



The Preserve at Hudson – Conditional Use Application

September 15, 2025

Dear Nick Sugar,

Within please find our application for Conditional Use for our model townhome unit at the Preserve at Hudson. Confirmation of requirements listed below:

Conditional Use Standards

- (1) The use is consistent with the policies and intent of the corresponding plan district in which it is located, as set forth in the City Comprehensive Plan (as amended from time to time).
 - **A Conditional Use application was granted by the City of Hudson Planning Commission 5/20/24. More specifically the model use as a temporary Sales Office with parking lot do not conflict with the initially approved use.**
- (2) The use is physically and operationally compatible with the surrounding neighborhood and surrounding existing uses. Conditions may be imposed on a proposed conditional use to ensure that potential significant adverse impacts on surrounding existing uses will be reduced to the maximum extent feasible, including, but not limited to, conditions or measures addressing:
 - Location on a site of activities that generate potential adverse impacts such as noise and glare;
 - **Our model home will operate during daylight hours (10-6) with no additional lighting. The impact of a Sales Associate on site will not adversely affect noise generated to the surrounding area.**
 - Hours of operation and deliveries.
 - **10am – 6pm**

- Location of loading and delivery zones.
 - **We do not anticipate recurring deliveries, however, the sales office will be accessible from the permanent driveway in the event of a delivery as all other units on the site.**
 - Light intensity and hours of full illumination;
 - **We are not proposing any additional lighting to accommodate the storefront or the parking lot.**
 - Placement and illumination of outdoor vending machines;
 - **Not applicable.**
 - Loitering;
 - **No loitering to be permitted.**
 - Litter control;
 - **Trash cans to be accessible inside the Sales Office.**
 - Placement of trash receptacles;
 - **Inside of Sales Office**
 - On-site parking configuration and facilities;
 - **Refer to page 11 on 'Conditional Use Submittal'**
 - On-site circulation;
 - **No alteration to the site traffic plans**
 - Privacy concerns of adjacent uses.
 - **We see no concern to adjacent users due to location of the parking lot, a thick vegetative buffer surrounding the community to the north, south, and east in compliance with buffering requirements within overall site approval.**
- (3) The use can generally be accommodated on the site consistent with any architectural and design standards set forth in the applicable district regulations of this Code, and in conformance with all dimensional, site development, grading/drainage, performance, and other standards for the district in which it will be located.
- **All architecture has been approved by the Architectural Review Board in advance of construction with no alterations to the building with the exception of the storefront entry for the Sales Office which will be replaced with a garage door as approved once the conditional use is relinquished.**

- (4) To the maximum extent feasible, access points to the property are located as far as possible, in keeping with accepted engineering practice, from road intersections and adequate sight distances are maintained for motorists entering and leaving the property proposed for the use.
 - o **Yes, the proposed model park and home are 150' from the nearest intersection.**
- (5) On-site and off-site traffic circulation patterns related to the use shall not adversely impact adjacent uses or result in hazardous conditions for pedestrians or vehicles in or adjacent to the site.
 - o **We feel the location of the temporary parking lot does not affect traffic patterns throughout the site or the adjacent users.**
- (6) The use will be adequately served by public facilities and services.
 - o **The parking lot will be salted and plowed during winter months by the HOA management company. The model home and Sales Office will be serviced by utility providers including Hudson Electric, Hudson Water, DOSSS, Enbridge, and Spectrum with facilities available for public use.**
- (7) The use provides adequate off-street parking on the same property as the use, in compliance with standards set forth in Section 1207.12.
 - o **Refer to page 11 of the 'Conditional Use Submittal'**
- (8) Unless addressed in the special conditions and standards set forth below, the use will be screened with fencing and/or landscaping in excess of what is required in Section 1207.04, as appropriate, if the use may otherwise result in an adverse impact on adjacent property benefitting from such screening.
 - o **Due to the location and temporary nature of the parking lot we feel the existing landscaping plan is suitable screening from the street.**
- (9) The residential use is proposed at a density consistent with that of the existing neighborhood density or is compatible by its use of architecture, orientation of structures and parking, and landscape buffer. Where sufficient natural screening does not exist, or will be disturbed, development adjacent to existing residential shall blend with neighboring properties and increased density shall be directed away from neighboring properties.
 - o **The proposed use is consistent with the density approved by the Conditional Use and the Preliminary plan.**
- (18) Special conditions for model homes:
 - A. Such use shall be temporary only and conditional use approval shall automatically lapse and be null and void after two years from the date of PC approval or BZBA approval on appeal, whichever is later.
 - o **The Sales Office will be converted to a typical garage upon community close out.**
 - B. A paved parking area for visitors shall be provided.
 - o **Refer to page 11 of the 'Conditional Use Submittal'**
 - C. No business other than new home sales or leasing shall be conducted from the model home.
 - o **Confirming the use is only intended for new home sales.**

- D. The number of employees on-site at the model home shall not exceed three sales and marketing personnel.
 - o **One full time Sales Associate**
- E. A model home shall not be open for public viewing or business before 9:00 a.m. or later than 8:00 p.m.
 - o **Our Sales Office hours of operation will be 10-6.**

Conditional Use Application

- 6. A development plan of the entire property being considered, drawn to a scale of not more than one (1) inch equals one hundred (100) feet, and showing the proposed site/building/sign plans.
 - o **Refer to Page 10 of the 'Conditional Use Submittal'.**
- 7. Statement of compliance with all required conditions as set forth in Section [1203.05](#) of Land Development Code.
 - o **Refer to page 9 of the "Conditional Use Submittal"**
- 8. Affidavit of applicant, which establishes ownership and that the information being provided is correct.
 - o **Refer to page 8 of the 'Conditional Use Submittal'**
- 9. Any other information deemed necessary by the City to make a fully informed and deliberate decision on the conditional use application.
 - o Refer to 'Conditional Use Submittal'
- 10. 8½ x 11 reduction of the site plans to be submitted prior to scheduled Board or Commission Meeting.

Core Submittal Requirements

- (10) A complete application form provided by the Community Development Department, copies of the plan or plat as required, and the required fee as established by City Council.
 - o **Included in Portal Submittal.**
- 2. Name of Development or Subdivision; names of adjacent subdivisions.
 - o **The Preserve of Hudson**
 - o **There are no adjacent residential subdivisions**
- 3. Name and address, including telephone number of legal owner or agent of property, and citation of last instrument conveying title to each parcel of property involved in the current proposal, giving grantor, grantee, date, and land records reference.
 - o **Pulte Homes of Ohio, LLC**
 - o **Cc: Gabe Kirksey**
 - o **387 Medina Rd Suite 1700**
 - o **216-645-2181**
 - o **Limited Warranty Deed, Instrument #56948589, Triban Investments, LLC to Pulte Homes of Ohio, LLC 5/16/25.**
- ~~4. All existing subdivision plat notes, deed restrictions and/or restrictive covenants registered on the subject parcel.~~
 - o **Not required for conditional use application**
- 5. Name and address, including telephone number, fax number and/or e-mail address of the professional person(s) responsible for site or subdivision design, for the design of public improvements, and for surveys.
 - o **Polaris Engineering and Surveying, Inc.**
 - o **34600 Chardon Rd Suite D**
 - o **Willoughby Hills, OH 44094**

6. Name and address of adjoining property owners from the latest assessment rolls within five hundred (500) feet of any perimeter property line of the site or subdivision.

- o **Refer to Exhibit C included in submittal**

7. A vicinity map, locating the subject property and showing streets and other general development of the surrounding area.

- o **Refer to Exhibit C included in submittal**

8. A drawing of the subject property at the required scale, with north arrow and date. This will include the location of the property by municipality and parcel number according to County real estate records. All plans and plan revisions shall be dated: month, day, year.

- o **Refer to page 10 of 'Conditional Use Submittal'**

9. The approximate location, dimensions, and areas of all proposed or existing lots. A statement of the proposed use of the building sites or lots. Include the existing land use of the site and adjacent land, and location of existing buildings within 200 feet of the property line of the site or subdivision. Where applicable, list of lots, blocks, parcels and applicable acreages.

- o **The Preserve of Hudson is approximately a 9 acres site. There are no subdivided lots as the community will be platted as condominium ownership.**
- o **The parent parcel was originally divided between district 3 & district 7 overlay. Paige Ln currently traverses the district 7 overlay to access the community.**
- o **The adjacent parcels within 200 ft are located within district 7.**
- o **Refer to exhibit C for addresses and acreage sizes.**

10. The approximate location, dimensions, and area of all parcels of land proposed to be set aside for open space, park or other public use, or for the use of property owners in the proposed development.

- o **6.57 acres of total open space (4.69 acres of green space, 0.74 acres of Storm Water Mangement, and 1.14 acres of wetlands) primarily in the south, and southeastern portion of the site.**

11. Location of property lines, existing easements and other restrictions, railroad rights-of-way, watercourses, wetlands, other natural features such as steep slope, rock out croppings and existing wooded areas. Also indicate limits of 100 year flood boundaries as defined by the Flood Insurance Rate Maps (FIRM) of the U.S. Department of Housing and Urban Development. (Available for review at the Community Development Department).

- o **Refer to page 10 of 'Conditional Use Submittal'**

12. Tree and Vegetation Plan and Landscaping/Bufferyard Plan. (see following submittal requirements list).

- o **Refer to pages 16-18 of 'Conditional Use Submittal'**

13. Location, width, and names of all existing streets within or immediately adjacent to the property.

- o **Adjacent to property entry, Darrow Rd, 30' wide**
- o **Within development, Paige Ln, 24' wide**

14. The approximate location and widths of proposed streets, and easements.

- o **Within development, 24', Paige Ln**
- o **55' wide utility access entering the site along Paige Ln for all utilities**
- o **12' utility easement runs along Paige Lane from the main access point from Darrow Rd, then through the site in front of buildings 1 & 2.**

~~15. Location, sizes, elevations and slopes of existing sewers, water mains, storm drains, fire hydrants, culverts, gas, electric and telephone lines and other underground structures within the tract and immediately adjacent thereto; existing utility poles on or immediately adjacent to the site and utility rights of way.~~

- o **Not required for conditional use application**

16. Preliminary proposals for connection with existing water supply and sanitary sewage systems, preliminary provisions for storm water management; plans shall show the relationship with existing utility capacities.

- o **Water will be provided to the subdivision pursuant to the approved improvement plans from the City of Hudson dated 5/16/25.**
- o **Sanitary Sewer will be provided pursuant to the approved improvement plans from the Department of Sanitary Sewer Services as re-approved on 9/10/25.**
- o **Storm Water Pollution Prevention Planning to be managed pursuant to the approved Improvement Plans from the City of Hudson dated 5/16/25.**

17. Location of all existing oil and gas wells, easements, tank batteries, flow and sale lines, ingress and egress roads, and other activities usually associated with such oil and gas extraction within five hundred (500) feet of the site or subdivision boundaries.

- o **Refer to page 10 of 'Conditional Use Submittal'**

18. A map of existing topography.

- o **Refer to "Conditional Use Submittal" – page 11 for Conditional Use site, page 19 for entire site.**

19. Zoning classifications and district boundaries applicable to the site or subdivision and surrounding property.

- o **The parent parcel was originally divided between district 3 & district 7 overlay. Paige Ln currently traverses the district 7 overlay to access the community.**

20. Demonstration of compliance with the requirements of this Land Development Code on any plans or proposals submitted. Provide check list of all materials submitted with dates of submission.

