

**SURVEY FOR
BRAEDEN QUAST AND NATALIE YUHAS
2595 BARLOW ROAD
HUGSON, OHIO 44236**

SITUATED IN THE CITY OF HUDSON, THE COUNTY OF SUMMIT, AND STATE OF OHIO:
BEING PART OF LOT 9 IN HUDSON TOWNSHIP, REFERENCE INSTRUMENT NO. 56872529

JOSEPH H ALEXANDER
PPN 3005964

N 00°00'25" E 1054.63 REC 1054.79' MEAS

2595 BARLOW ROAD

**BRAEDEN QUAST AND
NATALIE YUHAS
PPN 3002950**

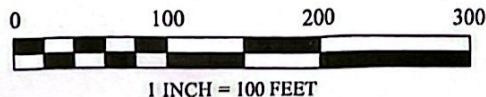
5.024 Acres
0.063 Acre ROW
4.961 Acres Net

C SOCCER CLUB INC
PPN 3005832
S 89°45'22" E
200.00' REC
200.05' MEAS
1 INCH PIPE FD
1 INCH CONC

STONECREEK RESERVE HOA INC
PPN 3009469

S 00°00'20" W 1094.85 REC 1095.09' MEAS

FRANK D RICCI TRUSTEE
PPN 3009441



LEGEND

- These standard symbols will be found in the drawing.
- IRON PIPE FOUND (OR AS NOTED)
 - 5/8" REBAR W/CAP #7954 SET
 - X—X—X EX FENCE

REFERENCES

- 1) SUMMIT COUNTY MAPS
- 2) PPNs (AS SHOWN)
- 3) SUMMIT COUNTY RECORDS

BASIS OF BEARINGS

DISTANCES SHOWN HEREON ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF. BEARINGS ARE BASED ON GPS OBSERVATIONS OF THE OHIO STATE PLANE COORDINATE SYSTEM, NORTH ZONE GRID TO GROUND AND TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I HEREBY DECLARE THAT I HAVE SURVEYED THE LAND SHOWN ON THIS PLAT, AND HAVE FOUND OR SET THE PINS AND MONUMENTS SHOWN, ALL IN ACCORDANCE WITH CHAPTER 4733-37 OF THE OHIO ADMINISTRATIVE CODE.

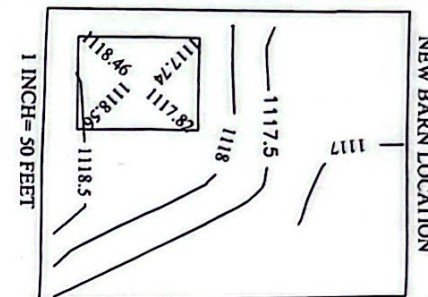
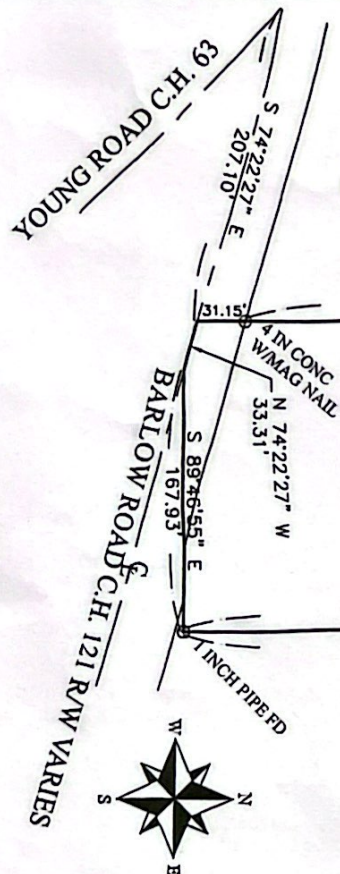
Paul A. McCutcheon
PAUL A. MCCUTCHEON

