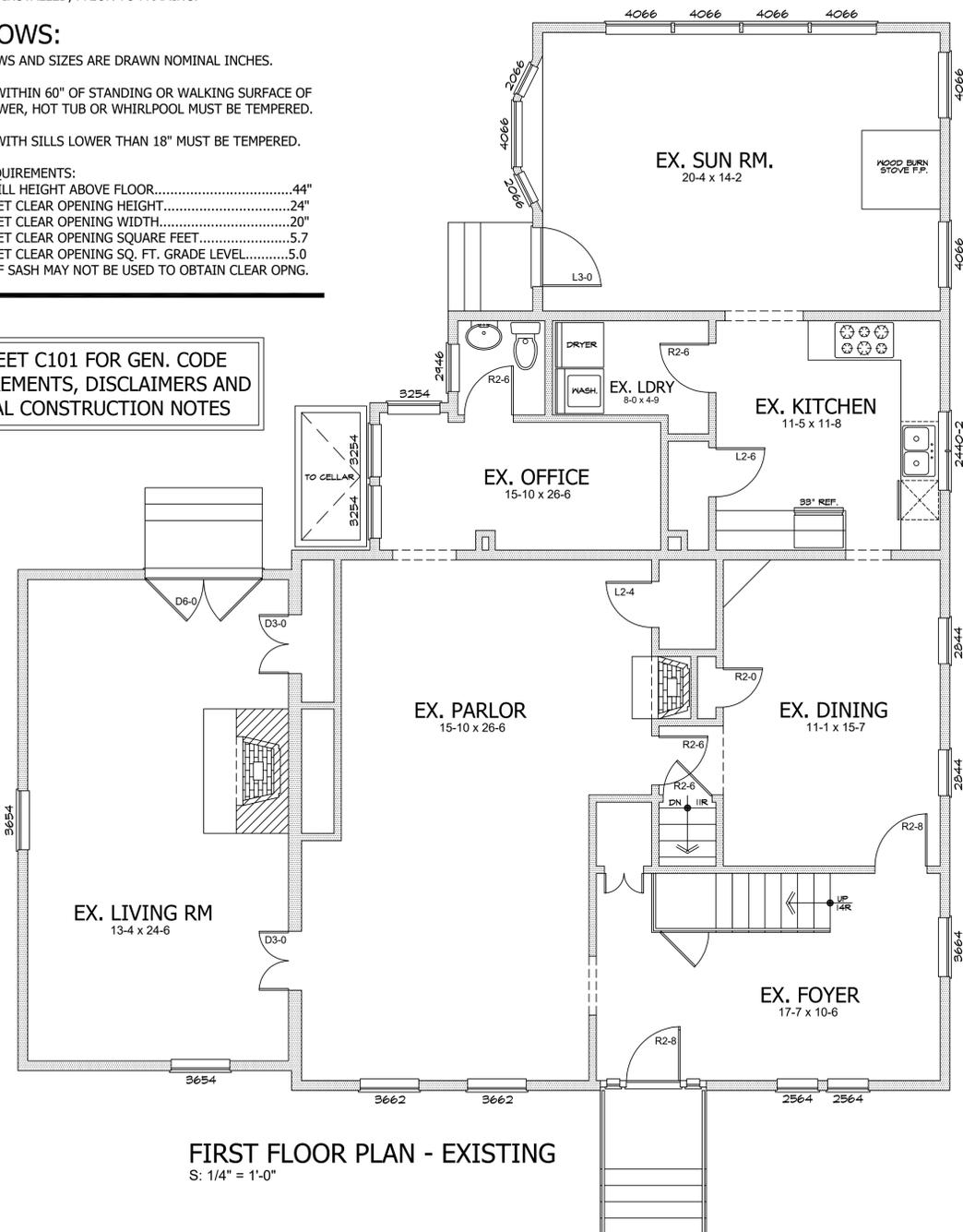
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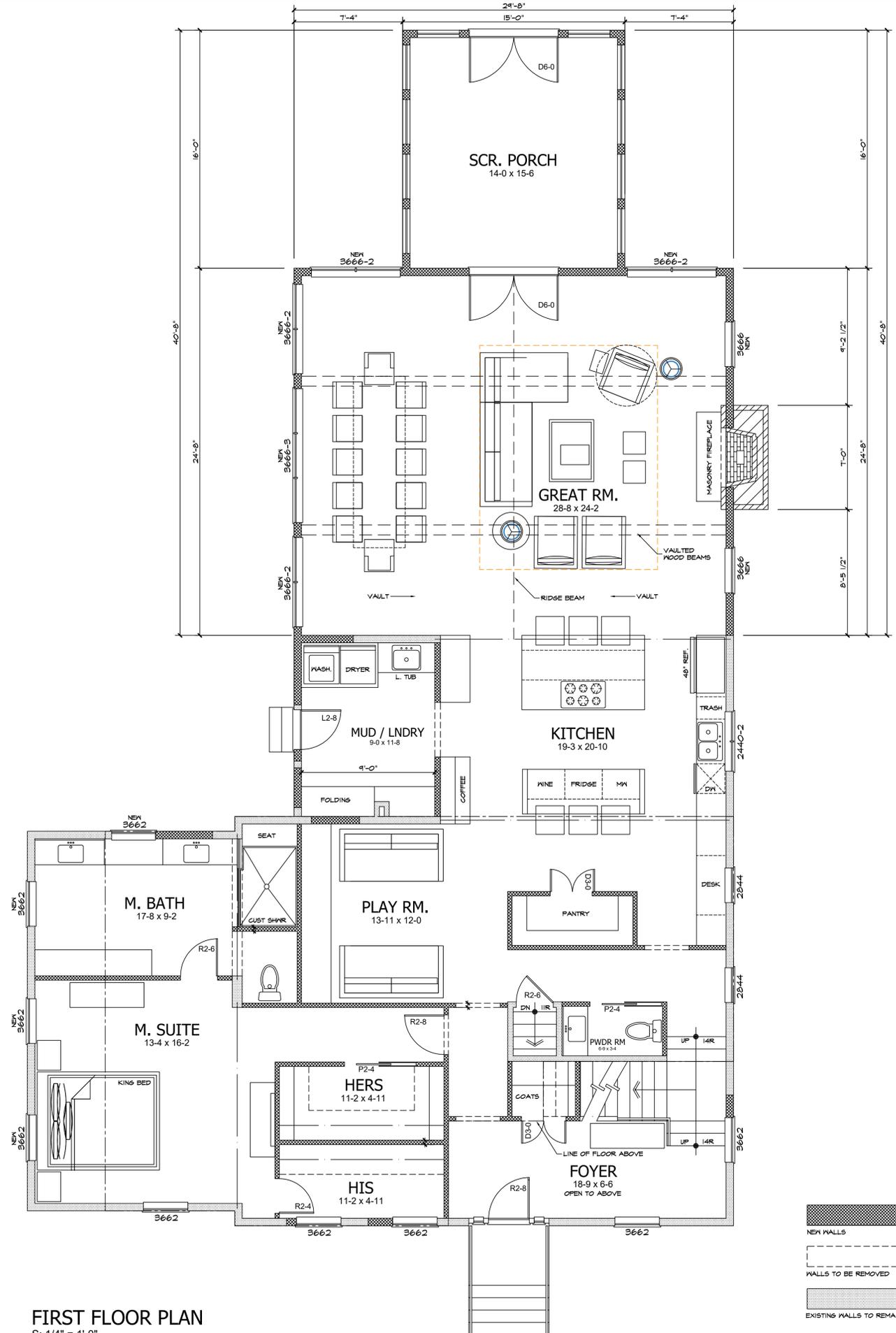
## STAIR REQUIREMENTS:

- MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"
- MINIMUM TREAD DEPTH.....9"
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- MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"
- MINIMUM NOSING PROJECTION.....1"
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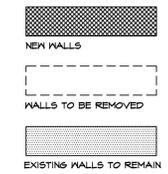
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MOORHEAD RESIDENCE  
172 AURORA STREET  
HUDSON, OH 44236  
FIRST FLOOR PLAN