- o **Refer to Statement of Compliance on page 9 of 'Conditional Use Submittal'**
- o **DOSSS – re-approved on 9/10**
- o **NOI – approved 4/18/25 – Permit #3GC16006*AG**
- o **Zoning – City of Hudson approved 5/16/25**
- o **PTI - Sanitary – 6/13/25 - Permit #DSWPTI-250423**
- o **PTI – Water – 5/30/25 – Permit #DDAGW-4326**

21. Anticipated impact on traffic levels and off-site circulation system. Traffic impact study demonstrating peak hour level of service pre-development and post-development and any recommended mitigation. Traffic impact studies shall be in accordance with the Hudson Guideline Manual for the "Preparation of a Traffic Impact Study." See Section [1207.13](#) Transportation, Circulation and Pedestrian Linkage.

- o Refer to 'Exhibit D' Traffic Study Statement included with our submittal.

22. Anticipated phases of development and timing. A development schedule shall indicate the approximate date when construction of the project or stages of the same can be expected to be completed, including the proposed phasing of construction of public improvements and recreational and common space areas.

- o **Grading – Complete**
- o **Wet Utilities - Complete**
- o **Pavement – Sept '25**
- o **Model Start – Oct '25**
- o **Dry Utilities – Nov '25**
- o **Common Area Stabilization – Nov '25**
- o **Model Complete – Jan '26**
- o **Grand Opening – Feb '26**

23. Sketch Plan or Site Specific Development Plan shall include the following information:

- a. Uses proposed;
 - o **Single family attached residences**
- b. Intensity or density of uses proposed;
 - o **29 units in total on 9.353 acres – 3.1 unit per acre.**
- c. Location of public and private open space;
 - o **Open space is generally in the southern portion of the site and mixed between buildings. There is no public open space.**
- d. Location of existing and proposed buildings on the site;
 - o **The buildings are on the central portion of the site.**
- e. Road, street, and pedestrian networks proposed.
 - o **Sidewalks on both sides of Paige Ln, along entry way from Darrow Rd sidewalks location on east side only.**
 - o **Paige Ln will service the entire community, with branches of access drives to rear load garages.**

24. Anything that is digitally produced submitted in a format acceptable to the City.

- o **All files have been submitted in PDF format.**

25. Storm Water Pollution Prevention Plan.

- **Refer to "Conditional Use Submittal" – page 11 for Conditional Use site, page 20 for entire site.**
- 26. Current deed.
 - **Refer to 'Exhibit B' included with submittal package.**
- 27. Written authorization of all owners on deed.
 - **Refer to page 8 of 'Conditional Use Submittal'**
- 28. Any special natural area or environmental study or report as requested by the Planning Director.
 - **None have been requested.**
- 29. All existing subdivision plat notes, deed restrictions and/or restrictive covenants registered on the subject parcel.
 - **Refer to 'Exhibit A' included in submittal package.**
- 30. Subject property is staked at time of application (property boundaries, building envelope, limits of disturbance, parking areas).
 - **Confirming the areas of conditional use were staked on 9/15/25.**
- 31. Record and application for an approval status of all necessary permits from state and county officials.
 - **DOSSS – re-approved on 9/10**
 - **NOI – approved 4/18/25 – Permit #3GC16006*AG**
 - **Zoning – City of Hudson approved 5/16/25**
 - **PTI - Sanitary – 6/13/25 - Permit #DSWPTI-250423**
 - **PTI – Water – 5/30/25 – Permit #DDAGW-4326**

Gabe Kirksey

Resource Planning Manager

387 Medina Rd, Suite 1700
Medina, OH 44256

(216)645-2181

Gabriel.Kirksey@Pulte.com

AFFIDAVIT OF APPLICATION

State of Ohio

County of Medina

I, Gabriel Kirksey being duly sworn, depose and state as follows:

1. I am the applicant (or authorized representative of the applicant) for the Conditional Use Permit request for the property located at 12 Paige Lane.
2. I have completed and reviewed the application and all supporting documents submitted to the City of Hudson Planning & Zoning Department.
3. To the best of my knowledge and belief, all information provided in this application and supporting documents is true, correct, and complete.
4. I understand that any false statements or material omissions may result in denial of the application or revocation of any permit granted.

Signature: _____

Printed Name: Gabriel Kirksey

Title/Capacity: Resource Planning Manager

Date: 9/12/25

Notary Acknowledgment

Subscribed and sworn to (or affirmed) before me on this 12th day of Sept, 2025, by GABRIEL KIRKSEY, who is personally known to me or who has produced DRIVERS LICENSE as identification.

Notary Public Signature: _____

Notary Public Name: _____

My Commission Expires: _____



STACEY SANDERS
Notary Public, State of Ohio
Cuyahoga County
My Commission Expires 10/21/29

STATEMENT OF COMPLIANCE

City of Hudson – Land Development Code

I, Gabriel Kirksey, the applicant (or authorized representative) for the Conditional Use Permit request for the property located at [Property Address], hereby certify the following:

1. The proposed use and development described in the submitted application, plans, and supporting documents comply with the applicable requirements of the City of Hudson Land Development Code, including but not limited to zoning, parking, landscaping, and design standards.
2. To the best of my knowledge, the proposed project will not adversely affect public health, safety, or welfare, and is compatible with the surrounding land uses as outlined in the City's Comprehensive Plan and zoning regulations.
3. Any future modifications or expansions will be submitted for review and approval in accordance with city requirements.

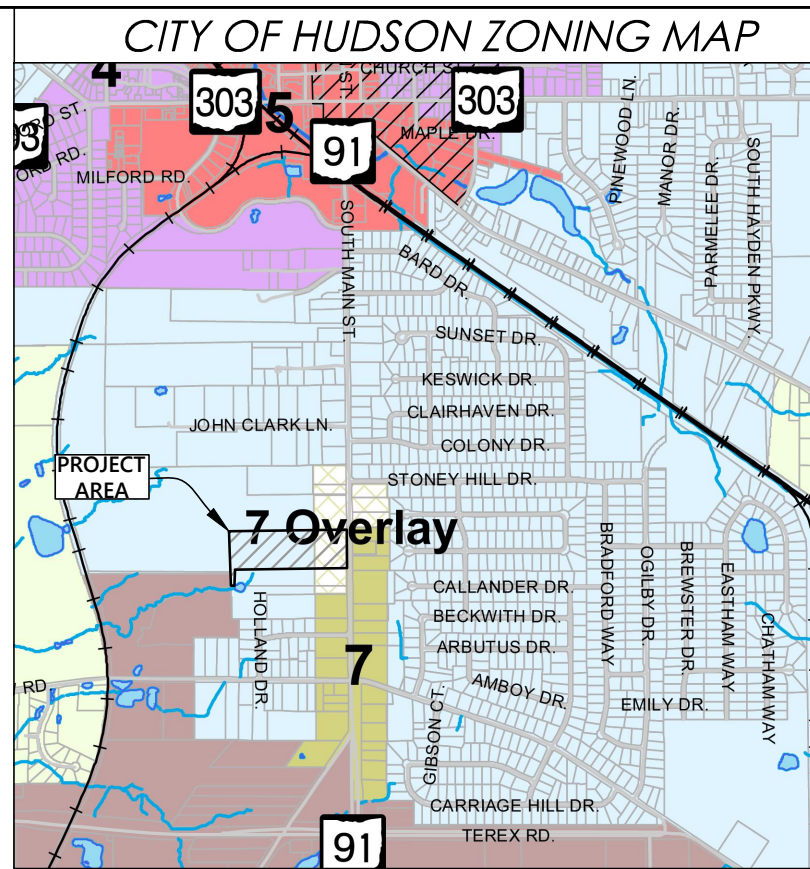
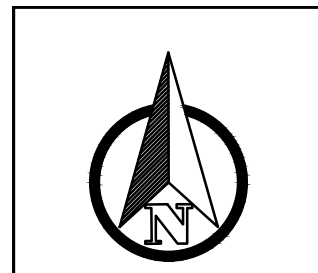
Signature: _____



Printed Name: Gabriel Kirksey

Title/Capacity: Resource Planning Manager

Date: 9/12/25



- Legend**
- Railroads
 - Lakes & Ponds
 - Historic District
 - Rivers & Streams
 - Parcels
 - Hudson Boundary
 - Districts**
 - 1-Suburban Residential Nhd.
 - 2-Rural Residential Conservation
 - 3-Outer Village Residential Nhd.
 - 4-Historic Residential Nhd.
 - 5-Village Core District
 - 6-Western Hudson Gateway
 - 7-Outer Village Commercial Corridor
 - 8-District 7 Office Overlay
 - 9-Industrial/Business Park
 - 10-Darrovville Commercial Corridor
 - 11-Darrovville Commercial Corridor
 - 12-Darrovville Commercial Corridor

SITE AREA SUMMARY

TOTAL PARCEL AREA:	12.542 AC. (PIN3003001)
PRESERVE OF HUDSON:	9.353 AC.
FUTURE DEVELOPMENT:	2.888 AC.
AREA IN DARROW R/W	0.301 AC.

PERVIOUS CALCULATION AREA: 6.570 AC. (See Open Space Summary)

IMPERVIOUS CALCULATION:

BUILDINGS	38,616 S.F. (0.887 AC.)
ROAD	46,990 S.F. (1.079 AC.)
WALKS/DRIVES	23,204 S.F. (0.533 AC.)

TOTAL IMPERVIOUS 108,810 S.F. (2.50 AC) (29%) < 40% MAX - OK

FLOOR AREA TO LOT RATIO - 0.887 AC./9.353 AC. = 9.5%

OPEN SPACE SUMMARY

	GREENSPACE	S.W.M.	WETLANDS	TOTAL
TOTAL	4.690 AC.	0.740 AC.	1.14 AC.	6.570 AC.