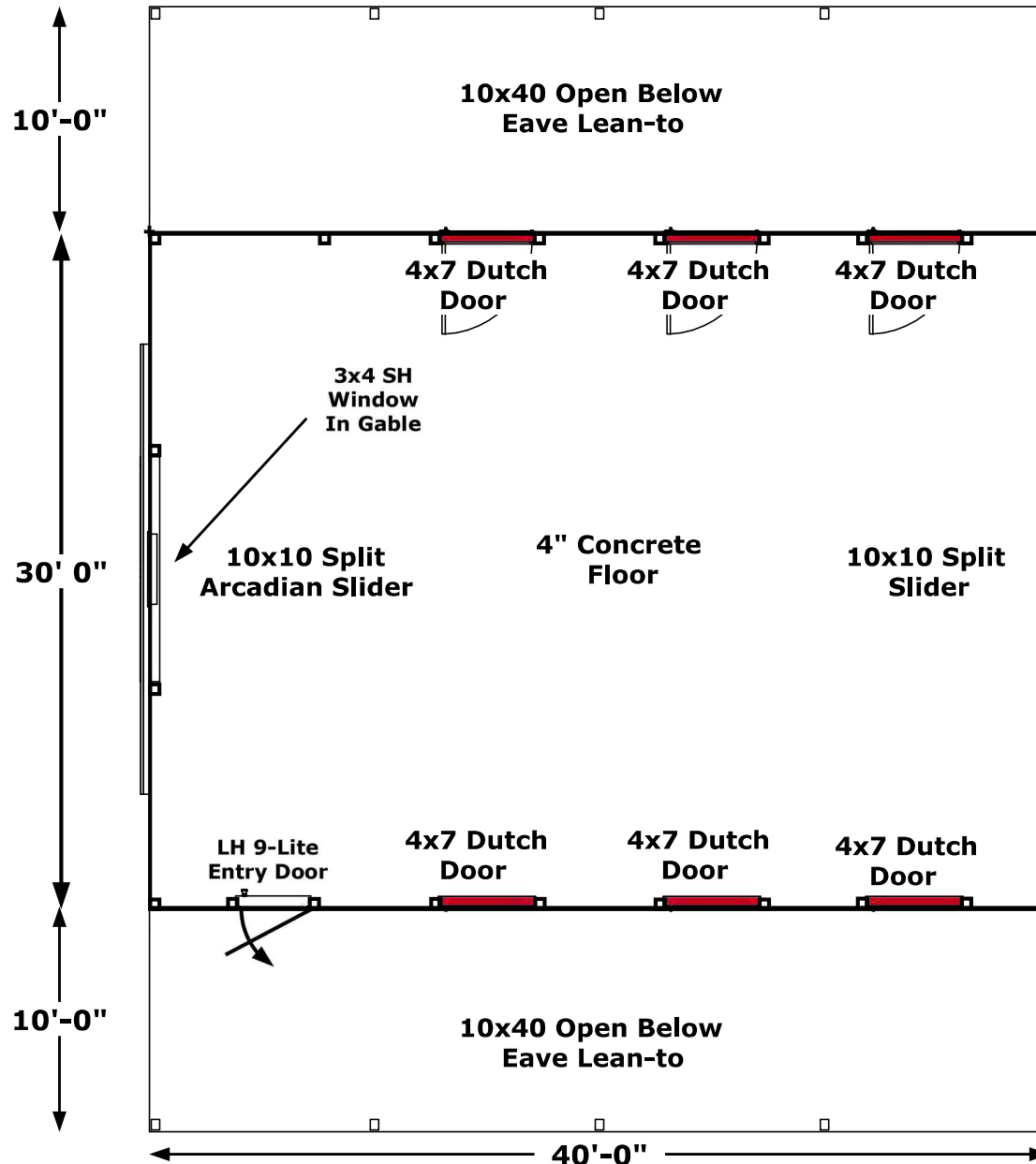
P.S. # 7954



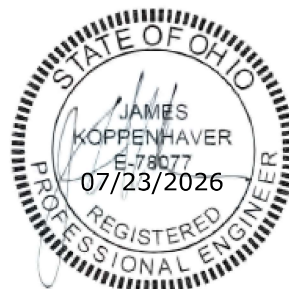
Survey prepared by
PAUL A. MCCUTCHEON #7954
2466 Beech Street
Cuyahoga Falls, Ohio 44221 Phone (330)730-3175

DATE JULY 29 2026 SCALE 1" = 100'





Floor Plan
1/8"=1' Scale



EXPIRATION DATE:
 12/31/2027



Job Name: Quast, Braeden
Site Address: 2595 Barlow Road
 Hudson, Ohio 44236

MQS Structures, LLC
 4445 Union Ave. NE
 Homeworth, OH
 44634

Quast, Braeden

30x40x12 Post Frame Building

2-10x40 Open Below Eave Lean-to's

Building Colors: Buckeye Steel

Siding: Bright Red

Trim: Pure White

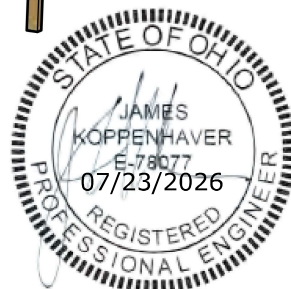
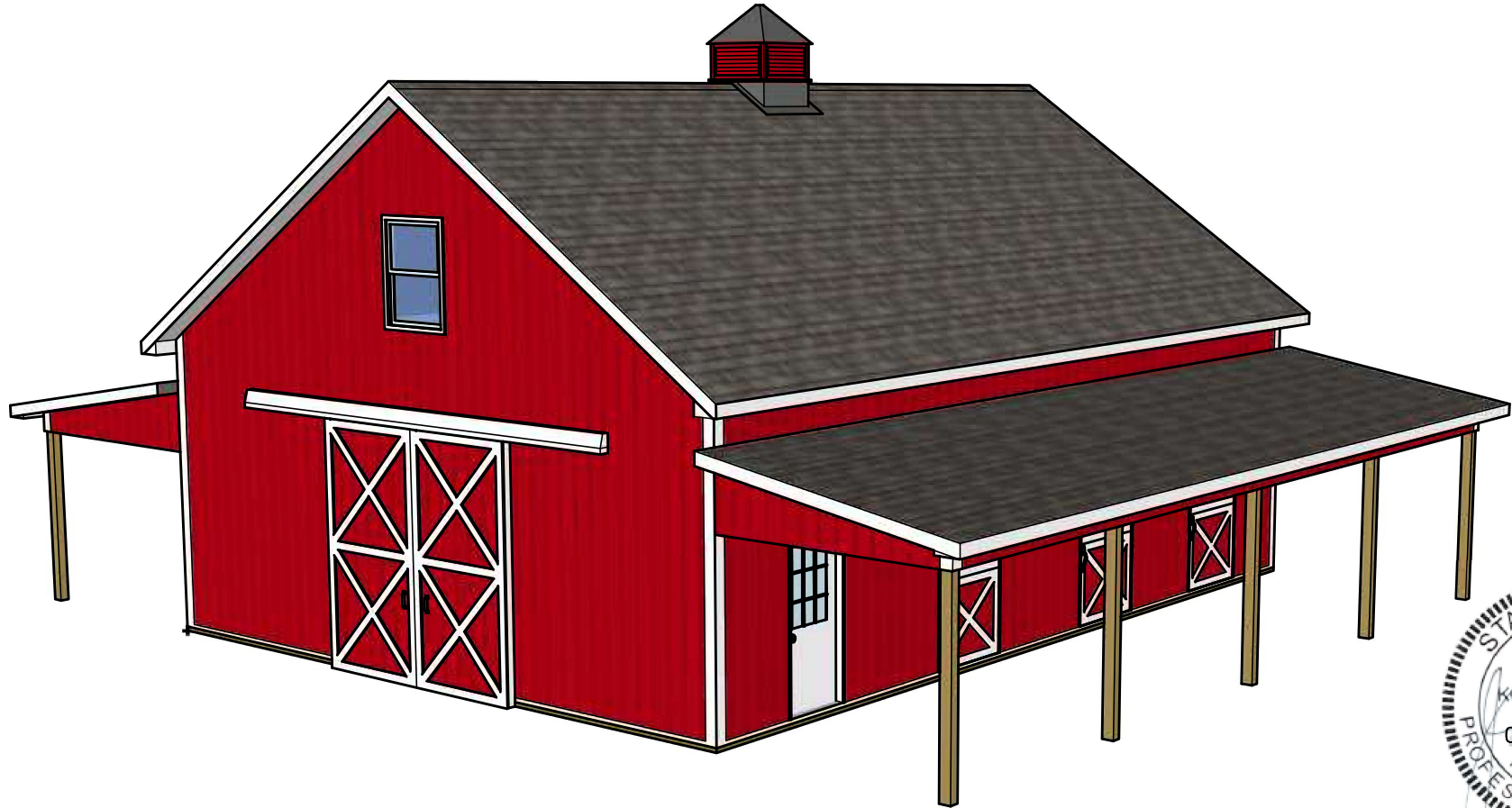
Roof: Rustic Red

Sliding Doors: Bright Red

Misc: Shingle Roof With 1/2"

OSB & Underlayment.