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHRB SUBMISSION

3-29-24

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JOB # 2023-45

A102

## SECOND FLOOR NOTES

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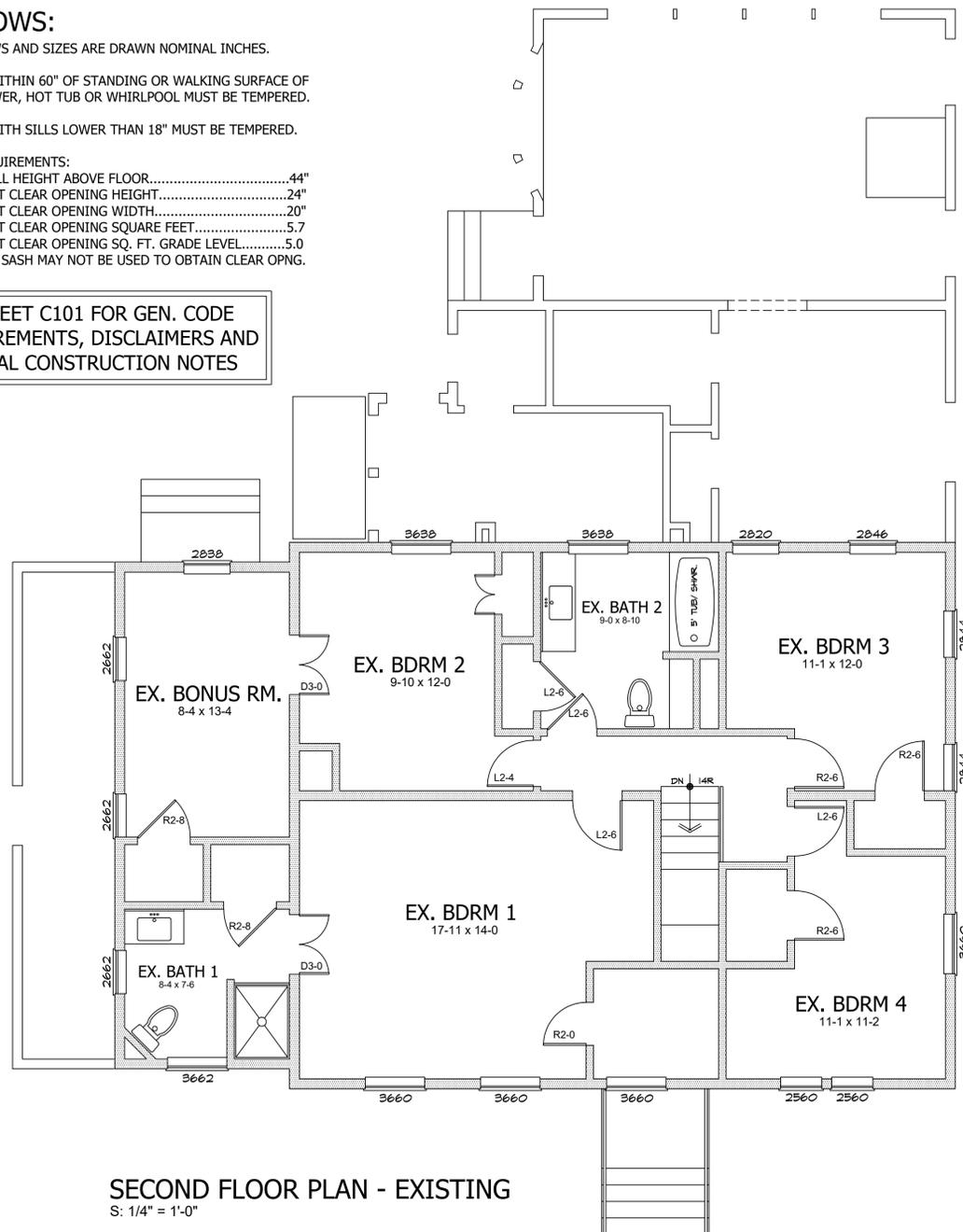
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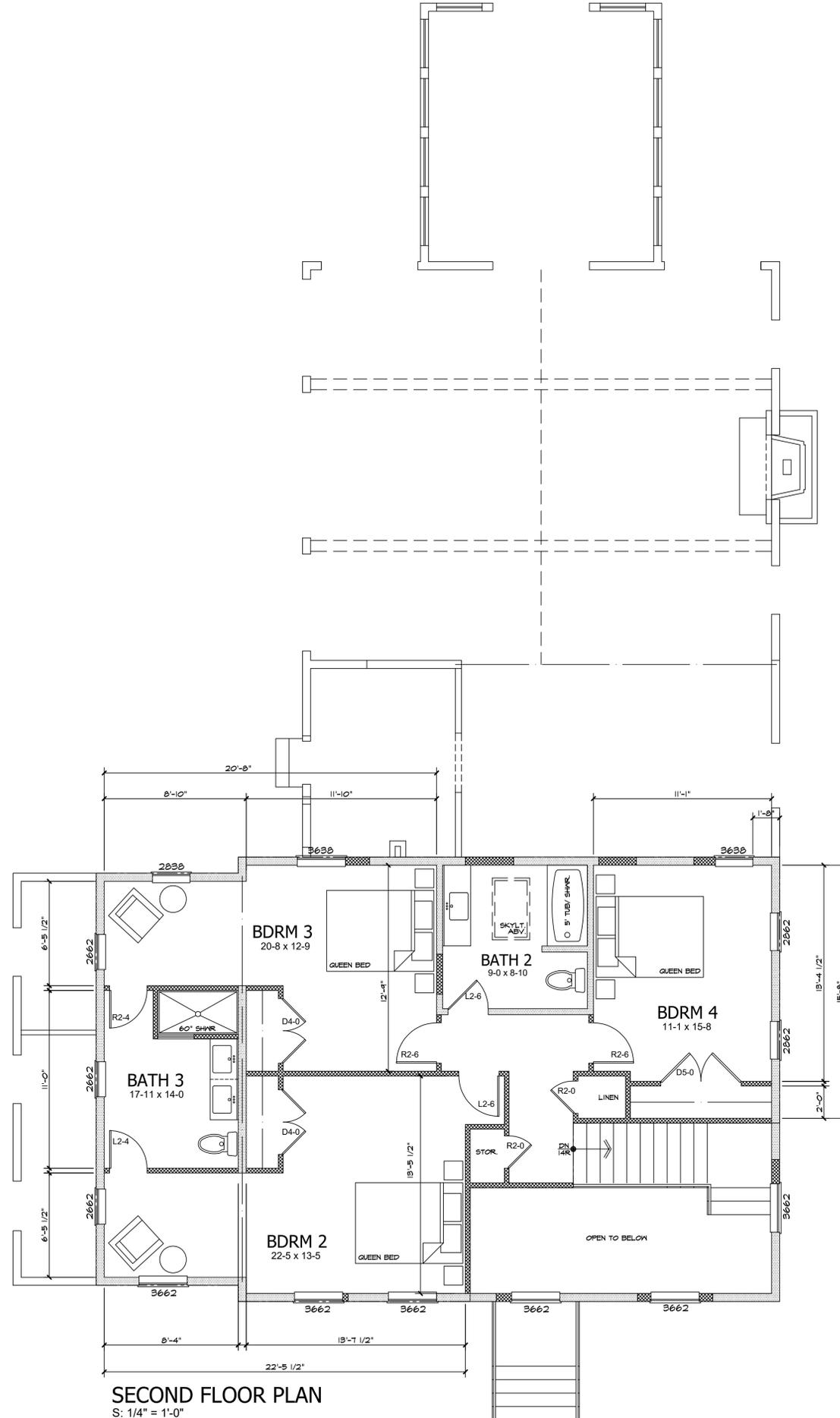
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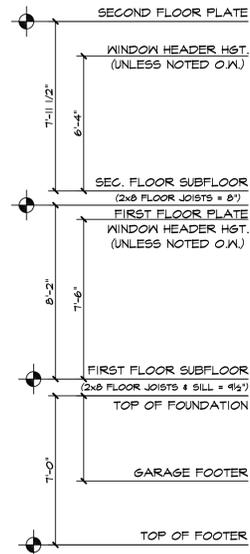
SECOND FLOOR PLAN - EXISTING  
S: 1/4" = 1'-0"





THE EXISTING SIDING, SHUTTERS AND TRIM HAVE DETERIORATED BEYOND REPAIR:

1. SIDING TO BE NEW CEDAR LAP TO MATCH EXISTING REVEAL
2. SHUTTERS TO BE NEW WOOD SHUTTERS TO MATCH EXISTING
3. TRIM TO BE BORAL WITH ALL SIZES AND PROFILES TO MATCH EXISTING



FRONT ELEVATION - EXIST.  
S: 1/4" = 1'-0"



GAF TIMBERLINE HD SHINGLE - CHARCOAL



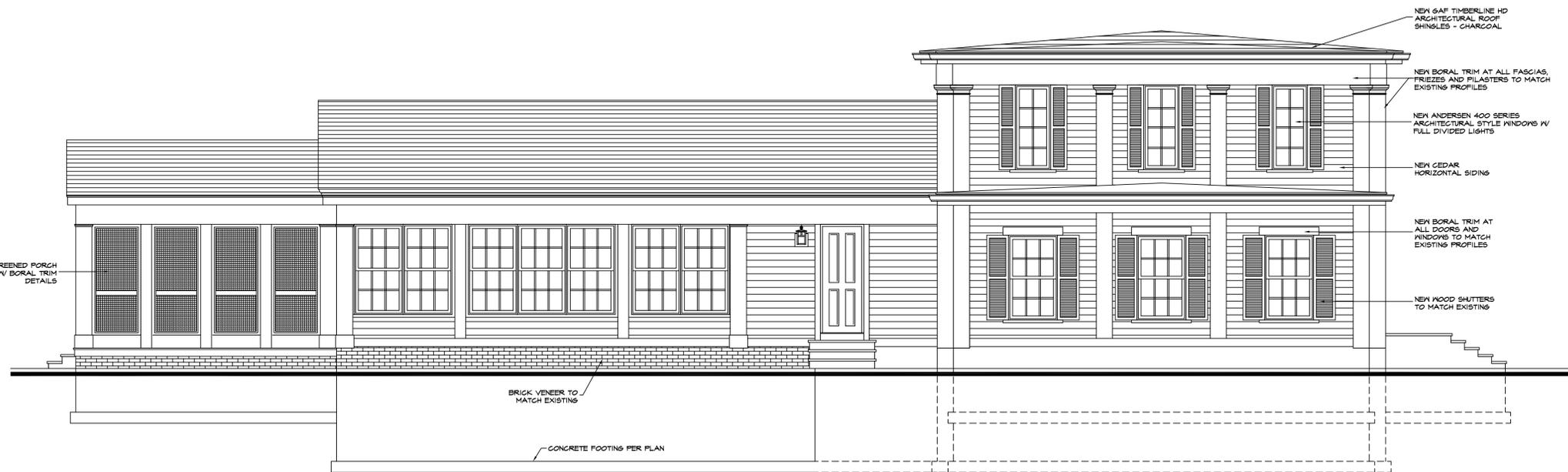
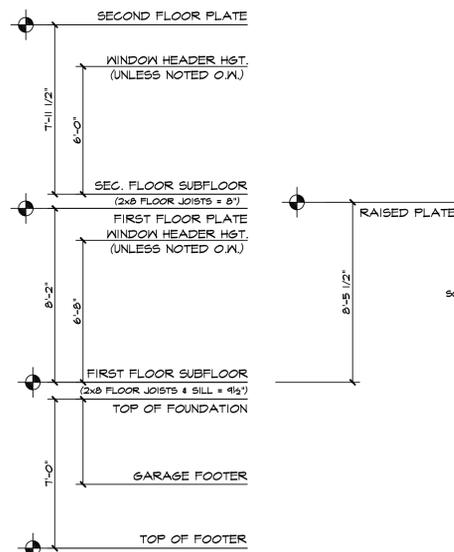
FRONT ELEVATION - NEW  
S: 1/4" = 1'-0"



SAMPLE OF ALL BORAL TRIM FROM OUR PROJECT AT 1751 E. HINES HILL RD.



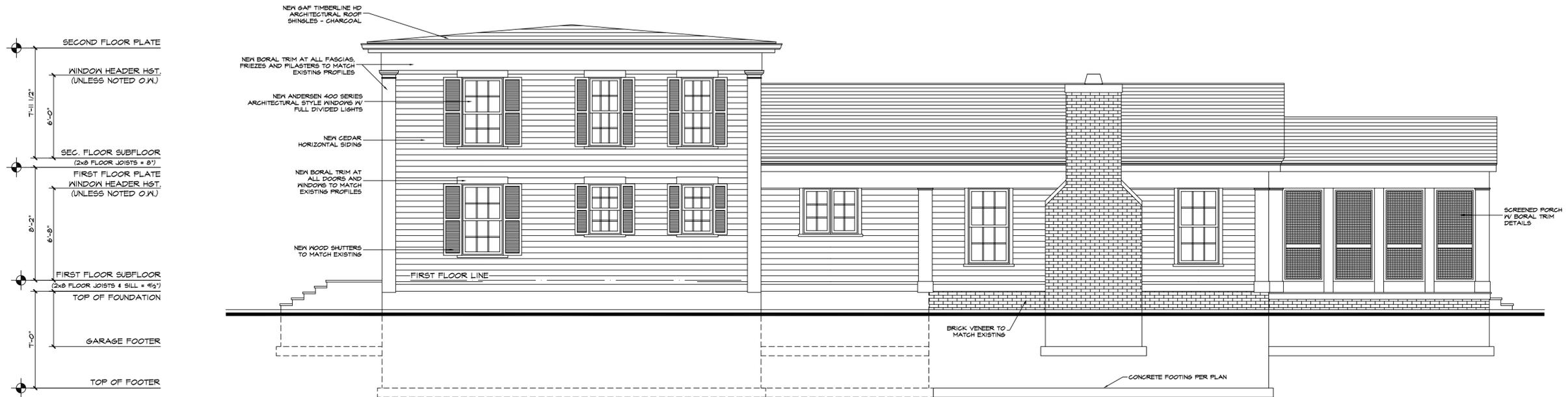
LEFT SIDE ELEVATION - EXIST.  
S: 1/4" = 1'-0"



LEFT SIDE ELEVATION - NEW  
S: 1/4" = 1'-0"



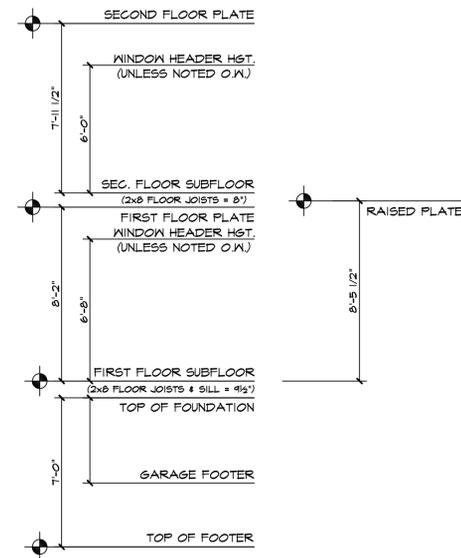
RIGHT SIDE ELEVATION - EXIST.  
S: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - NEW  
S: 1/4" = 1'-0"