STORM WATER MANAGEMENT

WETLANDS

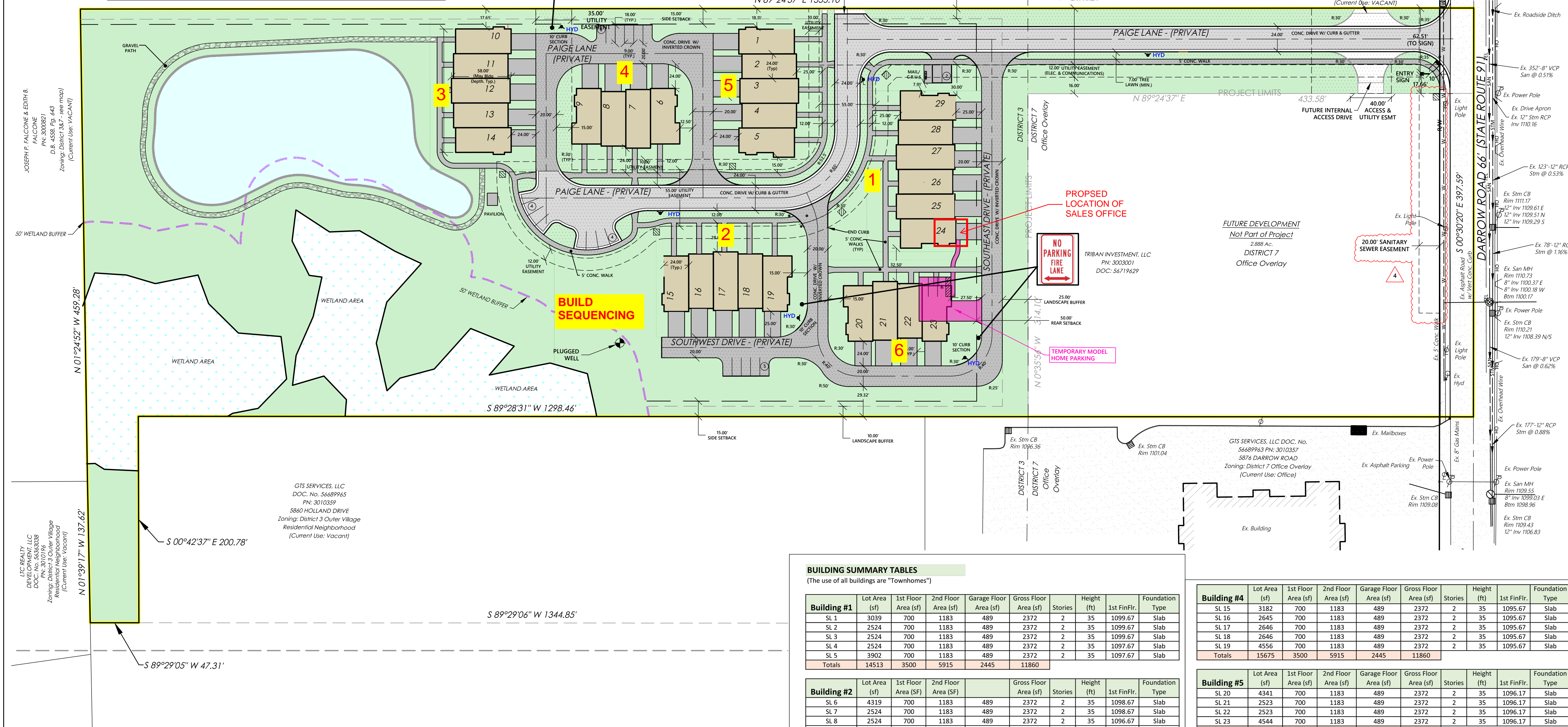
DISTRICT 3 (DENSITY CALCULATION)

AREAS (Acres)					DENSITY	
GROSS LAND TO R/W	IN DIST. 7	IN DIST. 3	IN WET-LAND	IN EASEMENTS RIGHT-OF-WAY & PUBLIC OPEN SPACE	NET LAND DIST. 3	ALLOWABLE @ 4/ AC.
9.353	0.763	8.590	1.14	0	7.450	29

Project Narrative

This Project Consists of a 29 Townhome Development on 9.35 Acres of Land which is zoned both District 3 and District 7 (400' depth fronting on Darrov Road). The remaining 2.888 Acres of the parcel will not be part of the project and will be reserved for future office development. Townhomes are permitted as a conditional use in District 3. The townhome units will be placed as condominium units in a condominium development. The adjacent property to the North & West is Zoned Similarly and is currently undeveloped (vacant/woods). The abutting property to the southwest is zoned District 3 and is also undeveloped. An existing office complex is located to the southeast property on lands located in the District 7 Office Overlay area. The Property on the opposite side of Darrov Road is zoned Outer Village Commercial Corridor and includes Retail & Automotive Uses.

NOTE: ALL UNITS SHALL HAVE THEIR OWN RUBBISH AND RECYCLING CONTAINERS THAT SHALL BE STORED IN THEIR RESPECTIVE GARAGE AND PLACED AT THE END OF THE DRIVEWAY DURING THE SCHEDULED TRASH PICK-UP DAY FOR THE COMMUNITY. A COMMUNITY TRASH RECEPTACLE WILL NOT BE INSTALLED ON-SITE.



BUILDING SUMMARY TABLES
(The use of all buildings are "Townhomes")

Building #1	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 1	3039	700	1183	489	2372	2	35	1099.67	Slab
SL 2	2524	700	1183	489	2372	2	35	1099.67	Slab
SL 3	2524	700	1183	489	2372	2	35	1099.67	Slab
SL 4	2524	700	1183	489	2372	2	35	1099.67	Slab
SL 5	3902	700	1183	489	2372	2	35	1097.67	Slab
Totals	14513	3500	5915	2445	11860				

Building #2	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 6	4319	700	1183	489	2372	2	35	1098.67	Slab
SL 7	2524	700	1183	489	2372	2	35	1098.67	Slab
SL 8	2524	700	1183	489	2372	2	35	1098.67	Slab
SL 9	3856	700	1183	489	2372	2	35	1096.67	Slab
Totals	13223	2800	4732	1956	9488				

Building #3	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 10	3038	700	1183	489	2372	2	35	1096.67	Slab
SL 11	2524	700	1183	489	2372	2	35	1096.67	Slab
SL 12	2524	700	1183	489	2372	2	35	1096.67	Slab
SL 13	2524	700	1183	489	2372	2	35	1095.67	Slab
SL 14	4223	700	1183	489	2372	2	35	1095.67	Slab
Totals	14833	3500	5915	2445	11860				

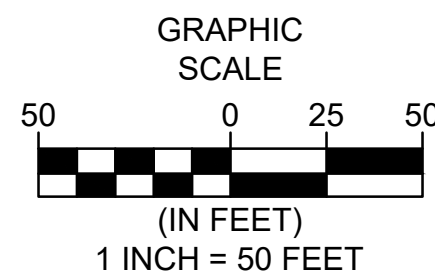
Building #4	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 15	3182	700	1183	489	2372	2	35	1095.67	Slab
SL 16	2645	700	1183	489	2372	2	35	1095.67	Slab
SL 17	2646	700	1183	489	2372	2	35	1095.67	Slab
SL 18	2646	700	1183	489	2372	2	35	1095.67	Slab
SL 19	4556	700	1183	489	2372	2	35	1095.67	Slab
Totals	15675	3500	5915	2445	11860				

Building #5	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 20	4341	700	1183	489	2372	2	35	1096.17	Slab
SL 21	2523	700	1183	489	2372	2	35	1096.17	Slab
SL 22	2523	700	1183	489	2372	2	35	1096.17	Slab
SL 23	4544	700	1183	489	2372	2	35	1096.17	Slab
Totals	13931	2800	4732	1956	9488				

Building #6	Lot Area (sf)	1st Floor Area (sf)	2nd Floor Area (sf)	Garage Floor Area (sf)	Gross Floor Area (sf)	Stories	Height (ft)	1st FinFlr.	Foundation
SL 24	3127	700	1183	489	2372	2	35	1096.67	Slab
SL 25	2597	700	1183	489	2372	2	35	1096.67	Slab
SL 26	2597	700	1183	489	2372	2	35	1097.67	Slab
SL 27	2597	700	1183	489	2372	2	35	1097.67	Slab
SL 28	2529	700	1183	489	2372	2	35	1098.67	Slab
SL 29	2987	700	1183	489	2372	2	35	1100.67	Slab
Totals	10918	2800	4732	1956	9488				

REV. No.		DATE	BY	
1	ADD FIRE LANE SIGNAGE/UPDATE FINAL TRANSFORMER LOCATIONS	5/15/25	KTH	
4	REVISED SANITARY TIE-IN LOCATION	7/31/25	NMO	
5	SHOW TEMPORARY MODEL HOME PARKING	9/15/25	NMO	

DATE: 5/9/25 DRAWN: NMO
SCALE: HOR. 1"=50' VERT. 1"=20'
FOLDER: DWG/Proj. Engineering
FILENAME: 24189 Improvement Plans
TAB: 04-Development Plan
BNDRY. BY: GBC
BASE. BY: NMO



**PRESERVE OF HUDSON
TOWNHOMES**

CITY OF HUDSON - SUMMIT COUNTY - OHIO

POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
www.polaris-es.com



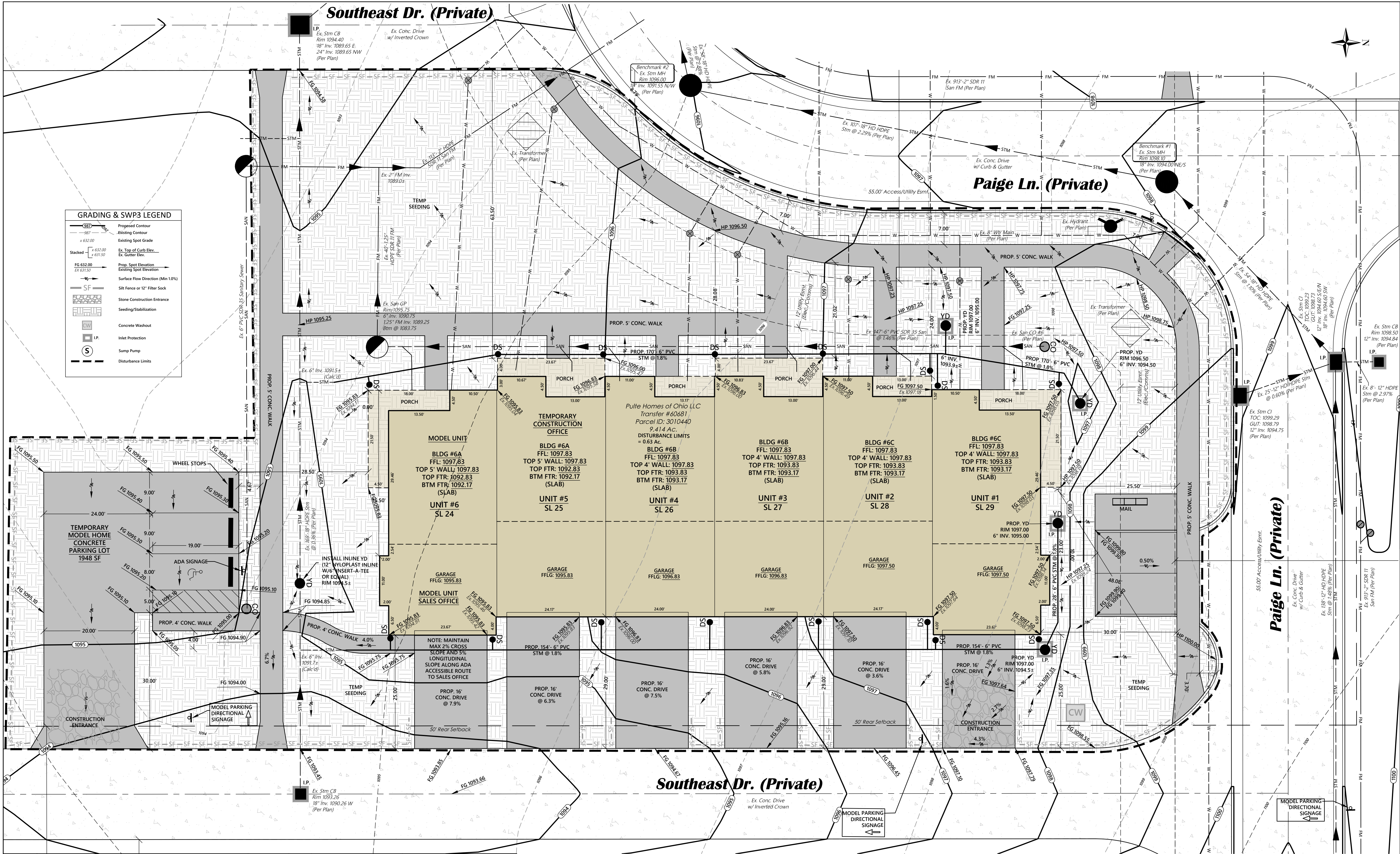
DEVELOPMENT PLAN

PREPARED FOR:
TRIBAN INVESTMENT, LLC
7555 FREDLE DRIVE
PAINESVILLE, OH
PHONE: (440) 346-0098
CONTACT: HANNA COHAN
PLESSNER

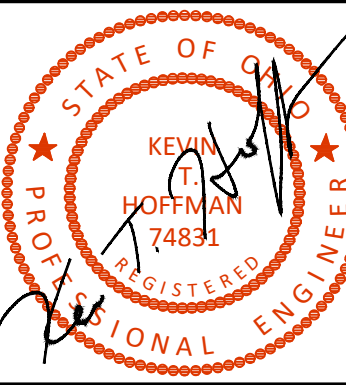
CONTRACT No.