House Wrap On Sides



EXPIRATION DATE:
12/31/2027

Cover Sheet

May 26, 2026

No Scale



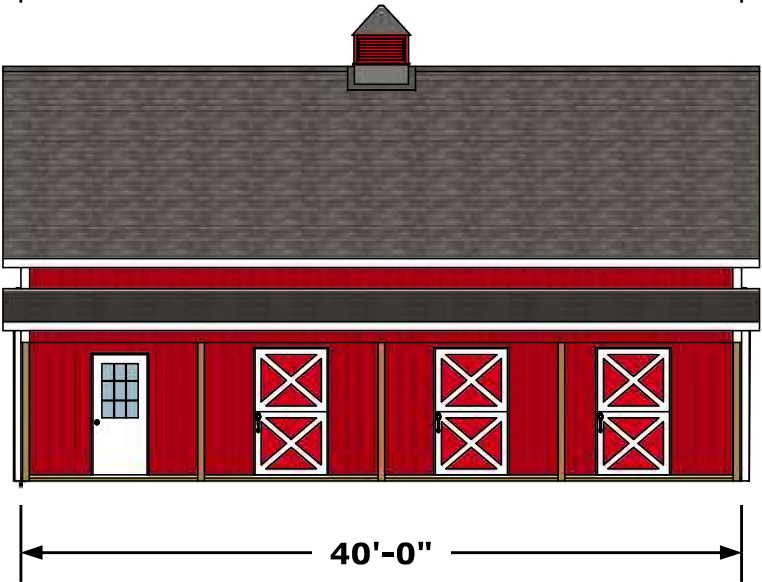
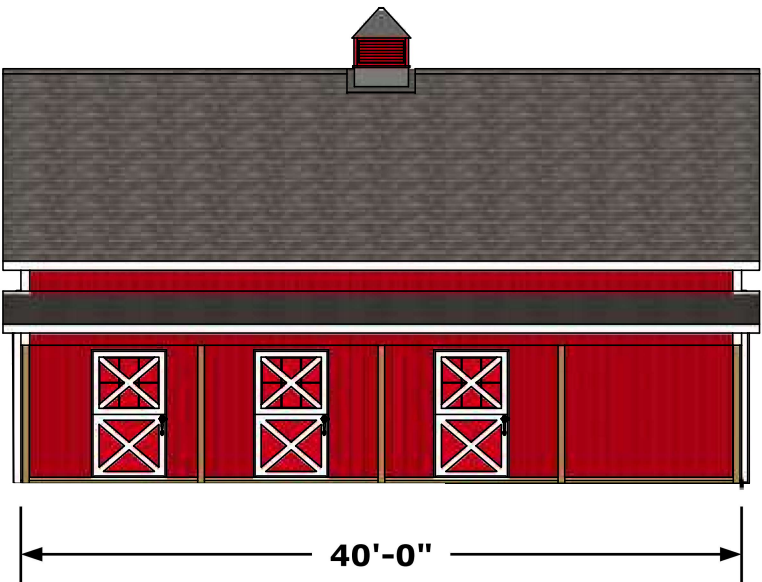
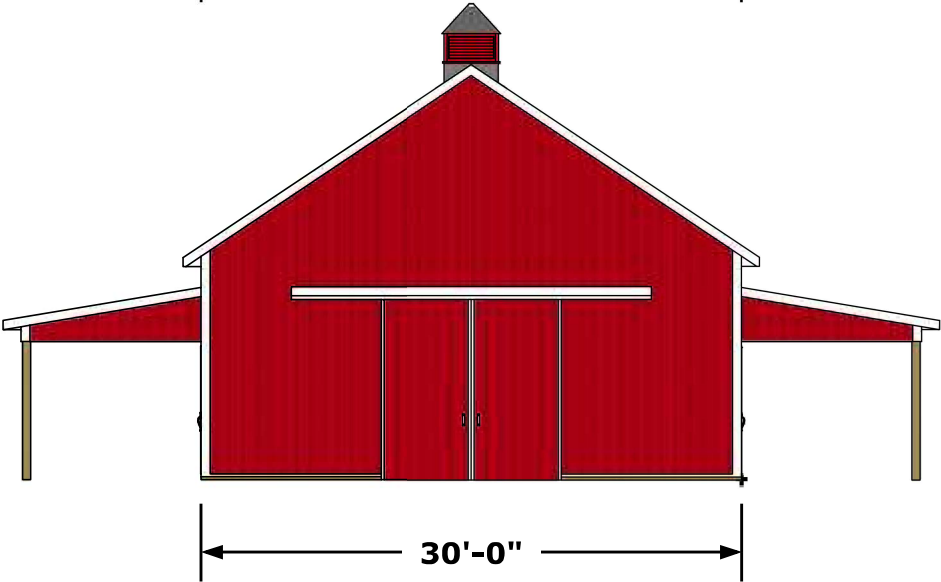
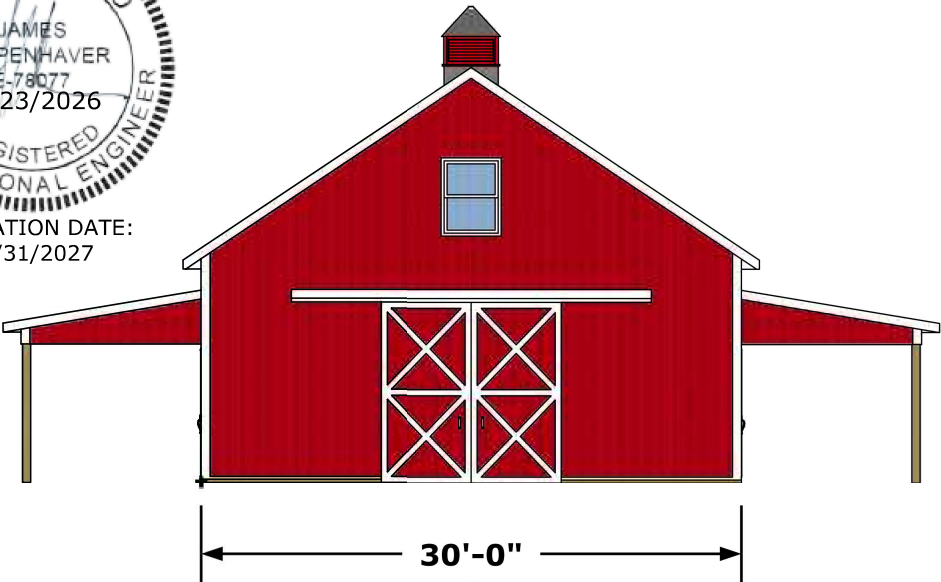
Job Name: Quast, Braeden

Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634



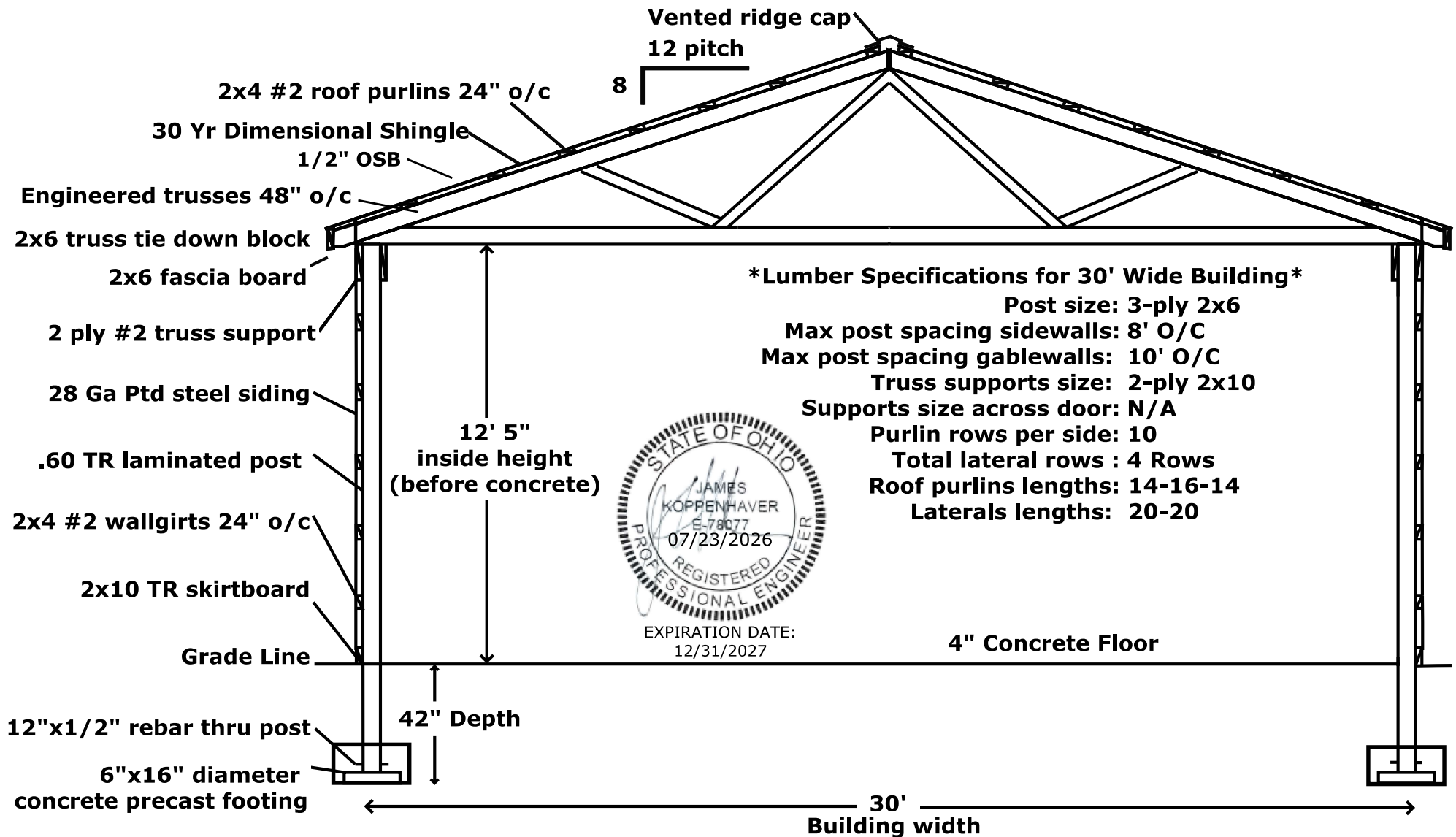
EXPIRATION DATE:
12/31/2027



Elevation Views

1/8"=1' Scale

	Job Name: Quast, Braeden Site Address: 2595 Barlow Road Hudson, Ohio 44236	MQS Structures, LLC 4445 Union Ave. NE Homeworth, OH 44634
--	--	--