REAR ELEVATION - EXIST.  
S: 1/4" = 1'-0"



REAR ELEVATION - NEW  
S: 1/4" = 1'-0"

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WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

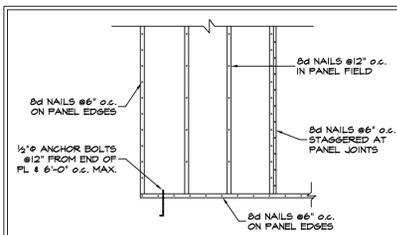
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### METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.2(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

### BRACED WALL PANELS (NOT TO SCALE)

## FOUNDATION NOTES

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CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

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30"x30".....	(3)#4
36"x36".....	(3)#5
42"x42".....	(4)#5
48"x48".....	(4)#5
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72"x72".....	(6)#5

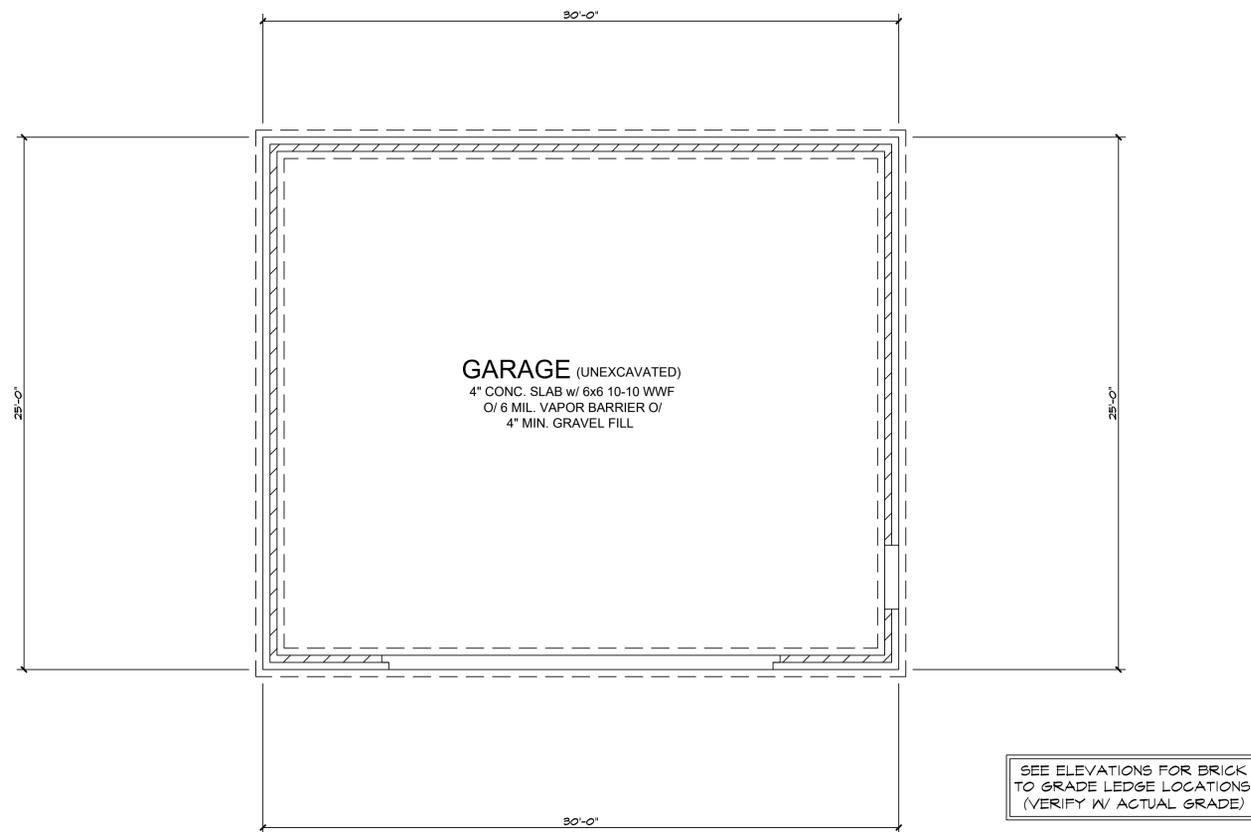
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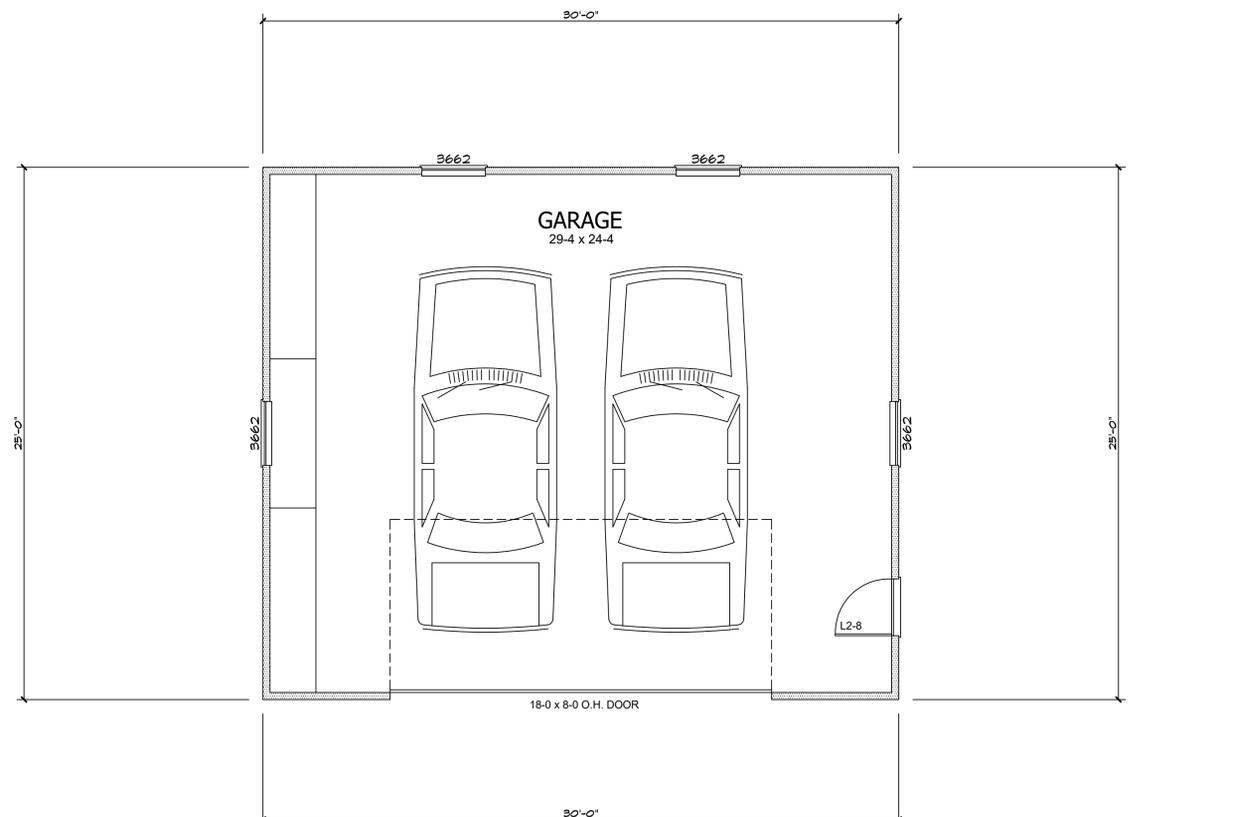
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FIRST FLOOR PLAN  
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MOORHEAD RESIDENCE  
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 GARAGE PLANS

DATE  
 2023-12-07 LAYOUT EXISTING  
 2024-03-04 AHPB SUBMISSION

3-29-24

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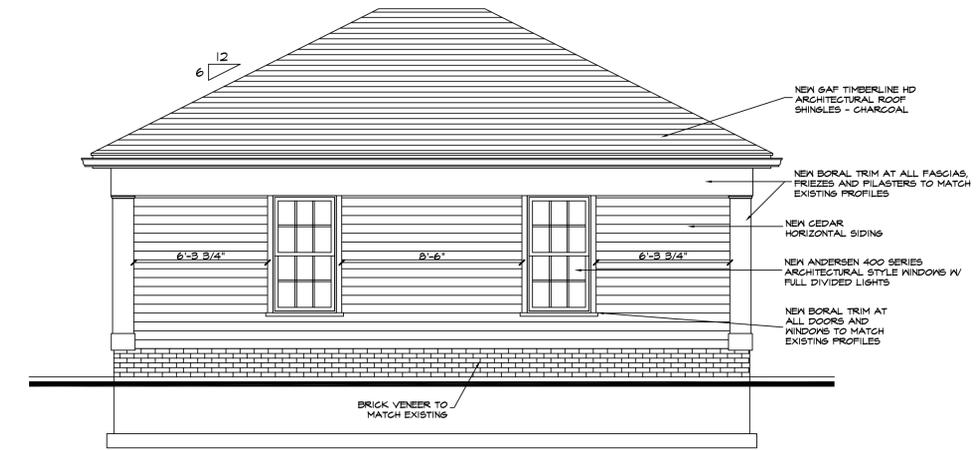
JOB # 2023-45

G101

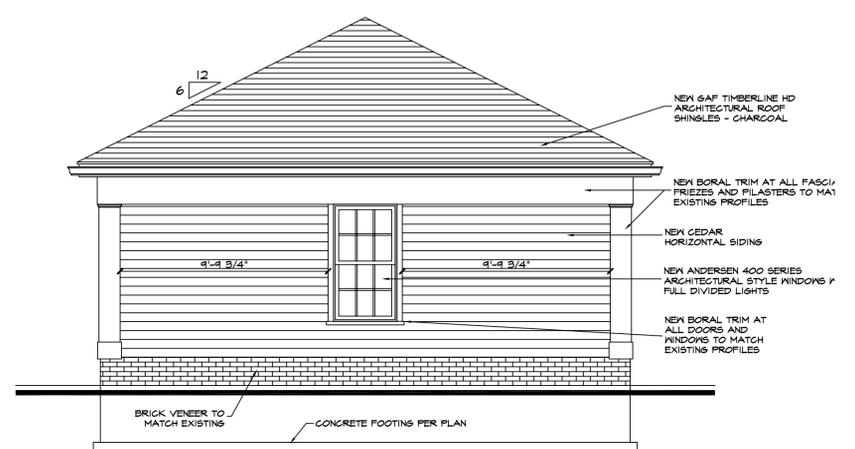
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216-465-2123  
[www.jkapela.com](http://www.jkapela.com)



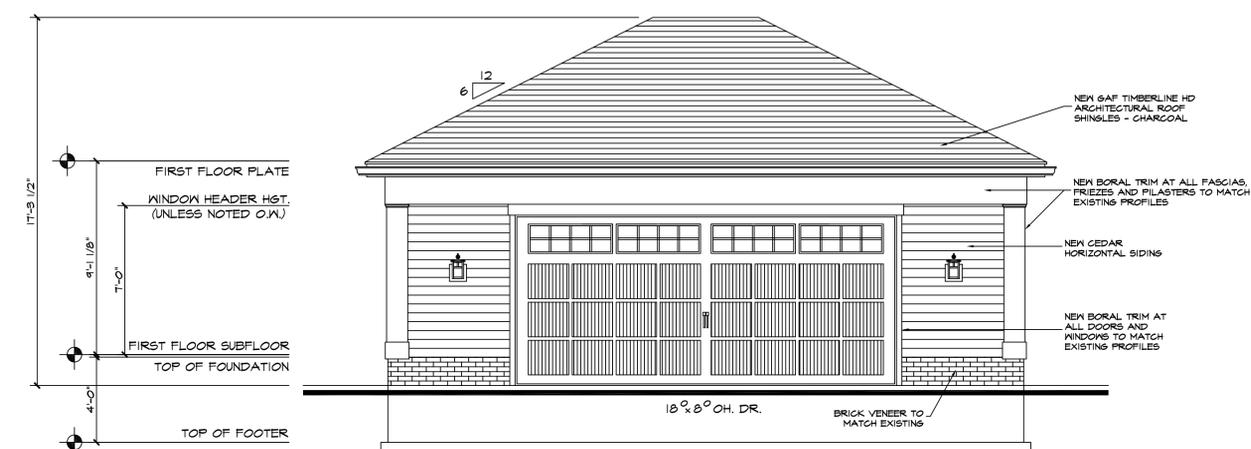
**RIGHT SIDE ELEVATION**  
S: 1/4" = 1'-0"



**REAR ELEVATION**  
S: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
S: 1/4" = 1'-0"



**FRONT ELEVATION**  
S: 1/4" = 1'-0"

**MOORHEAD RESIDENCE**  
172 AURORA STREET  
HUDSON, OH 44236  
**EXTERIOR ELEVATIONS**

DATE  
2023-12-07 LAYOUT EXISTING  
2024-03-04 AHRB SUBMISSION

**3-29-24**

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JOB # 2023-45

**G201**

## FIRST FLOOR NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

-ALL WALLS ARE DIMENSIONED STUD-TO-STUD.