24189

SHEET	OF
04	21



REV. No.	DATE	BY
1	9/12/25	KTH

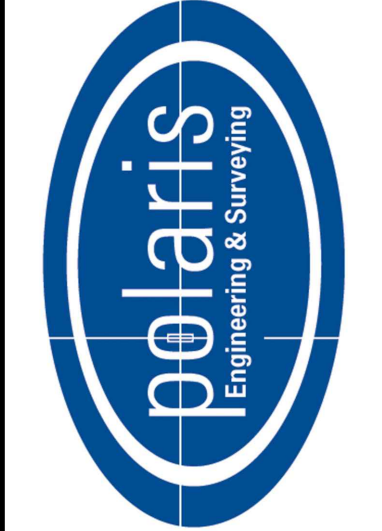


DATE: 9/12/25 DRAWN: JCB
SCALE: HOR. 1"=10' VERT. N/A
FOLDER: DWG/PE/SP
FILENAME: Model Parking
TAB: Bldg 6
BNDRY. BY: GBC
BASE. BY: JCB

Ex. Clean Out	Ex. Sanitary Manhole	Ex. Gas Marker	Ex. Telephone Box	Ex. Yard Light	Ex. Tree	Ex. Monument Box
Ex. Catch Basin	Prop. Sanitary Manhole	Ex. Water Valve	Ex. Electrical Box	Ex. Guy Wire	Ex. Pine Tree	Irrigation Valve
Prop. Catch Basin	Prop. Curb Inlet	Ex. Water Meter	Ex. Power Transformer	Ex. Light Pole	Ex. Bush	Sprinkler Control Box
Ex. Yard Drain	Ex. Curb Inlet	Ex. Fire Hydrant	Cable TV Box	Prop. Light Pole	Ex. Stump	Sprinkler Head
Ex. Manhole	Ex. Storm Inlet MH	Prop. Hydrant	Ex. Power Pole	Traffic Signal Pole	Ex. Mailbox	Test Bore
Ex. Storm Manhole	Ex. Gas Meter	Prop. WL Valve	Ex. Light Power Pole	Traffic Signal Box	Ex. Sign	Guard Post
Prop. Storm Manhole	Ex. Gas Valve				Electrical Outlet	

PRESERVE OF HUDSON
TOWNHOMES
CITY OF HUDSON - SUMMIT COUNTY - OHIO

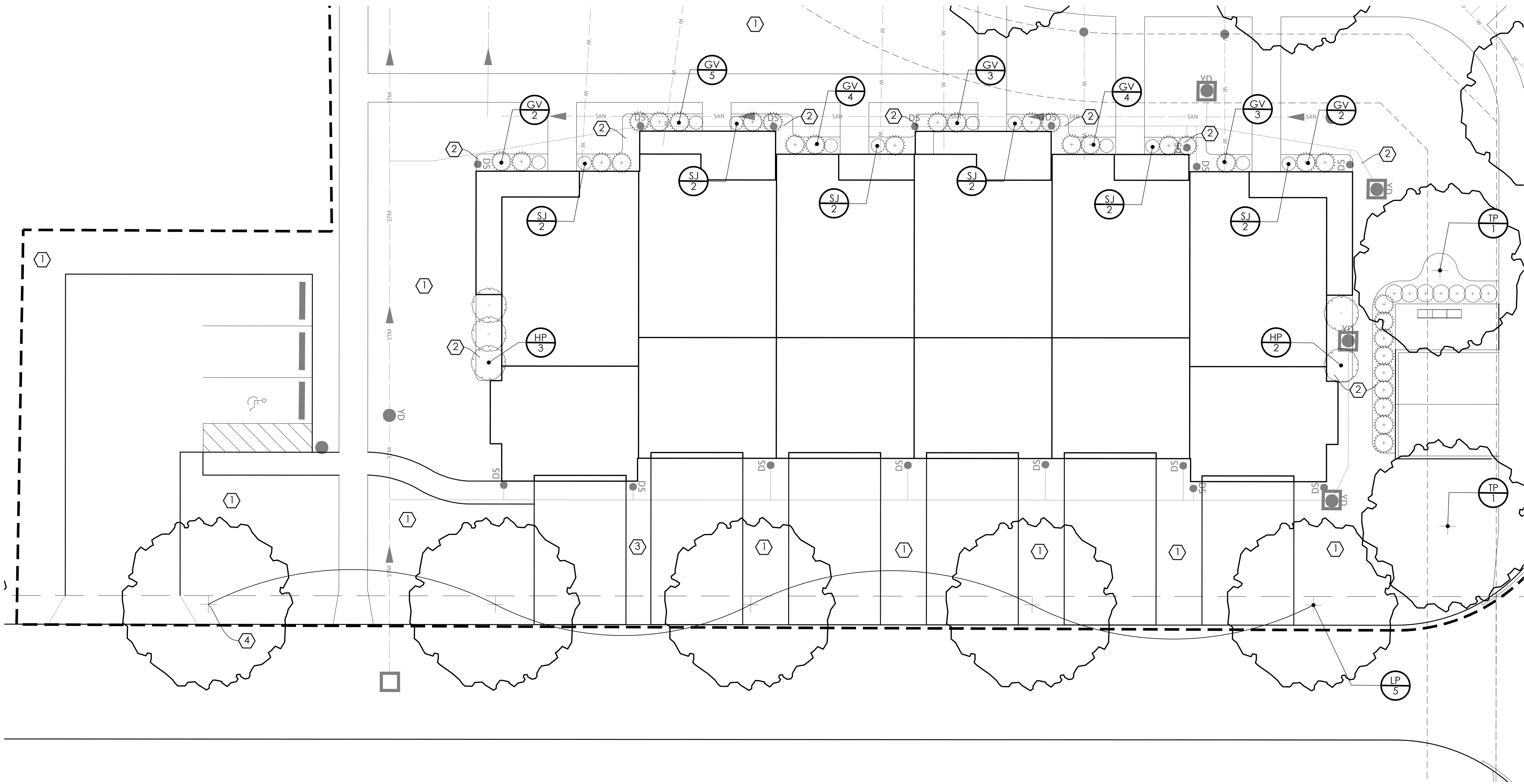
POLARIS ENGINEERING & SURVEYING, INC.
34600 CHARDON ROAD - SUITE D
WILLOUGHBY HILLS, OHIO 44094
(440) 944-4433
www.polaris-es.com



SITE PLAN FOR:
BUILDING #6 + Model Home Parking
UNIT 1 - SL 29
UNIT 2 - SL 28
UNIT 3 - SL 27
UNIT 4 - SL 26
UNIT 5 - SL 25
UNIT 6 - SL 24

PREPARED FOR:
TRIBAN INVESTMENT, LLC
7555 FREDLE DRIVE
PAINESVILLE, OH
PHONE: (440) 346-0098
CONTACT: HANNA COHAN
PLESSNER

CONTRACT No.	
24189	
SHEET	OF
01	01



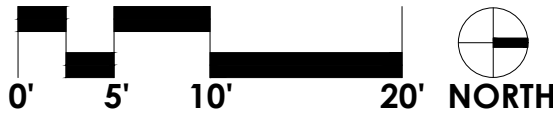
PLANT MATERIALS LIST					
NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.					
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
SHADE TREES					
5	LP	EXCLAMATION LONDON PLANETREE	Platanus acerifolia 'Morton Circle'	2" Cal.	B&B
2	TP	TULIP POPLAR	Liriodendron tulipifera	2" Cal.	B&B
SHRUBS					
32	GV	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" HGT.	CONT.
5	HP	PEE WEE HYDRANGEA	Hydrangea quercifolia 'Pee Wee'	36" HGT.	CONT.
7	SS	LITTLE HENRY SWEETSPIRE	Itea virginica 'Spich' LITTLE HENRY	24" HGT.	CONT.
12	SJ	LITTLE PRINCESS SPIREA	Spiraea japonica 'Little Princess'	24" HGT.	CONT.

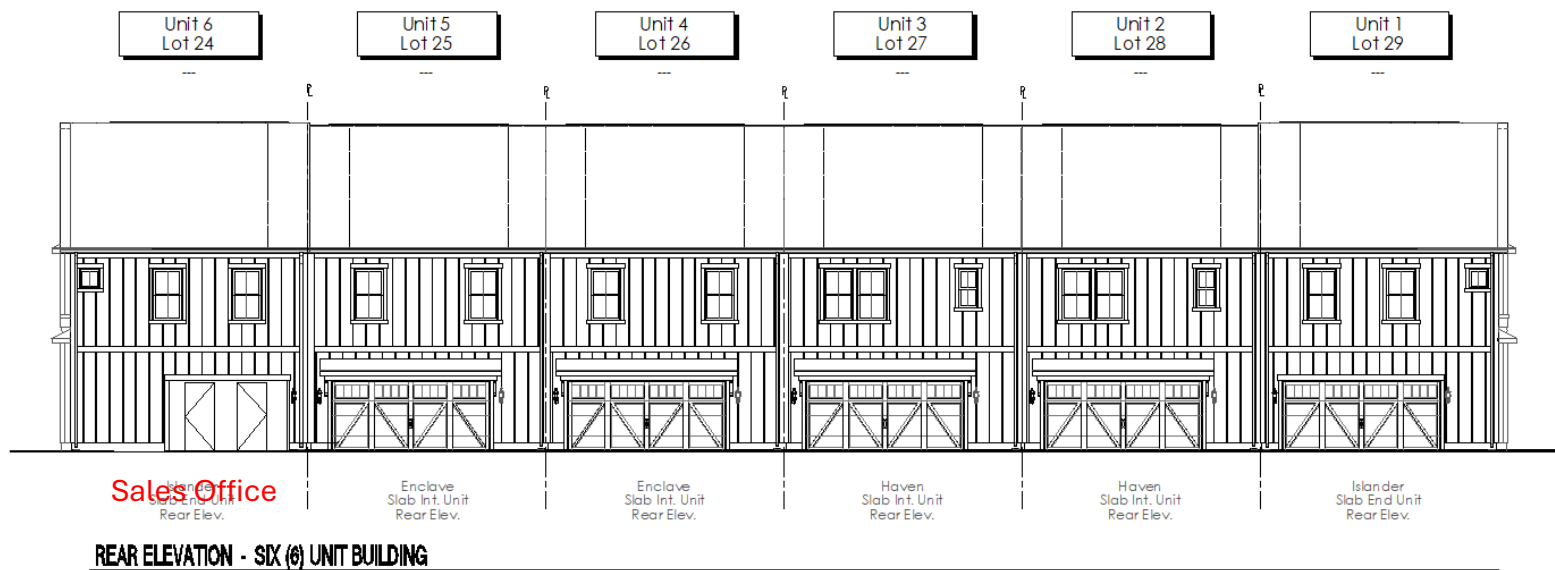
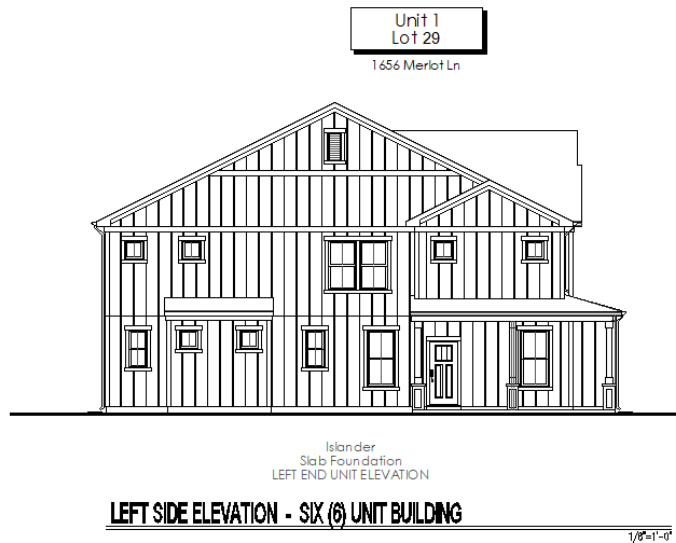
GENERAL NOTES:

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
- WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
- SEE SHEET L6 FOR PLANT LIST AND QUANTITIES.