Typical Wall Section

Typical Framing View

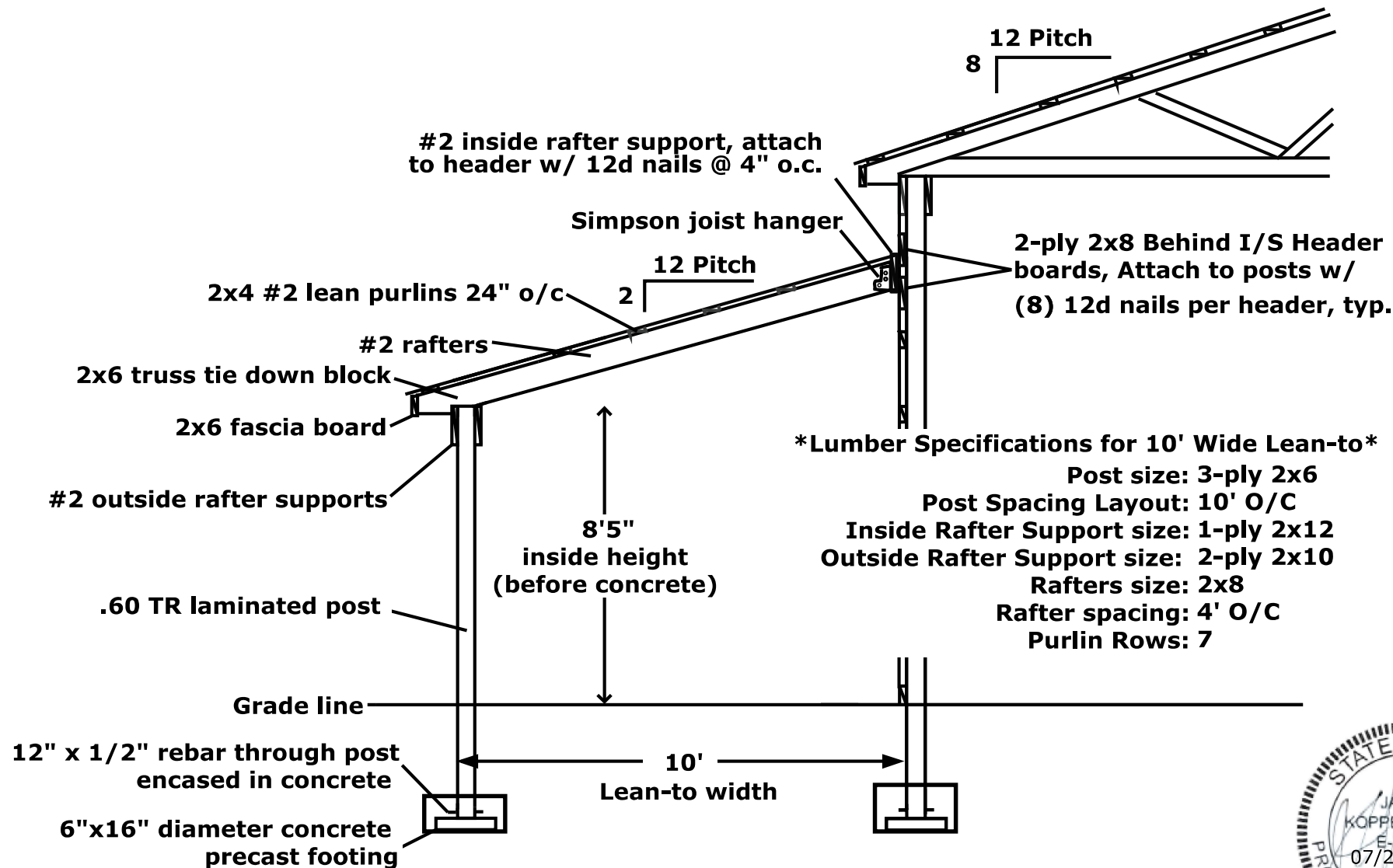
No Scale



Job Name: Quast, Braeden

Site Address: 2595 Barlow Road
Hudson, Ohio 44236

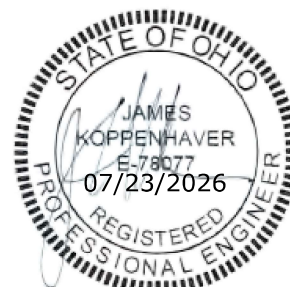
MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634