-ALL INTERIOR WALLS ARE 3 1/2", EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.

-ALL ANGLED WALLS ARE 45° UNLESS OTHERWISE NOTED.

-SEE PLANS FOR HEADERS IN ALL OPENINGS FOR EXTERIOR AND LOAD BEARING WALLS.

-ALL FLOOR JOISTS SHALL BE CROWNED BEFORE PLACEMENT.

-ALL POSTS (■) SHALL BE A MINIMUM OF (3)2x4's OR (2)2x6's UNLESS NOTED OTHERWISE & DEPENDENT ON WALL THICKNESS

-POINT LOADS ARE REPRESENTED BY (●)

### SMOKE & CARBON DETECTORS:

ALL SMOKE & CARBON DETECTORS SHALL BE HARDWIRED & INTERCONNECTED WITH A BATTERY BACK-UP. THEY SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING PER RCO SECTIONS 314.3 AND 315.1.

### FIREPLACES:

ALL CHIMNEYS AND FIREPLACES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF 2013 RCO AND INSTALLED PER THE ORDINANCES SET FORTH THE BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THE ROUGH-OPENING DIMENSIONS FOR ALL PRE-FAB FIREPLACES WITH THE ACTUAL UNIT TO BE INSTALLED, PRIOR TO FRAMING.

### WINDOWS:

ALL WINDOWS AND SIZES ARE DRAWN NOMINAL INCHES.

WINDOWS WITHIN 60" OF STANDING OR WALKING SURFACE OF A TUB, SHOWER, HOT TUB OR WHIRLPOOL MUST BE TEMPERED.

WINDOWS WITH SILLS LOWER THAN 18" MUST BE TEMPERED.

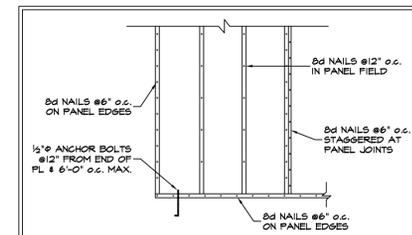
### EGRESS REQUIREMENTS:

MAXIMUM SILL HEIGHT ABOVE FLOOR.....44"  
 MINIMUM NET CLEAR OPENING HEIGHT.....24"  
 MINIMUM NET CLEAR OPENING WIDTH.....20"  
 MINIMUM NET CLEAR OPENING SQUARE FEET.....5.7  
 MINIMUM NET CLEAR OPENING SQ. FT. GRADE LEVEL.....5.0  
 REMOVAL OF SASH MAY NOT BE USED TO OBTAIN CLEAR OPNG.

### STAIR REQUIREMENTS:

MINI. STAIR WIDTH EXCLUDING WALL HANDRAIL.....3'-0"  
 MINIMUM TREAD DEPTH.....9"  
 MAXIMUM RISER HEIGHT.....8 1/4"  
 MAXIMUM VARIANCE IN RISER HEIGHT.....3/8"  
 MINIMUM NOSING PROJECTION.....1"  
 MINIMUM HEADROOM HEIGHT AT STAIR ANGLE.....6'-8"  
 MINIMUM / MAXIMUM HANDRAIL HEIGHT.....34" / 38"  
 MAXIMUM BALUSTER SPACING (CLEAR OPENING).....<4"  
 MINIMUM GUARDRAIL HEIGHT AT STAIRS.....34"  
 MINIMUM GUARDRAIL HEIGHT AT DECKS & BALCONIES.....36"  
 MAXIMUM HAND GRIP WIDTH.....2 1/4"  
 MINIMUM DISTANCE BETWEEN WALL AND HANDRAIL.....1 1/2"

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



### METHOD CS-WSP (602.10.4)

- THIS IS FOR ALL EXTERIOR WALLS OF THE HOME U.N.O.
- EXTERIOR BRACED WALLS ARE ALL TO ALL BE CONTINUOUSLY SHEATHED WITH MIN 7/8" OSB OR PLYWOOD PER CODE.
- ATTACH PER TABLE 602.2(3)
- CONTINUOUSLY SHEATH PER SECTION 602.10.4.2
- MIN. PANEL LENGTHS PER TABLE 602.10.5
- PER TABLE 602.10.1.3 BRACED WALL LINE SPACING 60 FT. MAX WITH 3.1 DIAPHRAGM WIDTH TO DEPTH RATIO

### BRACED WALL PANELS (NOT TO SCALE)

## FOUNDATION NOTES

Reference sections 1061.3 and chapter 44 of the Residential Code of Ohio

### GENERAL:

-2x8 PRESSURE TREATED SILL PLATE WITH SILL SEALER

-1/2"  $\phi$  x18" ANCHOR BOLTS @ 6'-0" o.c. AND 12" MAXIMUM FROM CORNERS AND WITH A MIN. OF 2 BOLTS PER PLATE PER RCO SECTION 403.1.6.

-EXTERIOR FOUNDATION INSULATION AS REQUIRED.

-R-19 BATT INSULATION BETWEEN FLOOR JOIST CAVITIES AT RIM.

### FOOTINGS:

-ALL FOOTINGS SHALL EXTEND BELOW THE MINIMUM FROST LINE DEPTH OF 42" PER RCO SECTION 402.2.

-(2)#4 REBAR CONTINUOUS THRU WALL FOOTERS.

-ALL 8" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x16" CONTINUOUS POURED CONCRETE FOOTING.

-ALL 12" BLOCK OR POURED CONCRETE WALLS SHALL HAVE A MINIMUM 8"x20" CONTINUOUS POURED CONCRETE FOOTING.

-ALL CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE A MINIMUM OF 8" BEARING AT EACH END.

CENTER ALL FOOTINGS ON COLUMN CENTER LINES. REINFORCE EACH WAY AS FOLLOWS:

24"x24".....	(2)#4
30"x30".....	(3)#4
36"x36".....	(3)#5
42"x42".....	(4)#5
48"x48".....	(4)#5
60"x60".....	(5)#5
72"x72".....	(6)#5

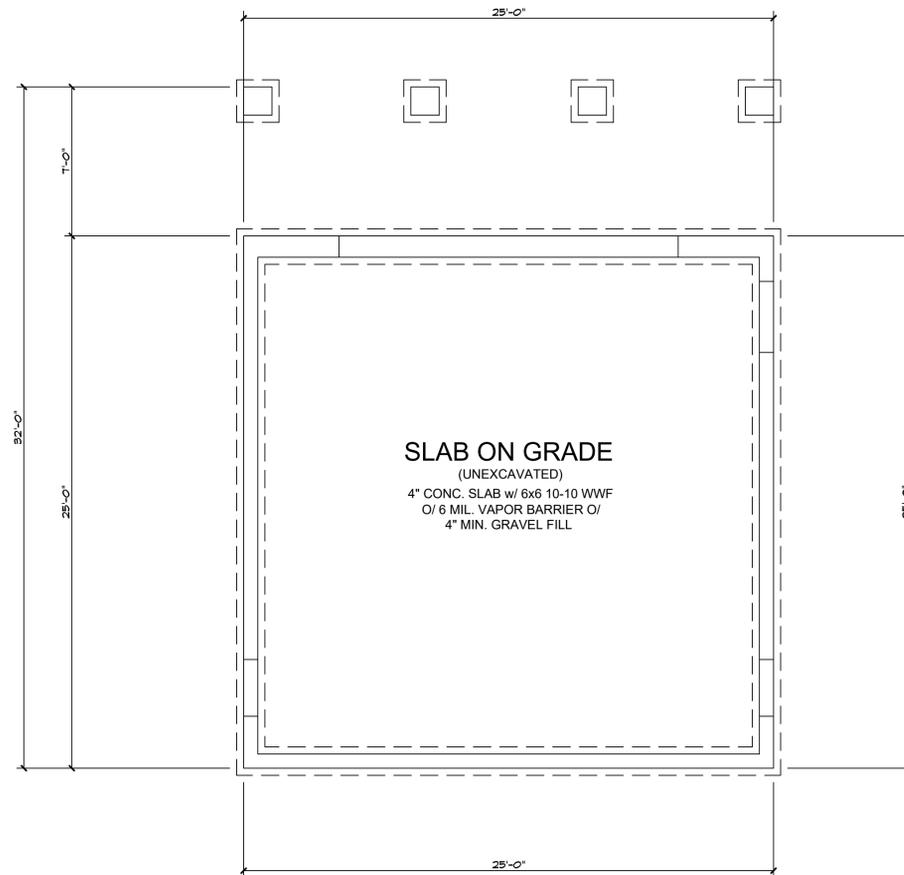
### CRAWL SPACE VENTILATION:

CRAWL SPACE EXTERIOR VENTILATION OPENINGS MAY BE OMITTED WHEN CONTINUOUSLY OPERATED MECHANICAL VENTILATION IS PROVIDED AT A RATE OF 1.0 cfm FOR EACH 50 SQUARE FEET OF CRAWL SPACE FLOOR AREA.

### POINT LOADS:

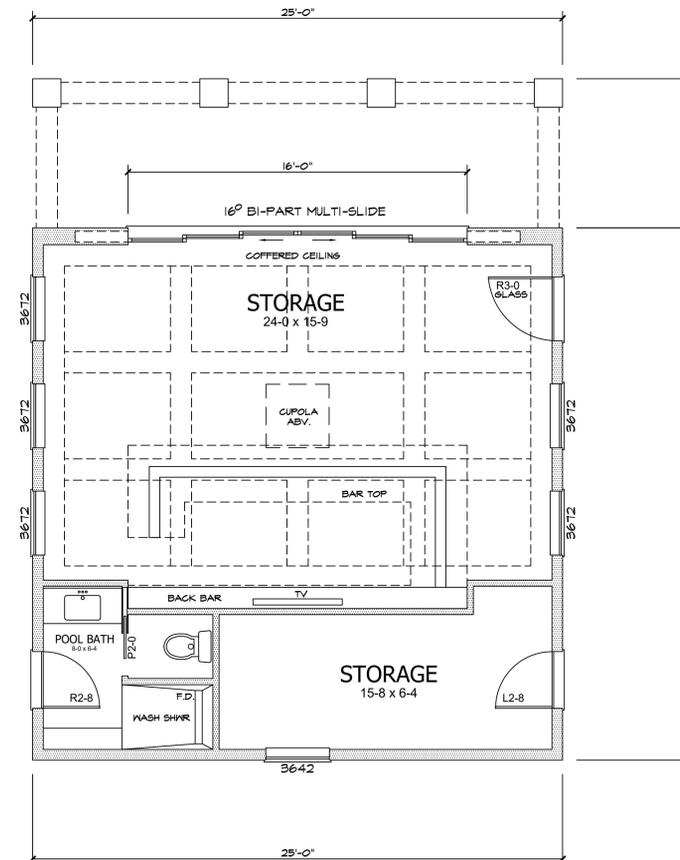
IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO VERIFY THAT ALL POINT LOADS TRANSFER TO THE FOUNDATION OR SPECIFIED BEARING LOCATIONS.