CONSTRUCTION NOTES:

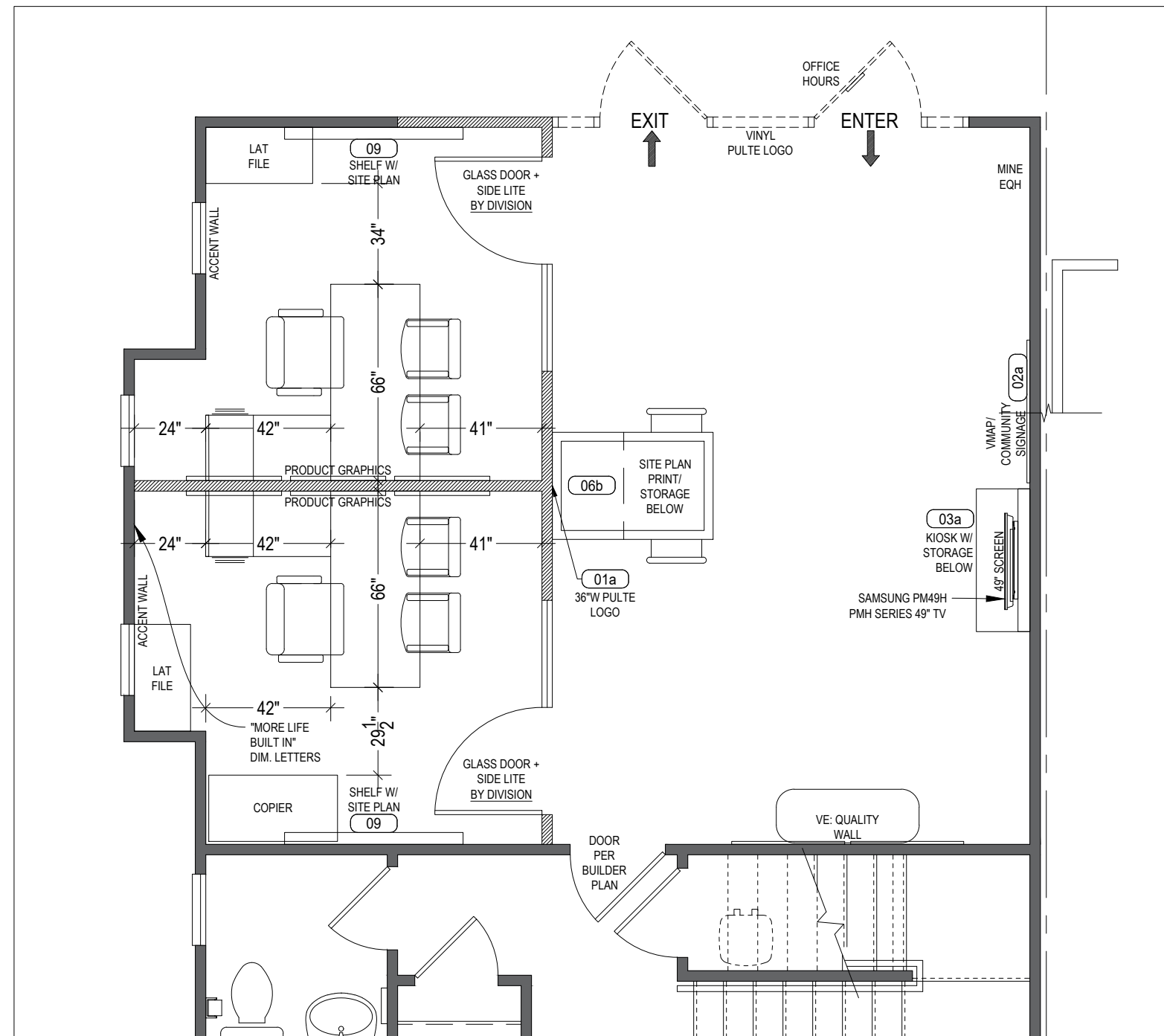
- 1 LAWN AREA, SOD TO BE FLUSH WITH ADJACENT PAVED SURFACES.
- 2 LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH AT 3" DEPTH.
- 3 GRAVEL MULCH, MULCH ENTIRE AREA WITH #4 RIVER ROCK AT 3" DEPTH, OR OWNER APPROVED EQUAL.
- 4 EXCLAMATION LONDON PLANETREE TO BE INSTALLED AFTER TEMPORARY PARKING HAS BEEN REMOVED.





PART # / NEW ITEMS FABRICATED BY QUEST		QTY
[PULF-00119]	01a 36"W Pulte Logo	01
[PULF-00126]	02a 48"x23" Community Graphic (VMap)	01
[PULF-00138]	03a TV Loop Kiosk	01
[PULF-00161]	06b Site Plan Table w/ Cabinet	01
[PULF-00177]	09 60"W Shelf	02

**DIVISION TEAM RESPONSIBLE FOR BIDDING OUT,
PROCURING, & INSTALLING THE FOLLOWING ITEMS:**



1 SPACE PLAN

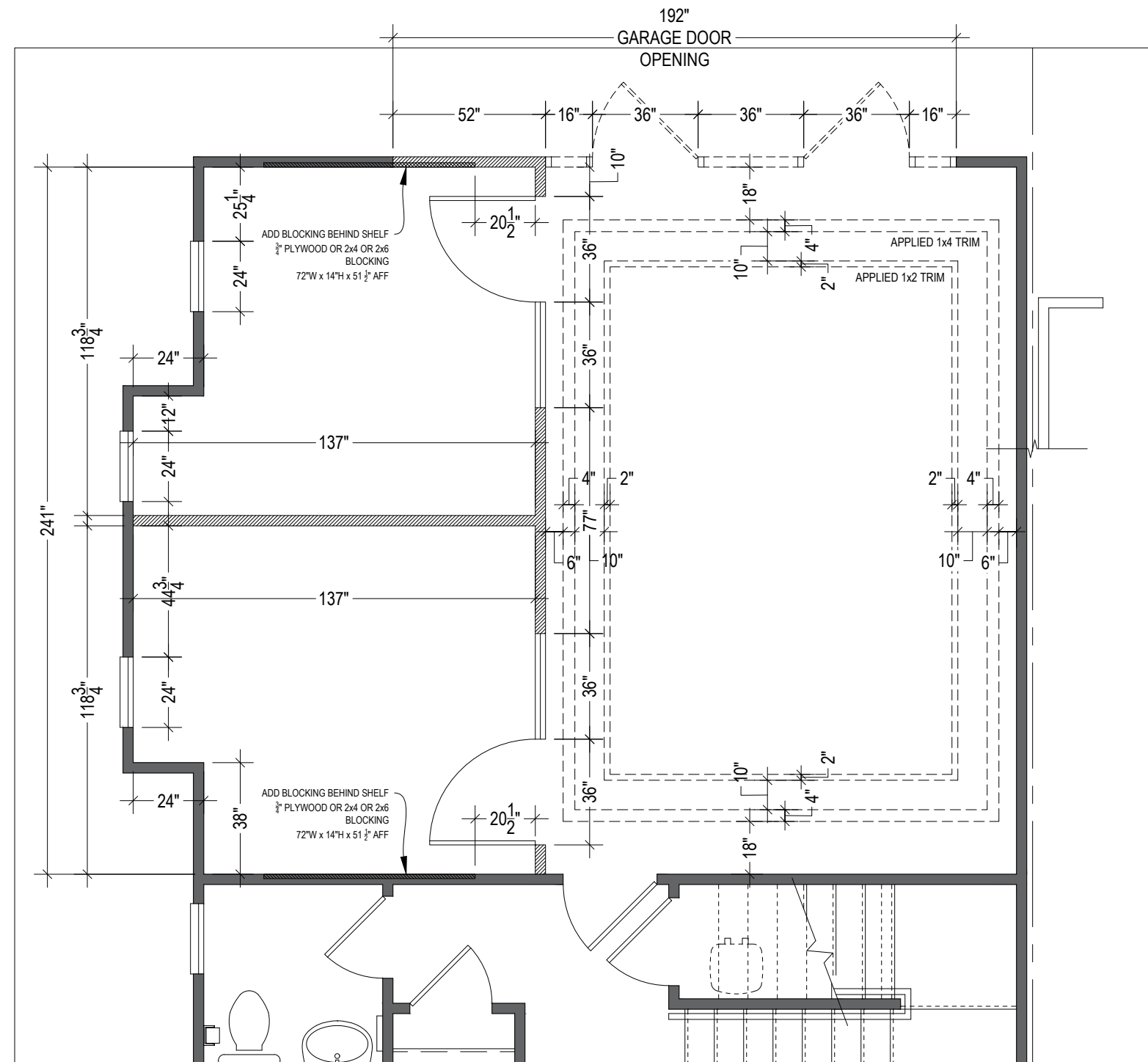
SCALE: 1/4" = 1'-0"

[illegible]

- ENTRY DOORS ARE TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED
- ALL GLAZING IN DOORS AND WINDOWS SHALL BE TEMPERED GLAZING
- CONSTRUCTION MANAGER IS TO PERFORM AN AS-BUILT FIELD MEASURE DRAWING AT ROUGH MECHANICAL PHASE BEFORE SHEETROCK STAGE IS COMPLETE. PLEASE SCAN AND SEND TO **DDANIELS@QUESTDISPLAYS.COM** WITH CHANGES AS SOON AS POSSIBLE SO QUEST CAN ADDRESS ANY POTENTIAL ISSUES BEFORE INSTALLATION..
- FURR-OUT DRYWALL AND SHEETROCK TO THE FLOOR TO HIDE THE STEM WALLS
- FOR ANY ADDITIONAL IMMEDIATE CONSTRUCTION QUESTIONS/CONCERNS, PLEASE CONTACT LEE ANN NESLONEY AT **(832)-289-7841**

ADJUST ALL CEILING
PENETRATIONS TO AVOID
THE CEILING TRIM DETAIL

DOOR TRIM
FLAT STOCK
1x2 (3/4" x 1-1/2")



1

SCALE: 1/4" = 1'-0"

REV:	DATE:	DESCRIPTION:	DRAWN BY:
	08/29/2025	SPACE PLAN + PERMIT SET	CG
	09/02/2025	REVISED SPACE PLAN + PERMIT SET - FLOOR PLAN UPDATE	CG

HOME BUILDER: **PULTE GROUP**

PROJECT TITLE: **PRESERVE OF HUDSON PHG**

PROJECT DETAILS: **ISLANDER GARAGE
UNIT 1 - LOT 29
ADDRESS TBD**

PULF00066

SHEET NO.