Typical Lean-to Section

Lean-to Framing View

No Scale



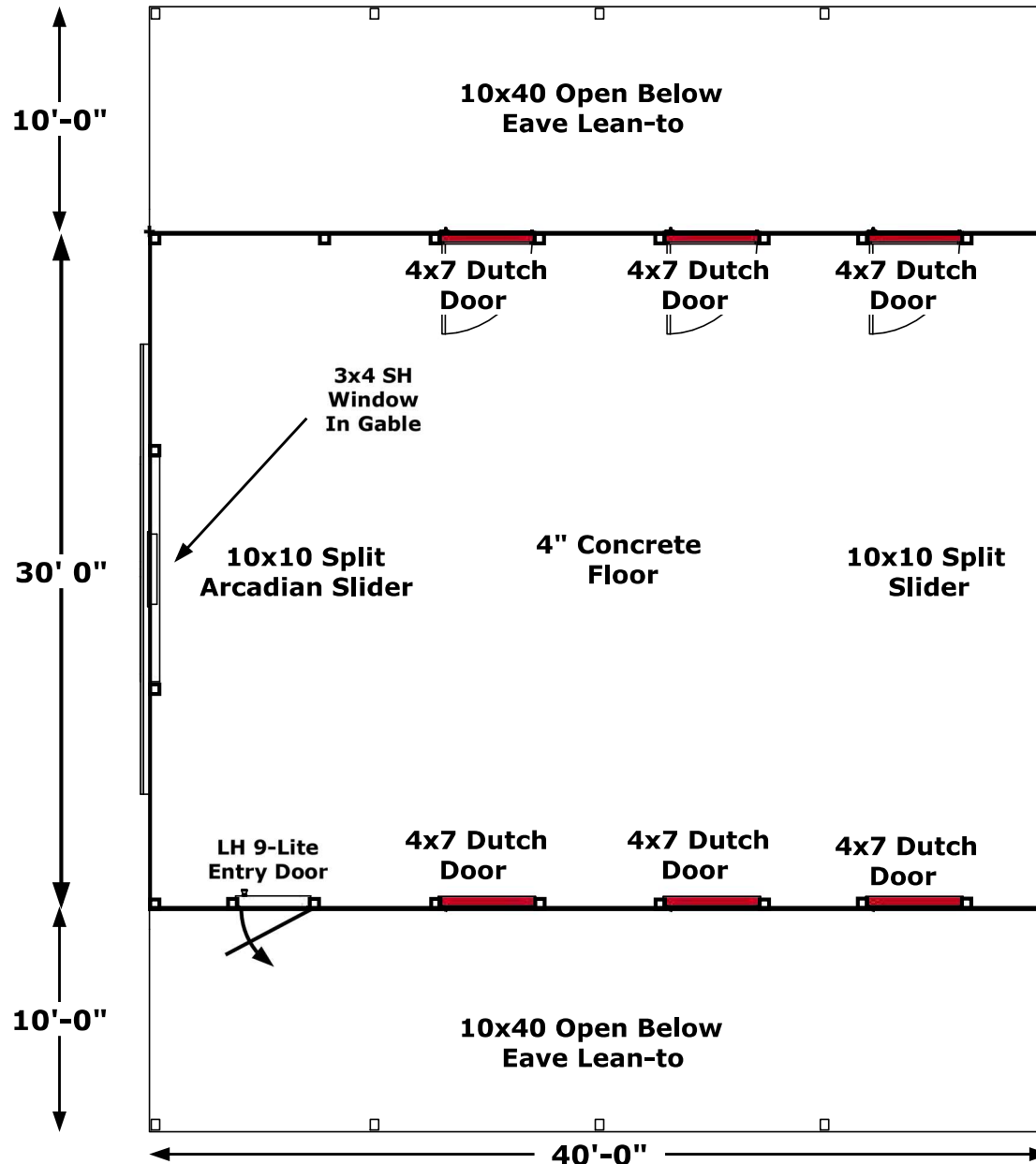
EXPIRATION DATE:
12/31/2027



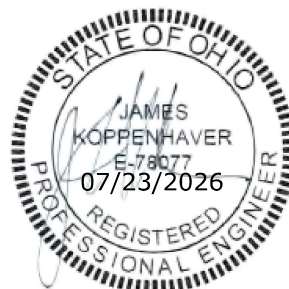
Job Name: Quast, Braeden

Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634



Floor Plan
1/8"=1' Scale



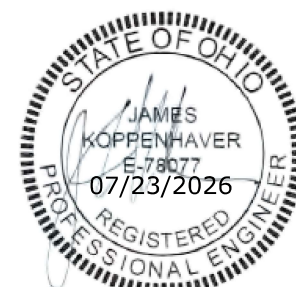
EXPIRATION DATE:
 12/31/2027



Job Name: Quast, Braeden
Site Address: 2595 Barlow Road
 Hudson, Ohio 44236

MQS Structures, LLC
 4445 Union Ave. NE
 Homeworth, OH
 44634

NAILING SCHEDULE	
2X8 0.14 CA-B TREATED	(8) 12D DOUBLE HOT-DIPPED GALVANIZED NAIL
PURLINS AND GIRTS 2X4 #1/#2 SPF	(6) 12D SMOOTH NAILS PER POST (6) 12D SMOOTH NAILS AT SPLICE
(2) 2X10 HEADERS TO POST (POST TREATMENT: ONLY BOTTOM 6'-0")	(4) $\frac{5}{16}$ " X 4" GRK SCREWS PER HEADER PER SIDE (8 SCREWS TOTAL) *NOTCH POST FOR TRUSS @ ALL TRUSS TO POST CONNECTIONS.
(2) 2X10 HEADERS TO POST (LEAN-TO OUTSIDE) (POST TREATMENT: ONLY BOTTOM 6'-0")	(4) $\frac{5}{16}$ " X 4" GRK SCREWS PER HEADER (8 SCREWS TOTAL)
TIE DOWN BLOCK OR TIMBER TO TRUSS HEEL	(6) 12D SMOOTH NAILS MIN.
TRUSS CARRIER TO TIE DOWN BLOCK	(4) 12D SMOOTH NAILS (TYP.) PER HEADER PER SIDE
*ADD BEARING BLOCKS WHERE REQUIRED FOR ADEQUATE FASTENER SPACING *ALL CONNECTION PER IRC TABLE R602.3(1) *ALL CONNECTIONS INTO TREATED LUMBER MUST BE GALVANIZED-COATED OR STAINLESS-STEEL 304 / 316	



EXPIRATION DATE:
12/31/2027

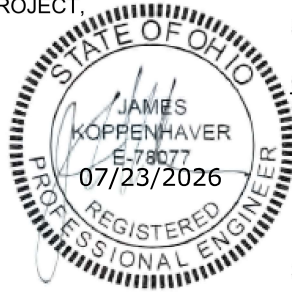


Job Name: Quast, Braeden
Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634

STRUCTURAL DESIGN LOAD:

1. THIS STRUCTURE IS AN ENGINEERED DESIGN IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.
2. THIS STRUCTURE IS DESIGNED USING THE ALLOWABLE STRESS DESIGN METHOD AND APPLICABLE LOAD COMBINATIONS
3. GROUND SNOW LOAD = 20 PSF
4. WIND LOAD = 115 MPH @ 3 SEC.
5. EARTHQUAKE LOAD:
SEISMIC CATEGORY B
THE WIND DESIGN PRODUCES GREATER EFFECTS ON THIS PROJECT, THEREFORE WIND DESIGN GOVERNS
6. FLOOD LOADS:
THE PROJECT IS NOT WITHIN A FLOOD HAZARD AREA
7. ROOF LOADS:
TOTAL ROOF LOAD: 30 PSF
8. TRUSS LOADS:
TOP CHORD LIVE 20 PSF
TOP CHORD DEAD 5 PSF
BOTTOM CHORD LIVE 0 PSF
BOTTOM CHORD DEAD 5 PSF



EXPIRATION DATE:
12/31/2027

WOOD TRUSSES:

1. TRUSSES ARE TO BE DESIGNED AND FABRICATED IN ACCORDANCE WITH THE STANDARDS OF THE NATIONAL FOREST PRODUCTS ASSOCIATION AND THE TRUSS PLATE INSTITUTE'S "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES"
2. TRUSS WEB CONFIGURATIONS, PLATE SIZES, CHORD SIZES, AND LATERAL BRACING SHALL BE DESIGNED BY AN OH LICENSED PROFESSIONAL ENGINEER.
3. TRUSSES SHALL BE DESIGNED FOR THE LOADING, SPACING, AND GEOMETRY SHOWN ON THE PLAN.
4. INSTALL BRACING IN ACCORDANCE WITH THE MANUFACTURER'S DESIGN.
5. REQUIREMENTS FOR LATERAL FORCE RESISTING AND THE DESIGN OF WOOD SHEAR WALLS TO RESIST WIND AND SEISMIC LOADS ARE IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.
6. THE TRUSSES SHALL RESIST HORIZONTAL FORCES FROM SHEAR WALLS.