SEE SHEET C101 FOR GEN. CODE REQUIREMENTS, DISCLAIMERS AND GENERAL CONSTRUCTION NOTES



### FOUNDATION PLAN

S: 1/4" = 1'-0"



### FIRST FLOOR PLAN

S: 1/4" = 1'-0"



CONTACT:  
 J. KAPELA DESIGNS & CONST.  
 4302 John Avenue  
 Cleveland, Ohio 44113  
 216-465-2123  
[www.jkapeLA.com](http://www.jkapeLA.com)

MOORHEAD RESIDENCE  
 172 AURORA STREET  
 HUDSON, OH 44236

FIRST FLOOR PLAN

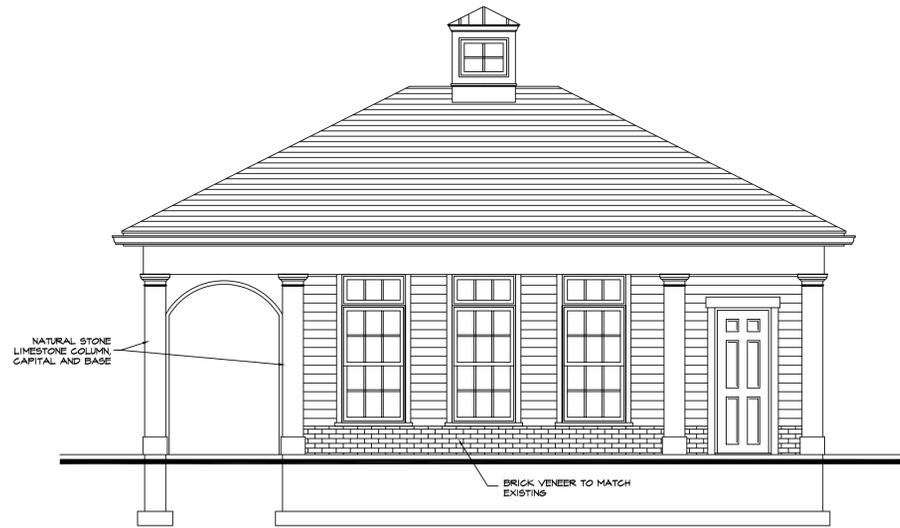
DATE  
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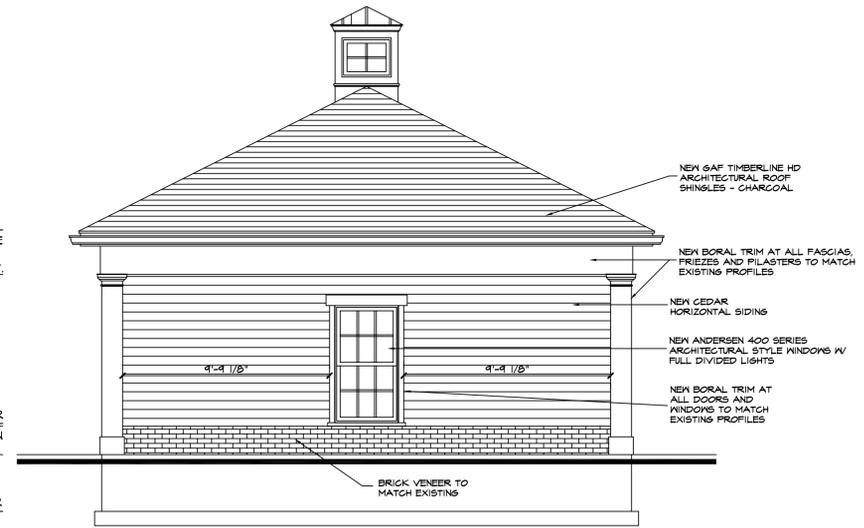
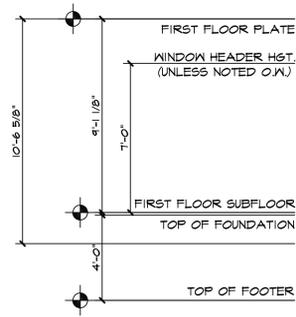
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JOB # 2023-45

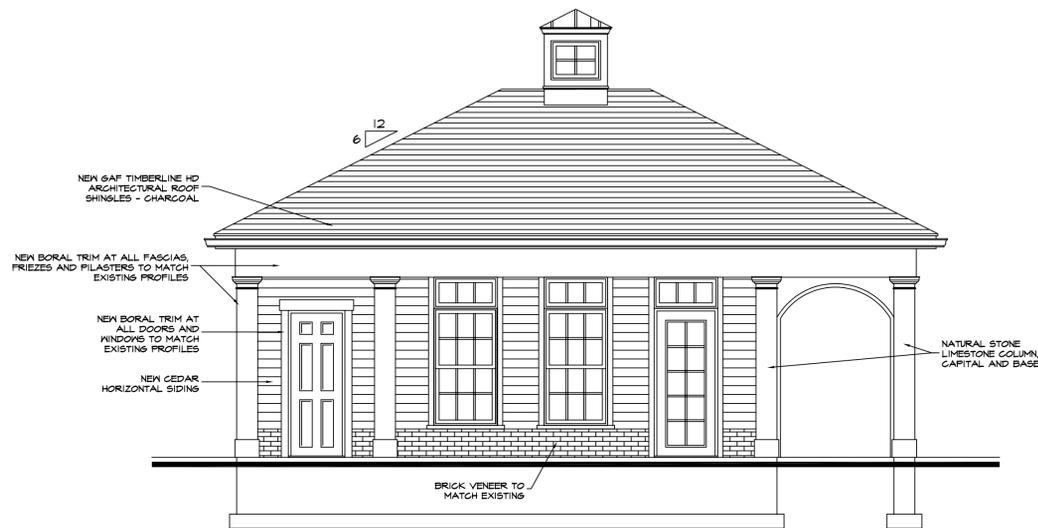
P101



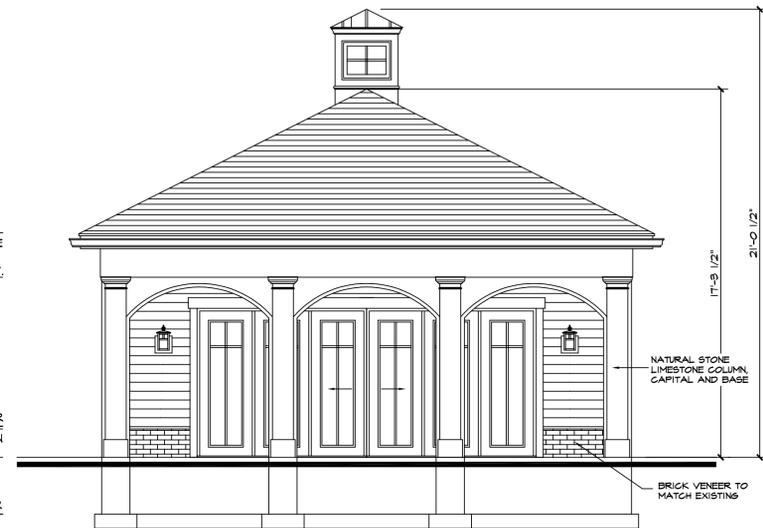
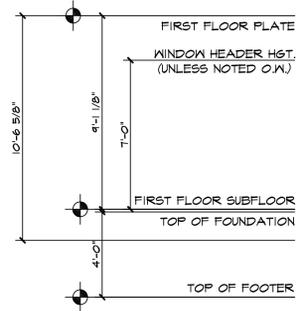
**RIGHT SIDE ELEVATION**  
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**LEFT SIDE ELEVATION**  
S: 1/4" = 1'-0"



**FRONT ELEVATION**  
S: 1/4" = 1'-0"



172

ADI



172





















## 400 SERIES

**TIME-TESTED, CLASSIC WOOD  
CRAFTSMANSHIP**





# EXTERIOR & INTERIOR OPTIONS

Our Perma-Shield® exterior cladding system, a time-tested Andersen innovation, offers low maintenance and durability while also providing an attractive appearance. The interiors of all 400 Series windows and patio doors are available in unfinished stain-grade pine or with a long-lasting, low-maintenance white finish. Select windows are also available with a dark bronze or black finish. 400 Series Woodwright® windows and Frenchwood® patio doors are also available with unfinished maple or oak interiors.

## EXTERIOR COLORS\*\*



## INTERIOR OPTIONS\*\*



Design your window at [andersenwindows.com/design-tool](https://andersenwindows.com/design-tool)

\*Visit [andersenwindows.com/warranty](https://andersenwindows.com/warranty) for details.  
 \*\*Some products are not available in all colors or wood species. See your Andersen supplier for details.  
 †Products with dark bronze and black interiors have matching exteriors.  
 Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

# GRILLE OPTIONS

A variety of grille patterns, widths and configurations fit any architectural style and help you create your vision. When remodeling or replacing, they play an important role in preserving the style of your home which is why we also offer custom patterns.



Permanent exterior  
Permanent interior  
with spacer

**FULL DIVIDED LIGHT**

Permanently applied to the interior and exterior of your window with a spacer between the glass.

Permanent exterior  
Permanent interior

**SIMULATED DIVIDED LIGHT**

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

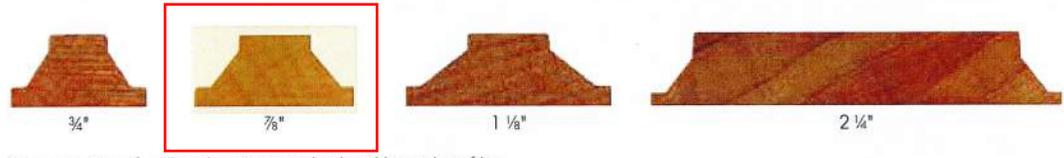
Removable interior

Finelight™  
Grilles-  
Between-  
the-Glass™

**CONVENIENT CLEANING OPTIONS**

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured 3/4" or 1" profile.

## Grille Bar Widths



Our 2 1/4" wide grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.

Cross section of grilles showing standard widths and profiles. Additional patterns available, see your Andersen supplier for details.

# INSECT SCREEN OPTIONS

Choose our TruScene® insect screen for a beautifully unobstructed view with 400 Series windows. TruScene insect screens provide more than 50% greater clarity than conventional Andersen insect screens and let in 25% more fresh air,\*\* all while keeping out unwanted small insects.

Conventional aluminum insect screens are also available for 400 Series windows. 400 Series patio doors are available with conventional fiberglass insect screens.



\*3/8", 1 1/8" and 2 1/4" not available in Finelight grilles-between-the-glass.  
\*\*TruScene insect screens let in over 25% more fresh air than standard Andersen fiberglass insect screens.

# COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

FEATURES		WINDOWS								PATIO DOORS	
		Woodwright® Double-Hung Full-Frame	Woodwright Double-Hung Insert	Tilt-Wash Double-Hung Full-Frame	Tilt-Wash Double-Hung Insert	Narrowline® Double-Hung Conversion Kit	Caseament	Awning	Gliding	Frenchwood® Gliding	Frenchwood Hinged Inswing
<b>Low-Maintenance Exteriors</b>											
	White	•	•	•	•	•	•	•	•	•	•
	Canvas	•	•	•	•	•	•	•	•		
	Sandtone	•	•	•	•	•	•	•	•	•	•
	Terratone	•	•	•	•	•	•	•	•	•	•
	Dark Bronze	•	•	•	•	•	•	•	•		
	Forest Green	•	•	•	•	•	•	•	•	•	•
	Black	•	•	•	•	•	•	•	•		
<b>Interiors</b>											
	Pine	•	•	•	•	•	•	•	•	•	•
	Maple	•	•						•	•	
	Oak	•	•						•	•	
	White	•	•	•	•	•	•	•	•	•	•
	Sandtone							•			
	Dark Bronze			•	•		•	•	•		
	Black			•	•		•	•	•		
<b>Easy Cleaning</b>											
	Tilt-to-Clean Sash	•	•	•	•	•					
<b>Grilles &amp; Blinds</b>											
	Full Divided Light	•	•	•	•	•	•	•	•	•	•
	Simulated Divided Light	•	•	•	•	•	•	•	•	•	•
	Finelight™ Grilles-Between-the-Glass	•	•	•	•	•	•	•	•	•	•
	Removable Interior Grilles	•	•	•	•	•	•	•	•	•	•
	Blinds-Between-the-Glass								•	•	
<b>High-Performance Glass</b> Additional glass options are available. See page 8 for details. For patio doors, all glass options are tempered.											
	Low-E4®	•	•	•	•	•	•	•	•	•	•
	Low-E4 SmartSun™	•	•	•	•	•	•	•	•	•	•
	Low-E4 Sun	•	•	•	•	•	•	•	•	•	•
	Low-E4 PassiveSun	•	•	•	•	•	•	•	•	•	•
	Clear Dual-Pane						•	•			
	HeatLock® Coating	•	•	•	•	•	•	•	•	•	•
<b>Performance Option</b>											
	Stormwatch® Protection	PG upgrade		•			•	•			
<b>Glass Spacers</b>											
	Stainless Steel	•	•	•	•	•	•	•	•	•	•
	Black or White	•	•	•	•	•	•	•	•	•	•
<b>Standard Sizes</b>											
	Minimum Width	1'-9 3/8"	1'-4 1/2"	1'-9 3/8"	1'-9 1/4"	Fits Narrowline double-hung windows made after 1967	1'-5"	2'-0 1/8"	2'-11 1/4"	4'-11 1/2"	2'-6 1/8"
	Maximum Width	3'-9 3/8"	3'-9 3/8"	3'-9 3/8"	3'-8 7/8"		2'-11 15/16"	5'-11 7/8"	5'-11 1/4"	15'-9"	8'-11 1/8"
	Minimum Height	3'-0 7/8"	2'-3 3/4"	3'-0 7/8"	3'-0 3/8"		2'-0 1/8"	1'-5"	1'-10 1/4"	6'-7 1/2"	6'-7 1/2"
	Maximum Height	6'-4 7/8"	6'-5"	7'-8 7/8"	7'-6 3/8"		5'-11 7/8"	4'-0"	4'-11 1/4"	7'-11 1/2"	7'-11 1/2"
<b>Custom Sizes</b>		•	•	•	•		•	•		•	•

## 172 Aurora St. Accessory Structure (Garage)

### Non-Contributing Structure to the Historic District

Based on several factors it is our opinion that the Accessory Structure described below does not contribute to the Historical District of Hudson, nor conform to the Architectural Design Standards of Hudson, stating Accessory Structures shall match the Main Structure in material type, window type and roof type.

The Accessory Structure building type is single-story simple mass with shed roof. The facade material is stucco. The windows are sliders with bars over them. The eaves are an exposed rafter type emulating a craftsman style.



The Main Structure building type is two-story simple mass with hip roof. The facade material is wood lap-siding with large pilaster corner boards. The windows are double-hung with shutters. The eaves are closed with a large frieze board.



The construction type is clay block. Clay block was used for construction from 1915 to 1950. It's assumed this structure was built in the 1940's when garages were beginning to be built for automobiles. This structure incorporates no evidence that it was previously older either; no stone foundation, no wood post and beam, no rough-sawn lumber, thus furthering it is not a Contributing Structure to the Historic District of Hudson.



If the design of this Accesory Structure was submitted as new construction to this property today it would not meet the Architectural Design Standards of Hudson and not be approved.

Additional photos



This Accessory Structure resembles more of a jail, than a Contributing Structure to the Historic District of Hudson.

## 172 Aurora St. Exterior Materials

### Use of Boral TruExterior Trim vs. Wood

Wood trim deteriorates rapidly, why not use a product that resembles every aspect of wood and doesn't deteriorate? The wood trim at 172 Aurora St. is beyond repair.



Another example in the Historic District of deteriorating wood



Boral trim is currently being used in the Historic District on both existing structure and new addition.



Below is my previous project in Hudson done with Boral trim; from the barge board to the pilasters to the crown mouldings. Showing all of the existing details at 172 Aurora St. can be replicated with Boral and not deteriorate.



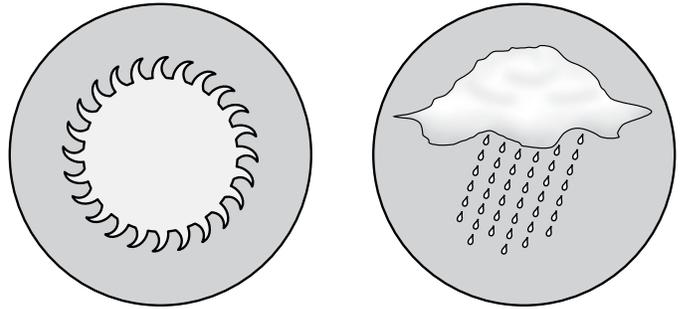
TruExterior<sup>®</sup>  
Siding & Trim

## INSTALLATION INSTRUCTIONS



## INTRODUCTION TO TRUEXTERIOR SIDING & TRIM

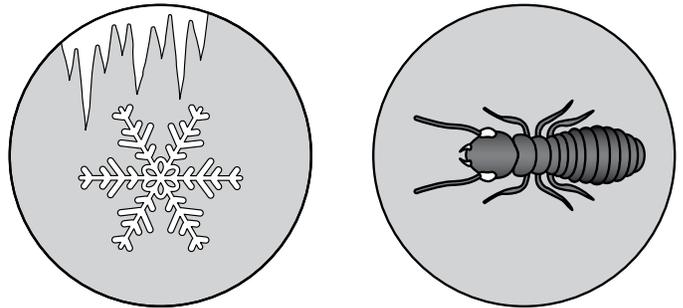
TruExterior Siding & Trim is made with an innovative poly-ash material that is highly resistant to moisture and termites, and offers a high level of dimensional stability. It cuts and installs with carbide woodworking tools and meets or exceeds most code requirements. For additional information, visit the resources page on [TruExterior.com](http://TruExterior.com).



## MATERIALS & TOOLS

### Materials

- TruExterior Siding
- TruExterior Trim
- Drainable weather-resistant barrier
- Flashing, flashing tape
- 6D or 8D stainless steel or hot-dipped hand-driven or pneumatic ring shank nails
- 15 gauge finish nails (5/8, 1X and 5/4 trim only)
- High-grade exterior caulk
- Exterior acrylic paint or solid color stain



### Tools

- Carbide woodworking tools
- Tape measure
- Eye protection
- Respirator
- Gloves

## STORAGE AND HANDLING

- Product must be stored flat on a level surface in a clean, dry location (**Fig. 1**).
- Keep product wrapped and protected from the elements until ready for installation (**Fig. 1**).
- Installing product wet or saturated may result in gapping at joint locations.

## APPLICATIONS

TruExterior Siding and Trim offer exceptional durability in virtually any application. It's an ideal choice for hot, freezing, windy and wet climates. Take precaution and avoid installing product in areas of standing water.

### Approved for:

- Ground contact
- Contact with masonry or brick

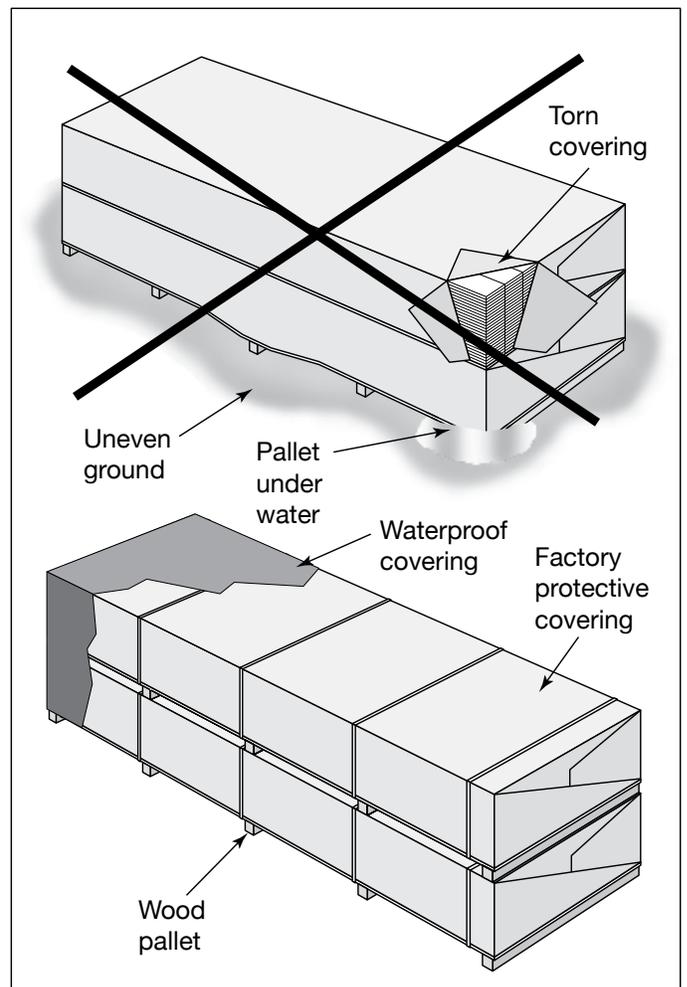


Fig. 1

## APPROVED WALL PREPARATION

### Traditional Wood Framed Walls

- TruExterior Siding must be installed on frame-built walls with studs spaced 16 in. O.C. or, at most, 24 in. O.C. (**Fig. 2**).
- The wall may be sheathed with O.S.B. panels depending on local codes. TruExterior Siding must be fastened at the locations of the studs (**Fig. 2**).

## MANAGING MOISTURE

- Always install a drainable weather-resistant barrier according to local building code requirements (**Fig. 3**).
- Avoid installing product in standing water or areas that can stop water from draining away from the building.

### Installing Flashing

- Prepare your step flashing along roof and wall lines using your weather barrier, flashing tape or z-flashing as counter flashing (**Fig. 3**).
- Allow a minimum 1/2" clearance between the siding and the roof line to help prevent debris from building up (**Fig. 3**).
- Install window and door flashing per window and door manufacturer guidelines.
- Siding may be installed right up against the trim and sealed with a high-grade exterior caulk.
- Appropriate color-matched aluminum flashing or 30 lb. felt strips can be used behind all butt joints to reduce water infiltration.

## CUTTING TRUExTERIOR SIDING & TRIM

**Safety Note:** When cutting or shaping, avoid breathing dust. Use only outdoors or in a well-ventilated area. In case of inadequate ventilation, use respiratory protection. Always wear eye protection.

### Installation Advantages:

- TruExterior Siding & Trim can be installed anywhere wood, engineered wood and fiber cement siding and trim products are used.
- TruExterior Siding can be cut, drilled and routed using carbide saw blades and woodworking tools to achieve custom shapes.
- Unlike other wood, engineered wood and fiber cement products, there is no need to prime or paint end-cuts or field-cut edges.