ID.02

MANAGER: A. PHELAN

- NOTES:
- MOUNT ELECTRICAL OUTLETS AT 15" ABOVE FINISH FLOOR
UNLESS NOTED OTHERWISE ON THIS PLAN

PLACE LIGHT SWITCHES AT 42" AFF

DATA/DATA OUTLET

DUPLEX ELECTRICAL OUTLET

QUAD ELECTRICAL OUTLET

LED WHITE DISK LIGHTS

IT RECOMMENDATIONS:

- Sales Offices:
- a.

For VOIP system for phones you will need a wall plate with two (2) data connections at PC, Network Printer, and Kiosk locaitons.
If NON-VOIP telephone line, data/phone at these locations will be required.
- b.

A quad electrical outlet is needed next to every data wall plate.
- Kiosk:
- a.

Install all power and data outlets at 15" above finished floor or where necessary for city requirements.
- b.

Run power and data through cut out on kiosk and wedge.
- Equipment Location/Demark Extension:
- a.

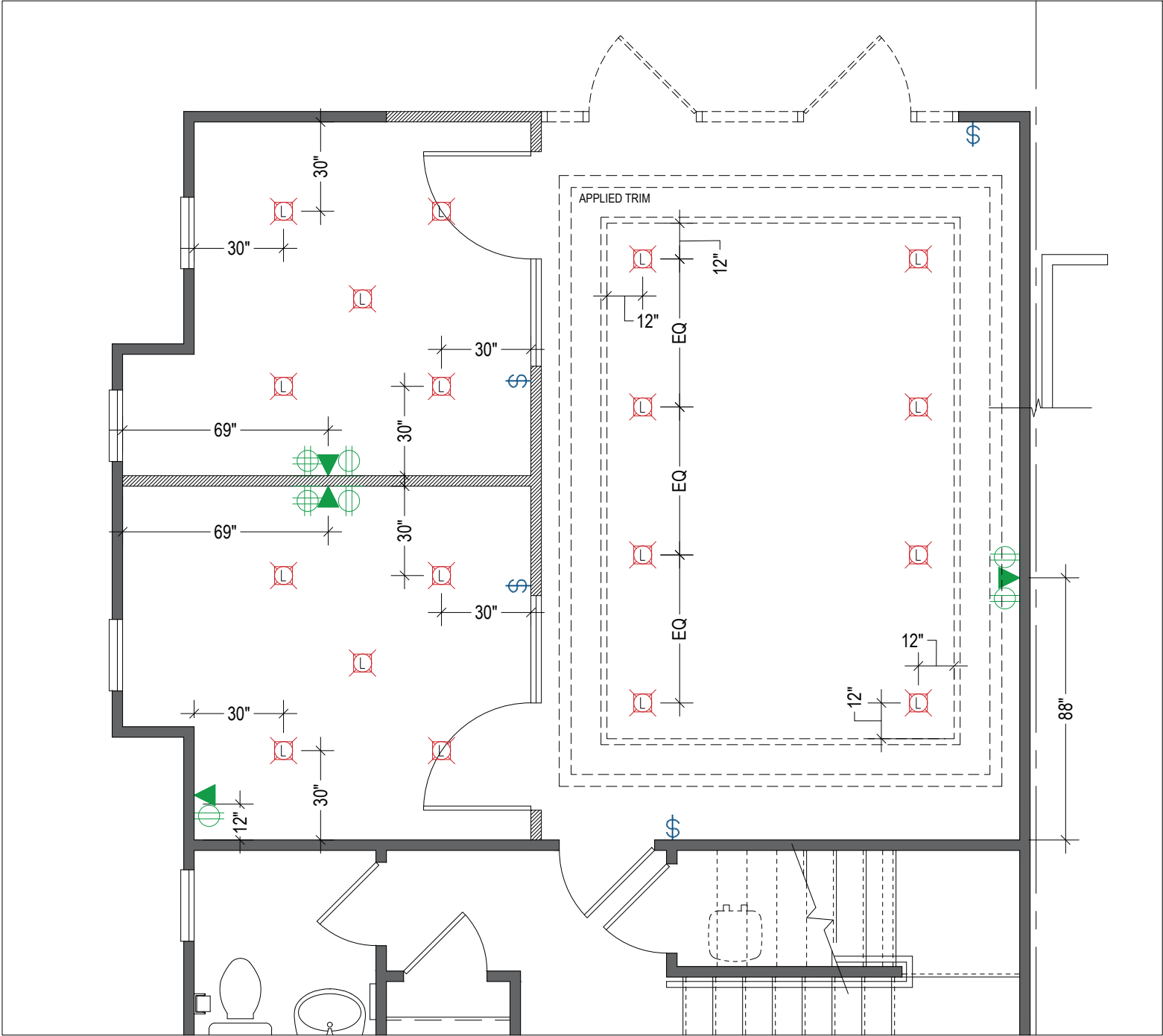
Add two (2) CAT6E from NIU to the designated termination point to the sales office.
- b.

Run three (3) CAT6E from home to NIU.

Isolate the entire low voltage wiring design and voice/data termination point within the sales garage. It is highly recommended we do not mix the dedicated model home wiring with PulteGroup's CAT6E office network cables. By separating the Home and Office CAT6E cables we can minimize cable damage during model conversions. Some local municipalities may even prohibit using the home's residential wiring panel along with the business's wiring.

PAINT CEILING TRIM
SW 7008 ALABASTER

ADJUST ALL CEILING
PENETRATIONS TO AVOID
THE CEILING TRIM DETAIL



1

LIGHTING & ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

UFP COMMERCIAL

idX Quest

DRAWN BY:

CG

CG

DESCRIPTION:

SPACE PLAN + PERMIT SET

REVISED SPACE PLAN + PERMIT SET - FLOOR PLAN UPDATE

REV:

DATE:

06.29.2025

09.02.2025

HOME BUILDER:

PULTE GROUP

PROJECT TITLE:

PRESERVE OF HUDSON PHG

PROJECT DETAILS:

ISLANDER GARAGE
UNIT 1 - LOT 29
ADDRESS TBD

PULF00066

SHEET NO.

ID.03

MANAGER:

A. PHELAN

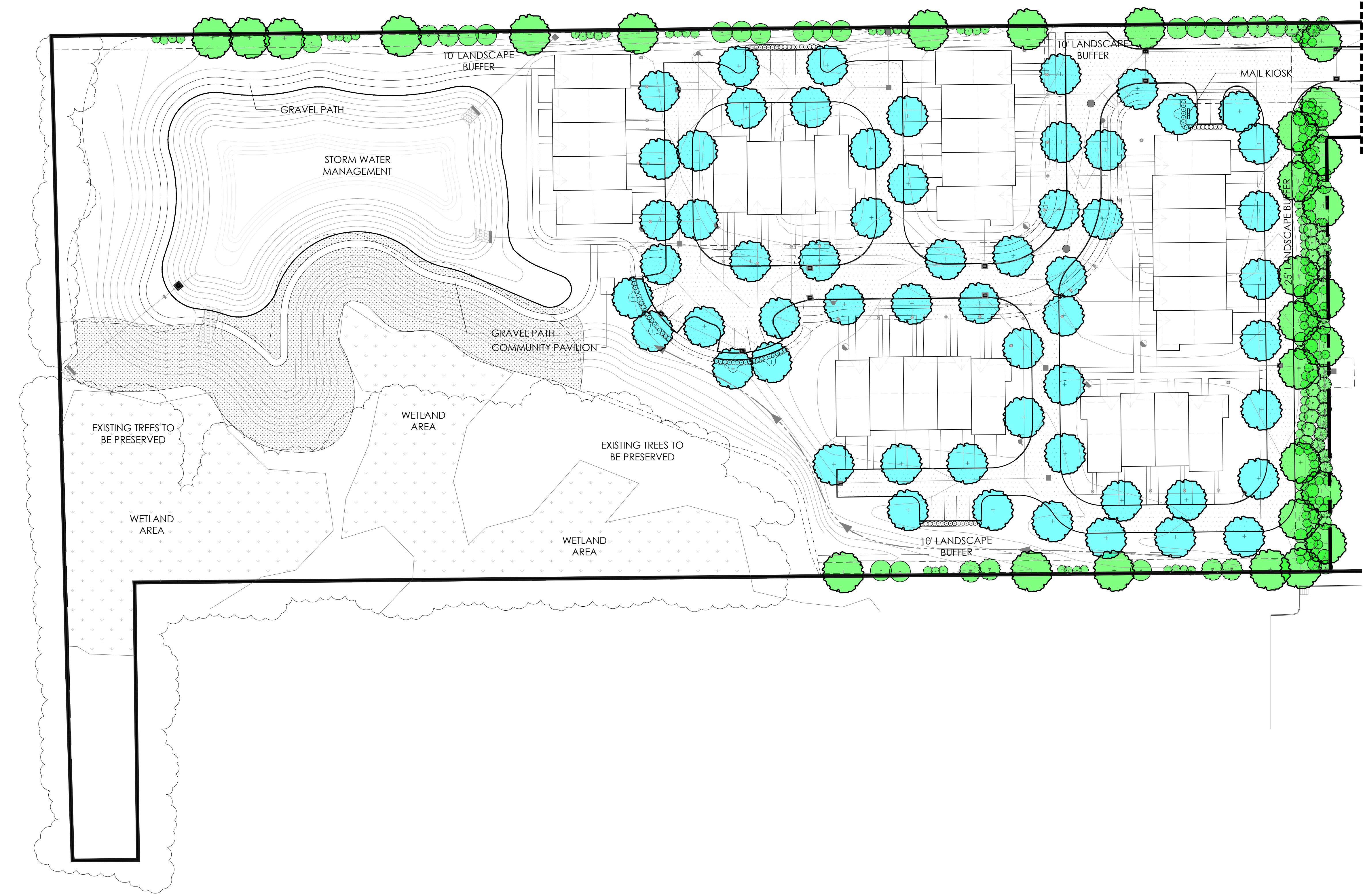


Preserve of Hudson

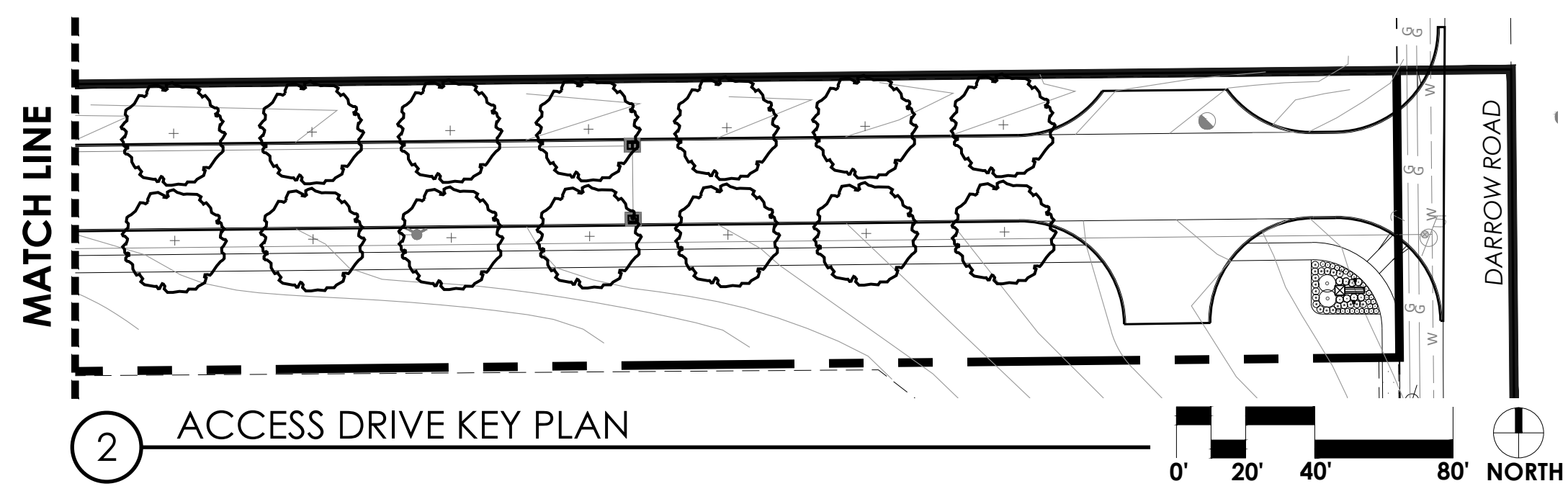
L1 - Illustrative Site Plan
 Hudson, OH / March 18, 2025