LUMBER:

1. ALL LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICAN SOCIETY OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".
2. ALL LUMBER SHALL BE #2 OR BETTER FOR LOAD SUPPORTING IDENTIFIED BY THE GRADE MARKS AND COMPLYING WITH DOC PS 20.
3. SIZING, THICKNESS, BEARING, SPANS, GRADE, CONNECTIONS, AND PROTECTION ARE IN ACCORDANCE WITH 2019 RESIDENTIAL CODE OF OHIO.

FOOTINGS:

1. BOTTOM OF BUILDING FOOTINGS SHALL BE MINIMUM 3'-6" BELOW FINISHED GRADE.
2. ASSUMED ALLOWABLE NET SOIL BEARING OF 2,000 PSF.
3. SUBGRADE SHALL BE COMPACTED USING INDUSTRY ACCEPTABLE COMPACTING TECHNIQUES, TO 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM - D698 AND AT +2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM - D1557.
4. SUBGRADE SHALL BE COMPOSED OF NATURAL SOIL AND GRADED ROCK FREE OF WOOD, GRASS, ROOTS, BROKEN CONCRETE, LARGE STONES, TRASH, OR DEBRIS OF ANY KIND.
5. SUBBASE FOR CONCRETE SLAB SHALL BE 4" OF CRUSHED STONE BACKFILL IN ACCORDANCE WITH ASTM D 2940.

GENERAL NOTES:

1. CONCENTRATED LOADS SHALL NOT BE ATTACHED TO THE ROOF TRUSSES WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL OF THE BUILDING DESIGN PROFESSIONAL.
2. CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE MUNICIPALITY WHERE THE BUILDING IS TO BE CONSTRUCTED AND FOLLOW ALL MANUFACTURER AND CODE REGULATIONS FOR INSTALLATION AND FASTENING OF ALL MATERIALS.
3. CONTRACTOR TO LOCATE AND PROTECT ANY UTILITIES IN CONFLICT WITH THIS PLAN.
4. CONTRACTOR SHALL INSTALL TRUSSES AND PERMANENT TRUSS BRACING IN ACCORDANCE WITH BCSI (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) AND IN ACCORDANCE WITH THE TRUSS DESIGN DRAWINGS. TRUSS DESIGN DRAWINGS SHALL BE PROVIDED BY THE TRUSS MANUFACTURER.
5. THIS PROJECT WILL NOT INCLUDE ELECTRICAL OR MECHANICAL WORK OR INTERIOR FINISHES.
6. AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

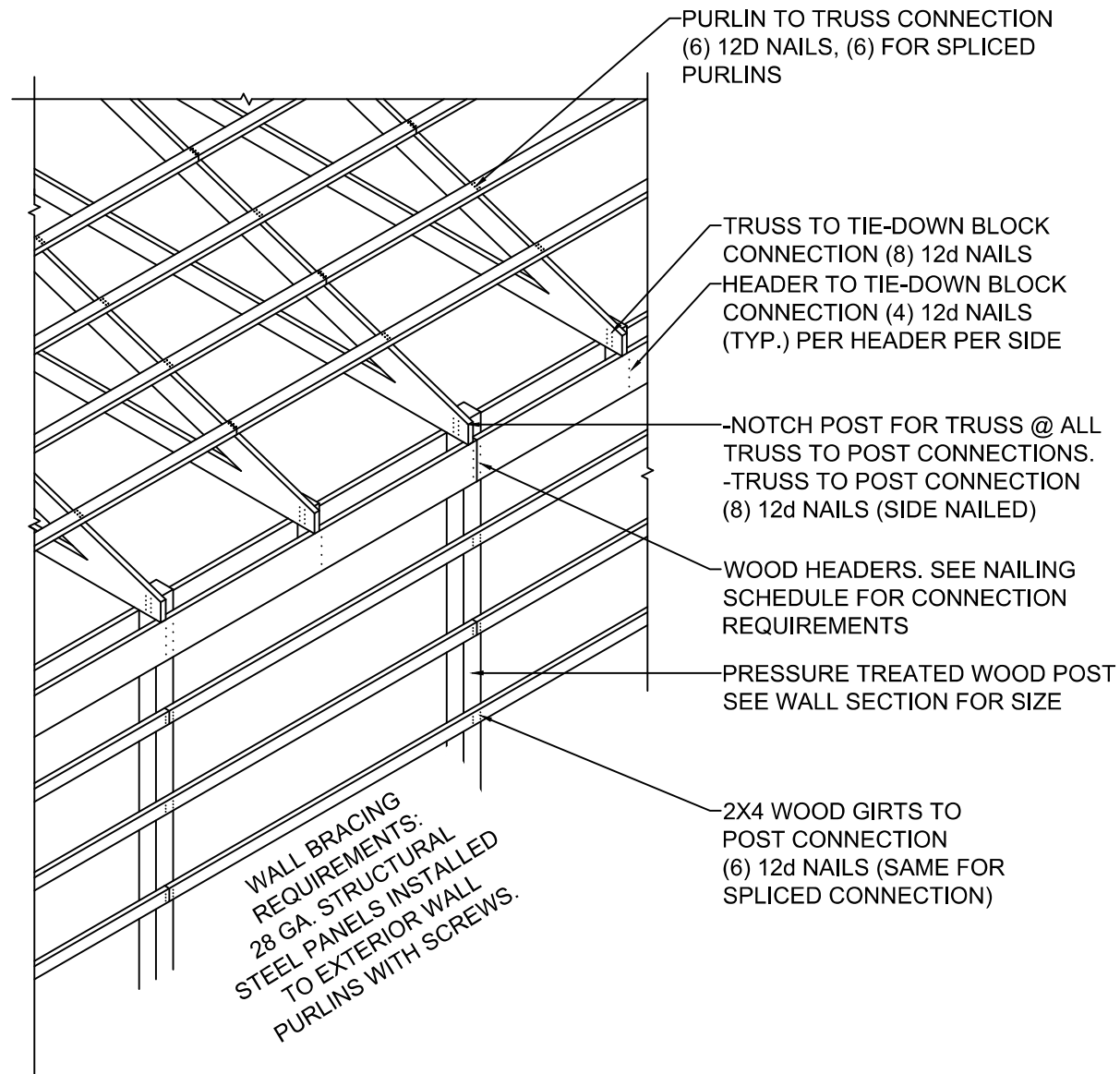
SLAB ON GRADE: (MAY BE BY OTHERS)