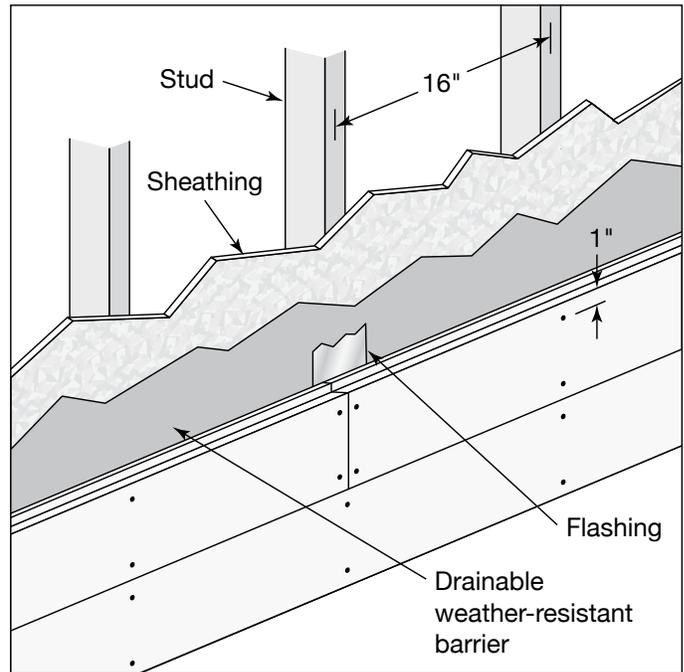


Fig. 2

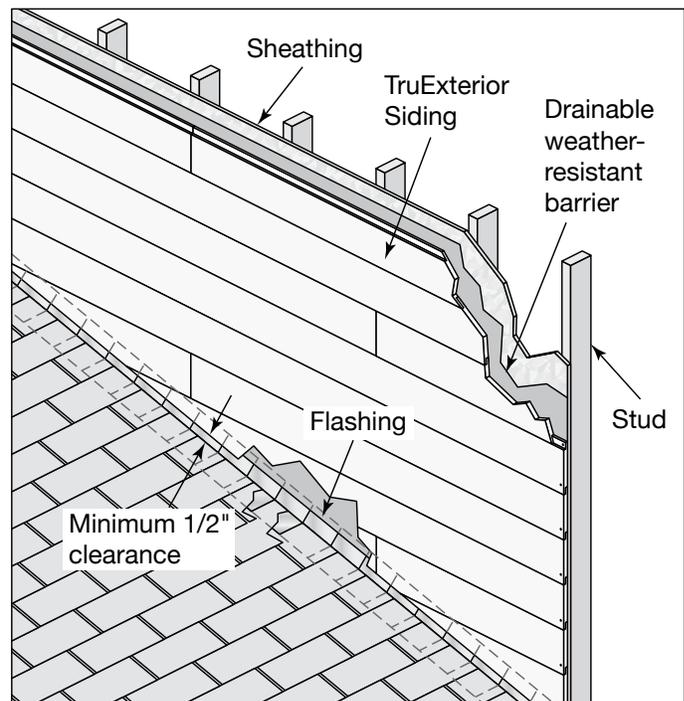


Fig. 3

## INSTALLING TRUEXTERIOR SIDING

**Note:** Ensure boards are dry and free from moisture before installing.

### Spacing

- Joints can be installed butted together with no gap.

### Nailing TruExterior Siding

- Use 6D or 8D stainless steel or hot-dipped ring shank nails to meet wind load requirements stated in the Intertek CCRR-0300 report. Check your local code requirements.
- Make sure your nail gun is set to drive the nail head even/flush with the surface of the siding.
- Fasteners should be spaced 16" to 24" and penetrate each stud at least 1-1/4" deep.
- If installing over foam insulation sheathing, make sure the length of your nail is adjusted to ensure it penetrates each stud at least 1-1/4" deep.
- For 4", 6" and 8" profiles use 2 fasteners per every framing member. Both fasteners should be through the face of the profile. Product should not be fastened through the tongue (Fig. 4a & 4b).
- For 10" profiles use 3 fasteners per every framing member. All fasteners should be through the face of the profile. Product should not be fastened through the tongue (Fig. 4b).
- When installing TruExterior in situations where fasteners are unable to penetrate solid framing, fasten into a minimum 7/16 O.S.B. or 15/32 plywood no more than 12" apart along the length of the siding.

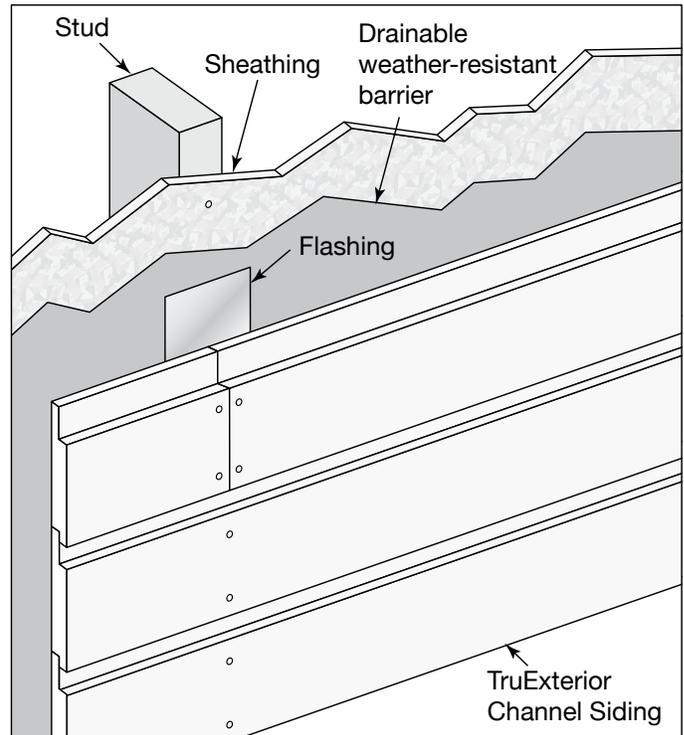


Fig. 4a

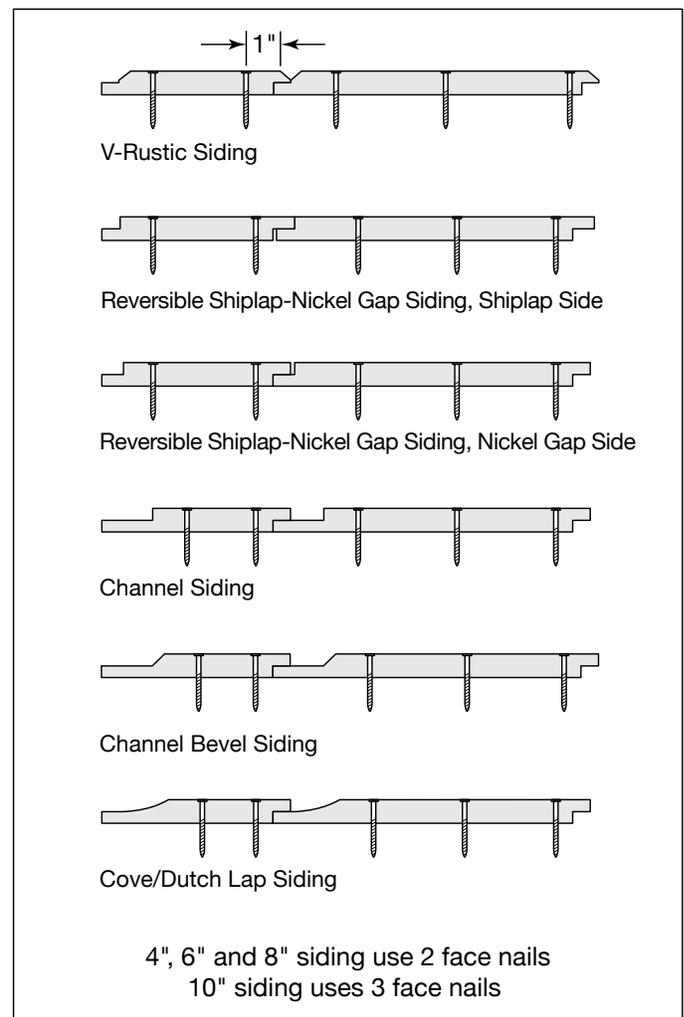


Fig. 4b

## HOW TO HANG TRUEXTERIOR SIDING

### Installation Methods

TruExterior Siding can be installed in two orientations to enhance the curb appeal of a home—traditional horizontal application or vertical application.

Follow the nailing guidelines to help ensure a successful installation.

#### Horizontal Application

- Always stagger your butt joints over stud locations (**Fig. 5**).
- Siding may be installed tight against the trim at the ends of each course.
- Where a course of siding runs underneath a window, you must face nail every 8" and cover the nail head with high-grade exterior caulk or wood filler.
- Seal all vertical joints along window and door edges with a high-grade exterior caulk per the manufacturer's guidelines.
- See Nailing TruExterior Siding and **Fig. 4b** on page 4 for fastening instructions.

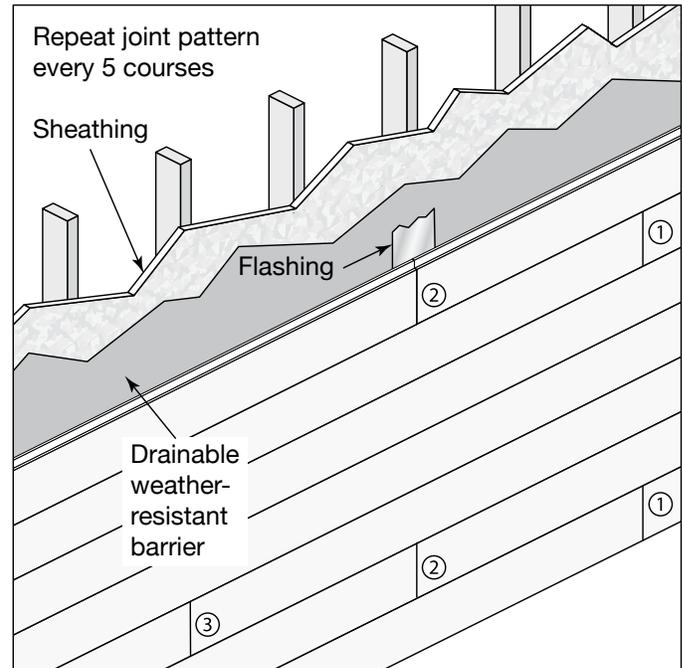


Fig. 5

#### Vertical Applications

- When installing TruExterior in a vertical orientation, make sure to install flashing above windows, doors and roof lines as usual.
- In situations where the height of the home requires more than one piece of siding installed vertically, create a "belly band" trim joint with a piece of 1"x4", 1"x6" or 1"x8" trim (depending on preference) and z-flashing above and below (**Fig. 6**).
- Fasten each piece of siding through the face no less than 3/4" from the edge and no more than 12" along the length of both sides of the siding.
- Install a frieze board trim piece with flashing along the top edges of the siding under the soffits.
- See Nailing TruExterior Siding and **Fig. 4b** on page 4 for fastening instructions.