TRIBAN
 INVESTMENT, LLC

EDGE
 www.edgela.com



1 SITE KEY PLAN



2 ACCESS DRIVE KEY PLAN

- GENERAL NOTES:
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BUFFER TYPES

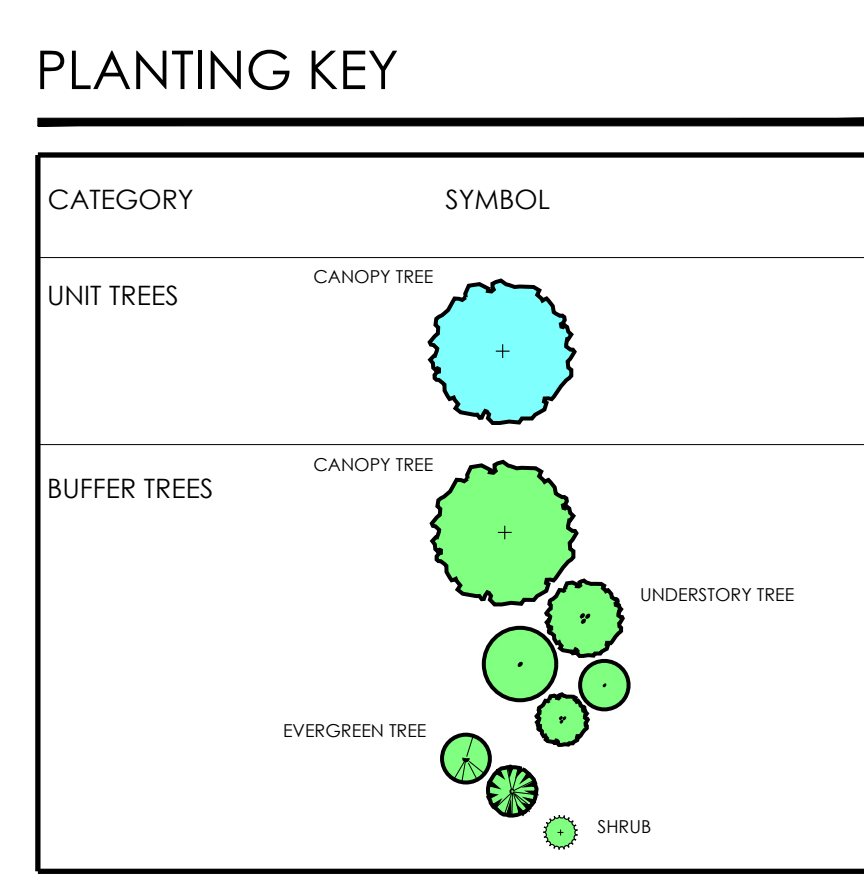
TYPE	WIDTH	REQUIREMENTS PER 100LF
B	10'	CANOPY TREES: 1 TREE, UNDERSTORY TREES: 2 TREES, SHRUBS: 3 SHRUBS
D	25'	CANOPY TREES: 4 TREES, UNDERSTORY TREES: 8 TREES, SHRUBS: 18 SHRUBS, EVERGREEN TREES: 8 TREES

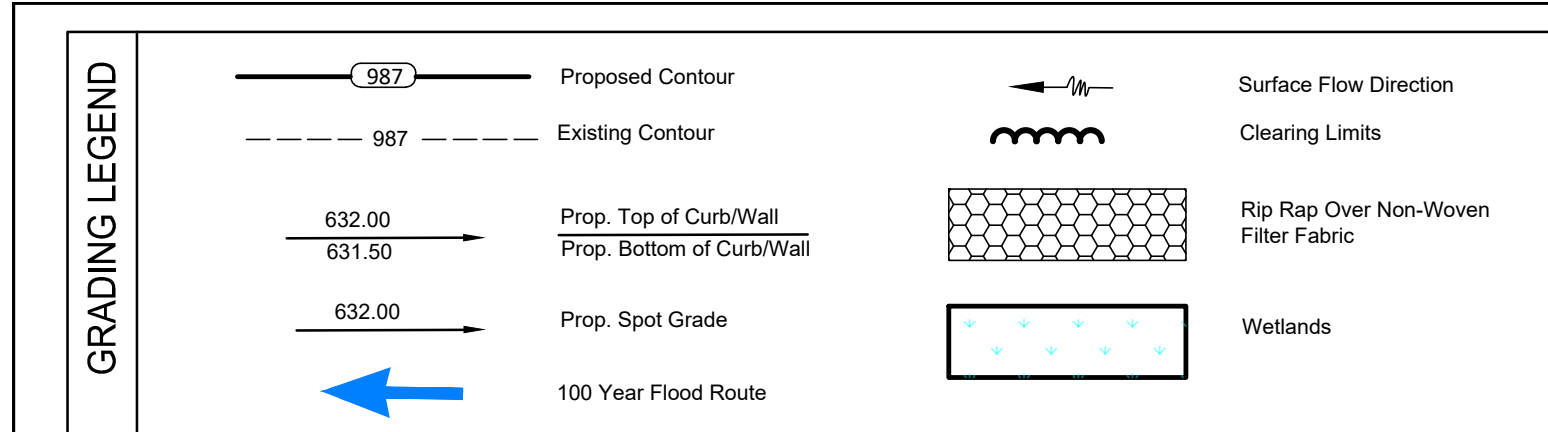
BUFFER REQUIREMENTS

LOCATION	LENGTH	BUFFER TYPE	BUFFER LANDSCAPE REQUIRED	BUFFER LANDSCAPE PROVIDED
NORTH PROPERTY LINE	837 LF	B	CANOPY TREES: 9 TREE UNDERSTORY TREES: 17 TREES SHRUBS: 26 SHRUBS	CANOPY TREES: 9 TREE UNDERSTORY TREES: 17 TREES SHRUBS: 26 SHRUBS
EAST PROPERTY LINE	397 LF	D	CANOPY TREES: 16 TREE UNDERSTORY TREES: 32 TREES SHRUBS: 72 SHRUBS EVERGREEN TREES: 32 TREES	CANOPY TREES: 16 TREE UNDERSTORY TREES: 32 TREES SHRUBS: 72 SHRUBS EVERGREEN TREES: 32 TREES
SOUTH PROPERTY LINE	346 LF	B	CANOPY TREES: 4 TREE UNDERSTORY TREES: 7 TREES SHRUBS: 11 SHRUBS	CANOPY TREES: 4 TREE UNDERSTORY TREES: 7 TREES SHRUBS: 11 SHRUBS

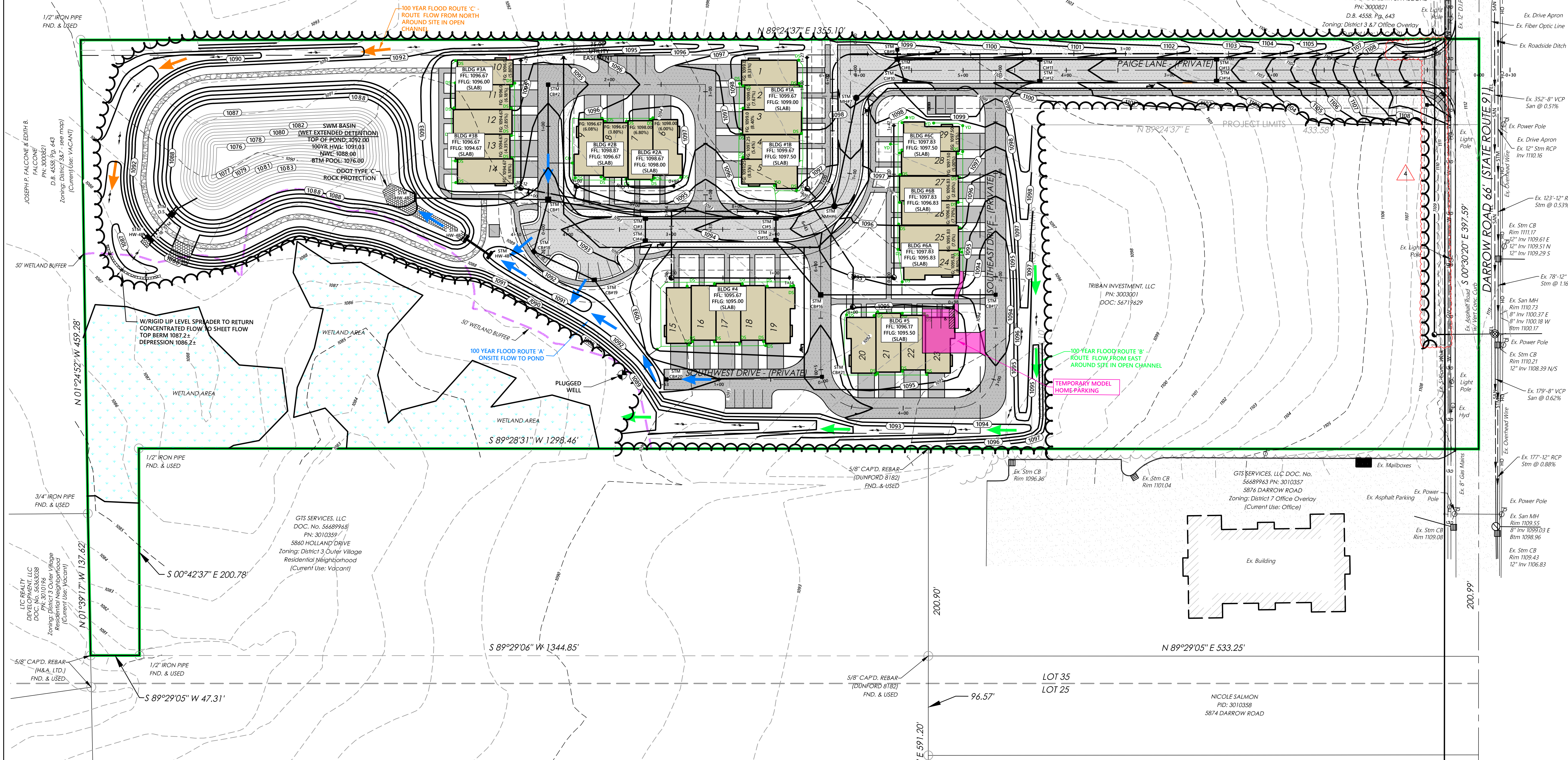
UNIT TREE REQUIREMENTS

REQUIREMENTS PER UNIT	NUMBER OF UNITS	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
2 TREES FOR EACH FOR UNIT	29 UNITS	58 TREES	58 TREES





NOTE: BUILDING SUBGRADE PAD SHALL BE LEFT AT GARAGE ELEVATION SUCH THE FIRST FLOOR PAD WILL BE AT SUBGRADE ELEVATION (FOR STANDARD UNITS W/8" GARAGE TO FIRST FLOOR DIFFERENTIAL) TO ACCOUNT FOR 4" OF STONE AND 4" CONCRETE PAD. GARAGES WILL BE CUT DOWN 6" AT TIME OF HOUSE CONSTRUCTION.



REV. No.		DATE	BY
1	ADJUST 30" STORM INTO POND/GRADING @ HEADWALL	5/15/25	KTH
4	REVISED SANITARY TIE-IN LOCATION	7/31/25	NMO
5	SHOW TEMPORARY MODEL HOME PARKING	9/15/25	NMO

DATE: 5/9/25 DRAWN: NMO

SCALE: HOR. 1"=50' VERT. 1"=10'

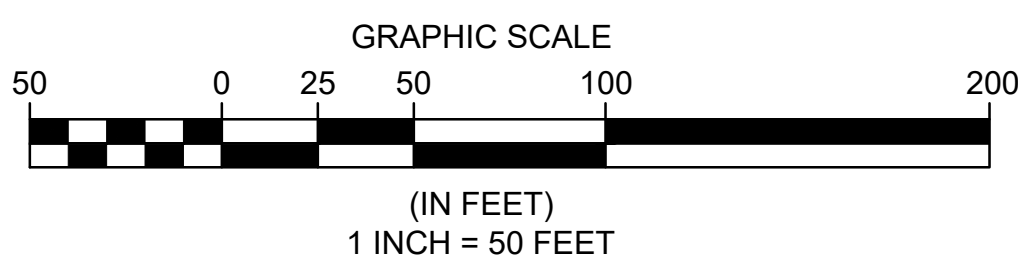
FOLDER: DWG/Proj. Engineering

FILENAME: 24189 Improvement Plans

TAB: 12-Final Grading Plan

BNDRY. BY: GBC

BASE. BY: NMO



SUBSYMBOL	DESCRIPTION
Ex. Clean Out	Ex. Sanitary Manhole
Ex. Catch Basin	Prop. Sanitary Manhole
Prop. Catch Basin	Prop. Curb Inlet
Ex. Gas Marker	Ex. Water Valve

PRESERVE OF HUDSON TOWNHOMES

CITY OF HUDSON - SUMMIT COUNTY - OHIO

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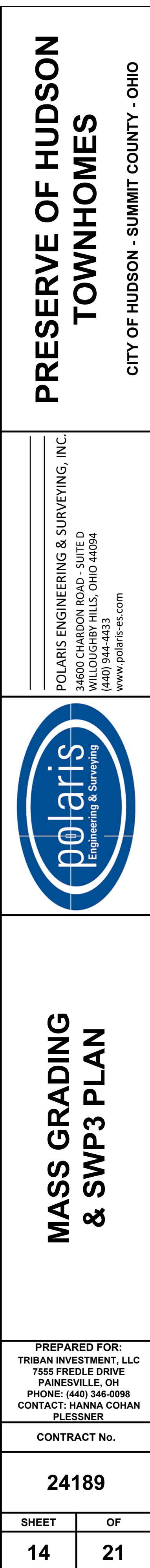
FINAL GRADING PLAN

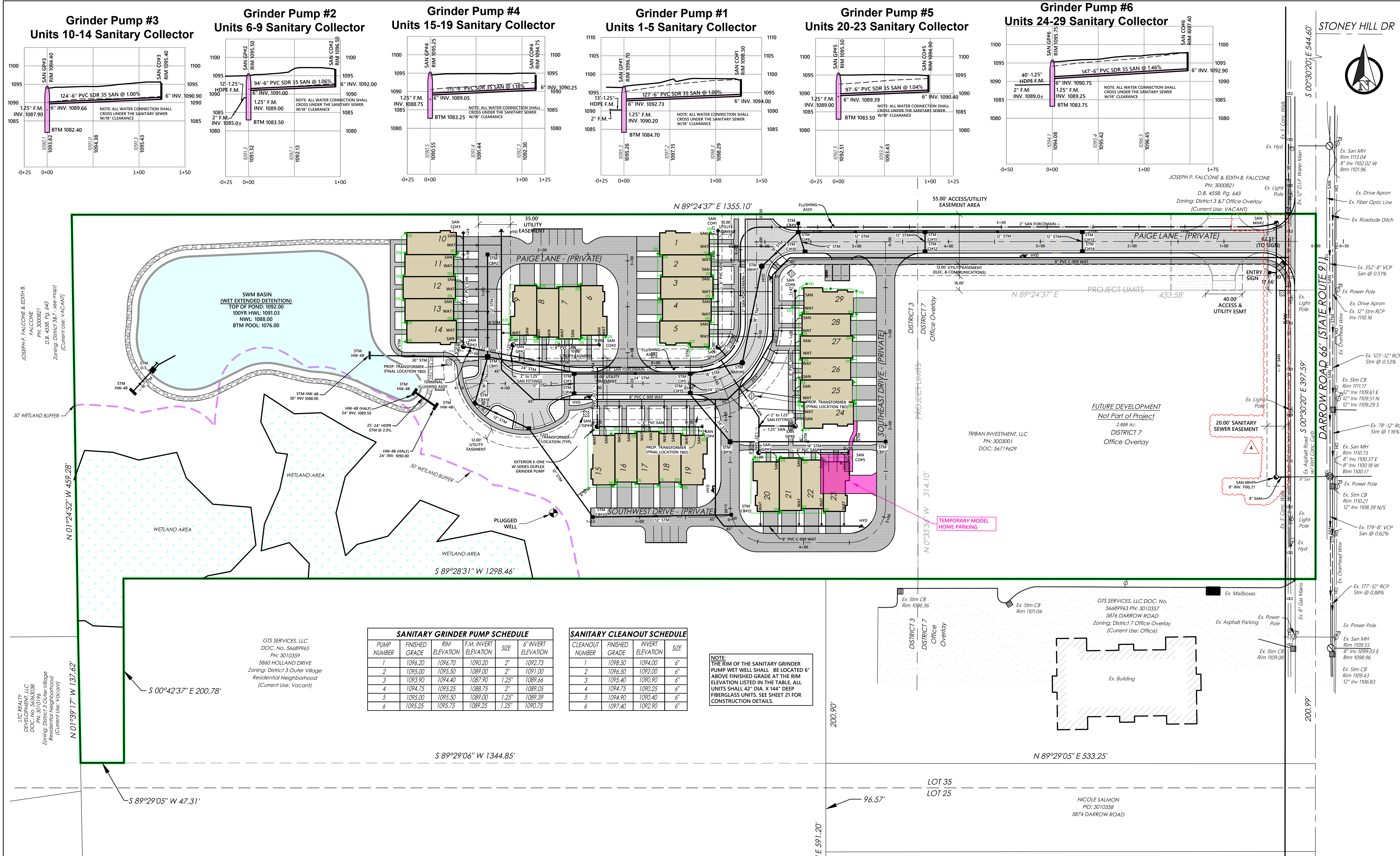
PREPARED FOR:
TRIBAN INVESTMENT, LLC
7555 FREDLE DRIVE
PAINESVILLE, OH
PHONE: (440) 346-0088
CONTACT: HANNA COHAN
PLESSNER

CONTRACT No.

24189

SHEET	OF
12	21





REV. No.		DATE	BY	
1	ADJUST 30" STORM INTO POND/FINAL TRANSFORMER LOCATIONS	5/15/25	KTH	
4	REVISED SANITARY TIE-IN LOCATION	7/31/25	NMO	
5	SHOW TEMPORARY MODEL HOME PARKING	9/15/25	NMO	

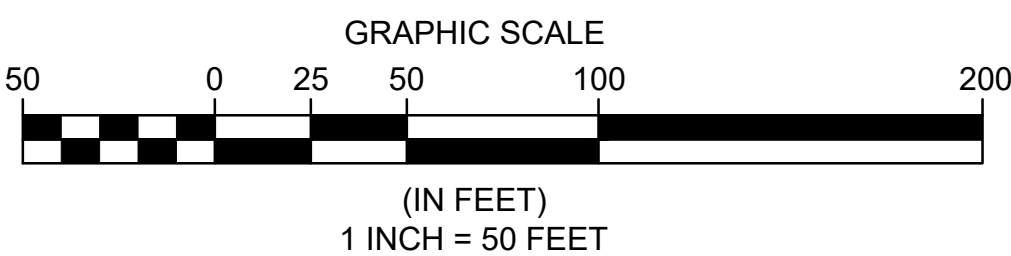
STATE OF OHIO














































KEVIN HOFFMAN

PROFESSIONAL ENGINEER

74831

DATE: 5/9/25 DRAWN: NMO
SCALE: HOR. 1"=50' VERT. 1"=15'
FOLDER: DWG/Proj. Engineering
FILENAME: 24189 Improvement Plans
TAB: 05-Utility Plan
BNDRY. BY: GBC
BASE. BY: NMO



SYMBOL LEGEND													
	Ex. Clean Out		Ex. Sanitary Manhole		Ex. Gas Marker		Ex. Telephone Box		Ex. Yard Light		Ex. Tree		Ex. Monument Box
	Ex. Catch Basin		Prop. Sanitary Manhole		Ex. Water Valve		Ex. Electrical Box		Ex. Guy Wire		Ex. Pine Tree		Irrigation Valve
	Prop. Catch Basin		Prop. Curb Inlet		Ex. Water Meter		Ex. Power Transformer		Ex. Spark Plug		Ex. Bush		Sprinkler Control Box
	Ex. Yard Drain		Ex. Curb Inlet		Ex. Fire Hydrant		Cable TV Box		Prop. Light Pole		Ex. Stump		Sprinkler Head
	Ex. Manhole		Ex. Storm Inlet MH		Prop. Hydrant		Ex. Power Pole		Traffic Signal Pole		Ex. Mailbox		Test Bore
	Ex. Storm Manhole		Ex. Gas Meter		Prop. W/L Valve		Ex. Light Power Pole		Ex. Sign		Electrical Outlet		Guard Post
	Prop. Storm Manhole		Ex. Gas Valve										

PRESERVE OF HUDSON

TOWNHOMES

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polaris

Engineering & Surveying

UTILITY PLAN

PREPARED FOR:

TRIBAN INVESTMENT, LLC

7555 FREDLE DRIVE

PAINEVILLE, OH

PHONE: (440) 346-0088

CONTACT: HANNA COHAN

PLESSNER

CONTRACT No.

24189

SHEET

OF

05

21