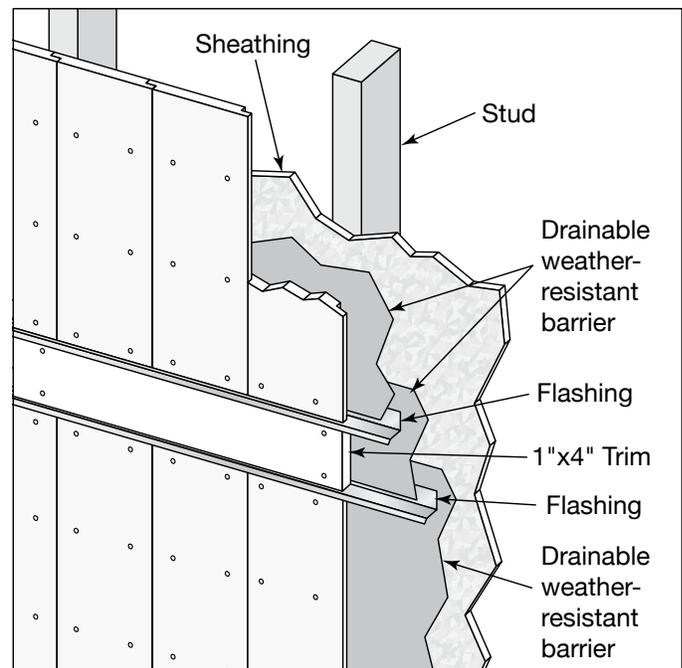


Fig. 6

## INSTALLING TRUEXTERIOR TRIM

**Note:** *TruExterior Trim should never be used for structural or load-bearing applications.*

- When installing TruExterior Trim, allow the top trim pieces to extend to the edges of the vertical trim pieces. The bottom trim should fit between the two vertical side pieces (**Fig. 7**).
- Nail the trim pieces in place within 2" of the edge of the trim piece using approved fasteners (**Fig. 8**).
- Use 2 nails every 16" along the length of the trim piece. For trim 10" or wider, use 3 nails across the trim piece spaced every 16" along the length.
- On long trim runs, use butt joints cut at 30- to 45-degree angles (**Fig. 8**).

**Note:** *TruExterior Trim may be installed directly over bricks or other masonry exteriors. When using TruExterior as fascia, a sub-fascia is required (**Fig. 8**).*

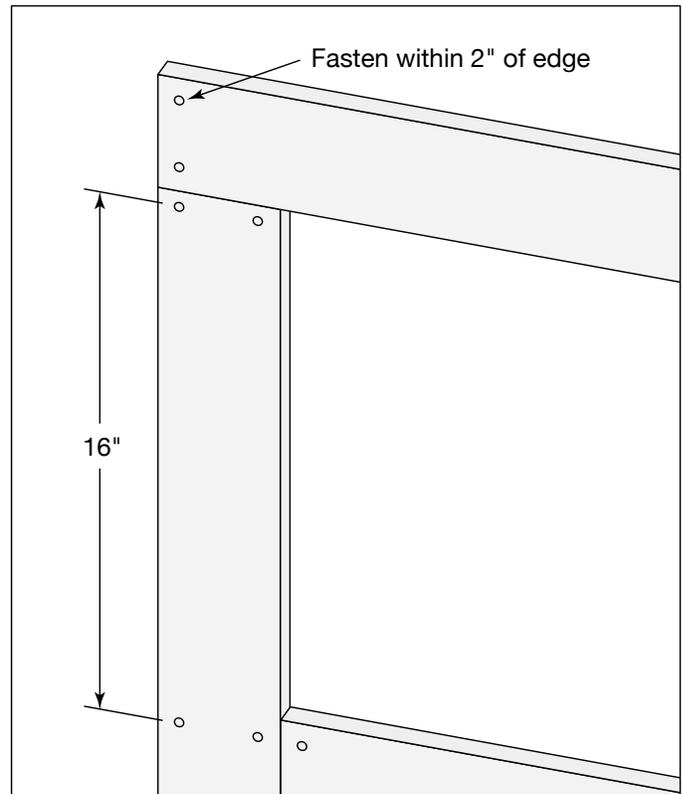


Fig. 7

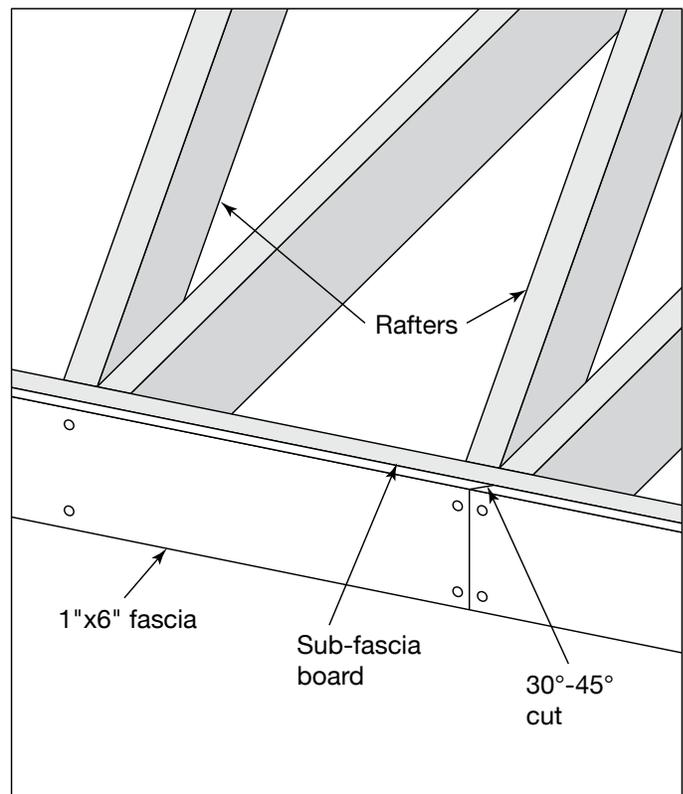


Fig. 8

## INSTALLING INSIDE CORNERS

- When creating inside corners, install 2"x2" trim into the corner with an approved fastener (Fig. 9a).
- Use 1 nail every 16" along the length on alternating sides of the trim, ensuring penetration into the framing (Fig. 9a).
- Butt each course of siding up to the corner trim and secure in place (Fig. 9a).
- Seal the joint between the corner trim and the siding with high-grade, exterior acrylic caulk (Fig. 9a).

## INSTALLING OUTSIDE CORNERS

- Typical outside corners are created using 1"x5" and 1"x6" trim, installed using approved fasteners (Fig. 9b).
- Secure each trim piece with 2 nails every 16" along the length of each piece of trim, staggering the nail pattern slightly to prevent opposing nails from contacting each other (Fig. 9b).
- Ensure that the nails penetrate the framing and the nails of the longer trim piece penetrate the shorter trim piece at the corner (Fig. 9b).
- For trim 10" or wider, use 3 nails across, placed every 16" along the length.
- Butt each course of siding up to the corner trim and secure in place (Fig. 9b).
- Seal the joint between the outside corner trim and the siding with high-grade, exterior acrylic caulk (Fig. 9b).

**Note:** Use any width trim to create a custom look for your corners.

## SEALING GAPS

While TruExterior Siding does not require priming or sealing of end cuts, a variety of caulks and sealants may be used in conjunction with the product to help prevent water intrusion to the structure (Fig. 9a & 9b).

## PAINT OR STAIN TRUExTERIOR PRODUCTS

**TruExterior siding requires paint or stain within 150 days of installation or the warranty will be void.**

- TruExterior products are dimensionally stable which promotes long-lasting paint and stain adhesion, even with dark colors.
- Nail holes, screw holes and minor dents and dings may be repaired with a high-grade exterior caulk or exterior wood filler.
- Use a high-grade exterior acrylic paint or solid color stain and follow the manufacturer's application instructions.
- Ensure all surfaces are free of dirt or other contaminants and completely dry before painting.
- Ensure that all exposed TruExterior Siding and Trim surfaces are adequately covered with paint or stain per the manufacturer's guidelines.
- When using a sprayer to apply paint or stain, it is best to back roll or back brush to avoid runs, drips or bubbles on the siding surface.

**Note:** For additional painting and staining information, please visit the resources page on [TruExterior.com](http://TruExterior.com).

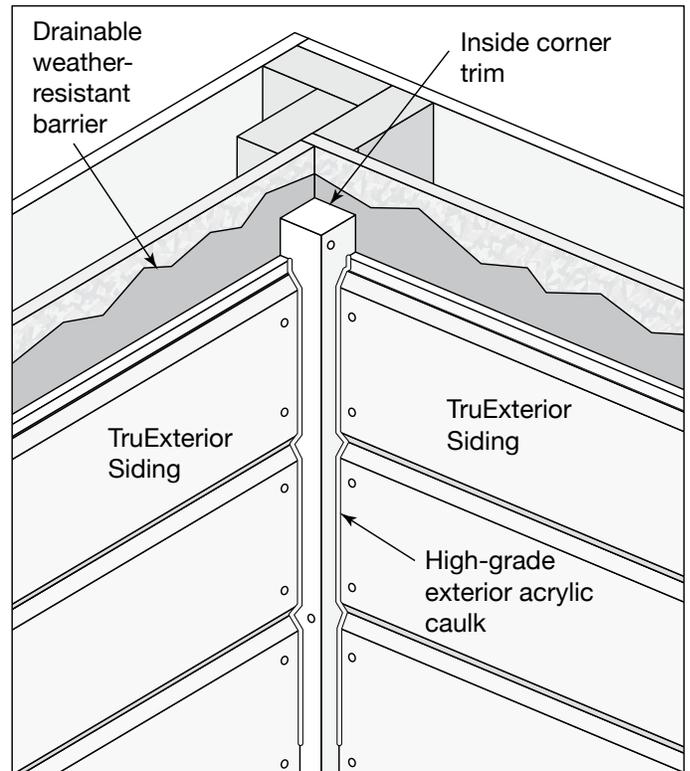


Fig. 9a: Inside corner detail, no gap and with caulk

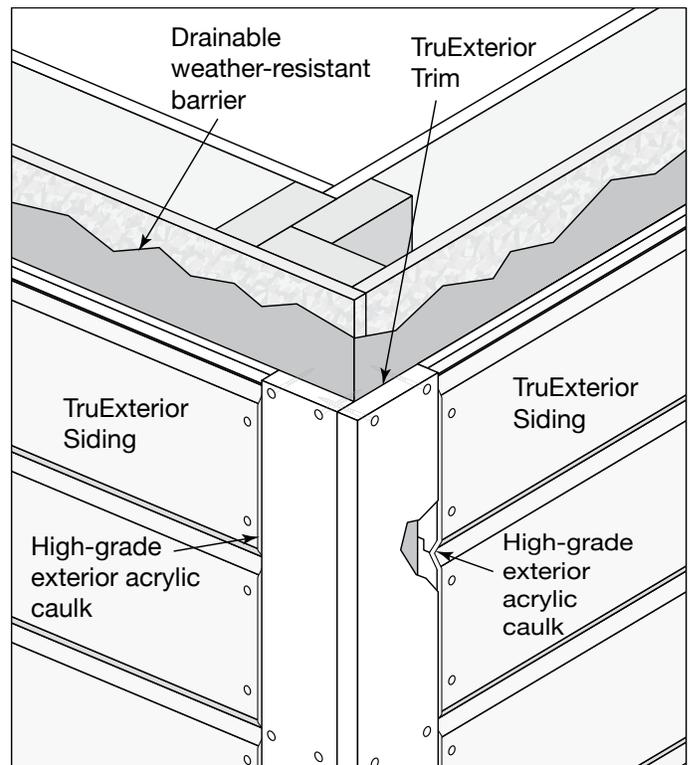


Fig. 9b: Outside corner detail, no gap and with caulk

# TruExterior<sup>®</sup>

Siding & Trim

## Installation Instructions

TruExterior.com | 800-521-8486

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Vantage<sup>®</sup> Shutters | Versetta Stone<sup>®</sup> | Wellcraft Egress Systems<sup>®</sup>