1. SLAB ON GRADE TO BE MINIMUM 4" THICK 3,500 PSI CONCRETE
2. SLAB ON GRADE TO BE REINFORCED WITH MINIMUM 6X6-W1.4XW1.4 WWF
3. MAXIMUM SPACING FOR CONTROL JOINTS IS 20'
4. GARAGE FLOORS TO BE SLOPED TOWARDS OVERHEAD DOOR OPENINGS
5. SLAB TO BE PLACED ON 4" CLEAN CRUSHED STONE AND 6 MIL POLYETHYLENE VAPOR BARRIER, WITH JOINTS LAPPED MINIMUM 6"
6. SUBGRADE SHALL BE PROOF-ROLLED TO 95% DENSITY AT 90% OPTIMUM MOISTURE CONTENT. LOOSE, SOFT SECTIONS, ORGANIC MATERIAL, AND OTHER DEBRIS IN SUBGRADE SHALL BE REMOVED AND REPLACED WITH CLEAN SOIL, OR CRUSHED STONE, THEN PROOF-ROLLED AGAIN.



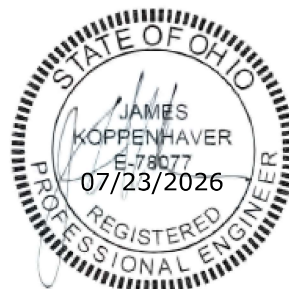
Job Name: Quast, Braeden
Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634



FRAMING SECTION (EAVE WALL)

SCALE: 1/4" = 1'-0"



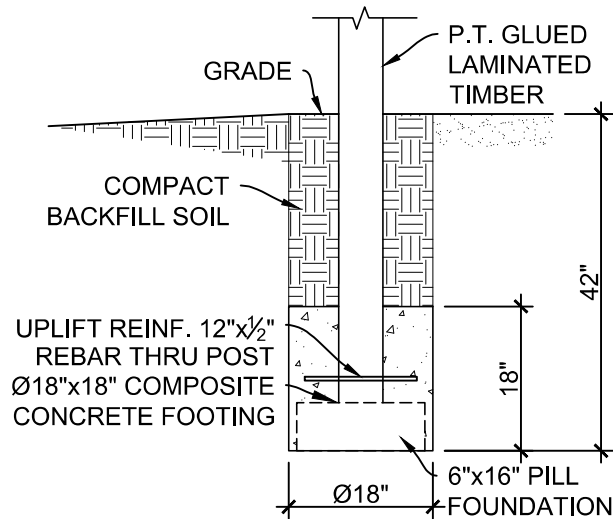
EXPIRATION DATE:
12/31/2027



Job Name: Quast, Braeden

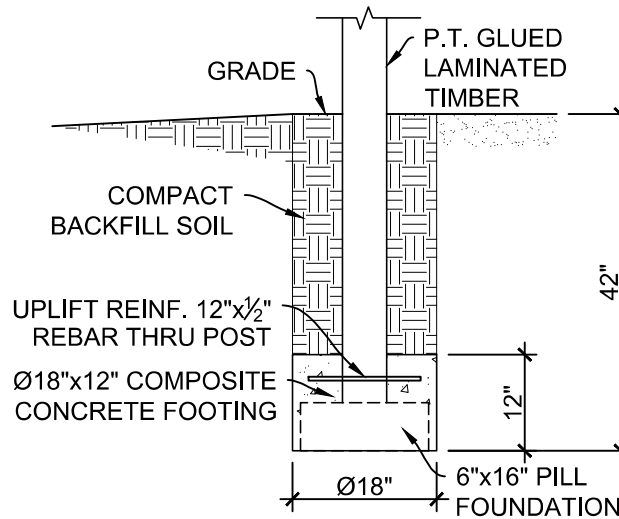
Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634



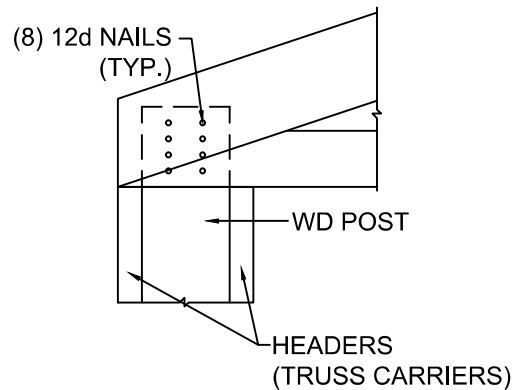
FOUNDATION DETAIL, TYP.

SCALE: 1/2" = 1'-0"



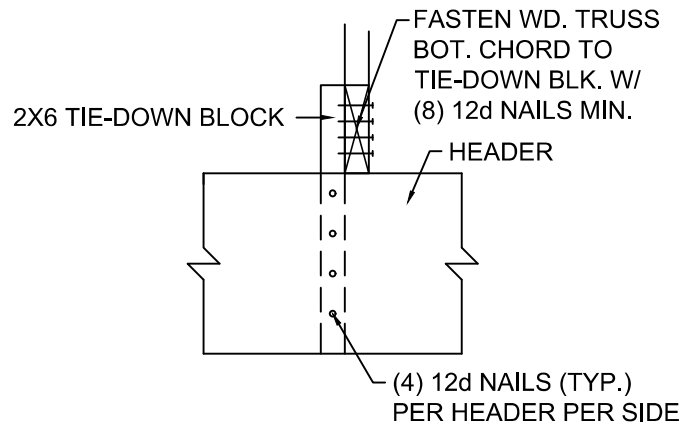
FOUNDATION DETAIL, LEAN-TO OUTSIDE

SCALE: 1/2" = 1'-0"



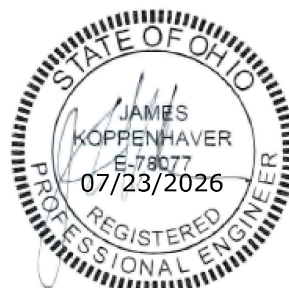
TYP. TRUSS TO POST

SCALE: 1" = 1'-0"



TYP. HEADER TO TIE-DOWN BLOCK

SCALE: 1" = 1'-0"



EXPIRATION DATE:
12/31/2027



Job Name: Quast, Braeden
Site Address: 2595 Barlow Road
Hudson, Ohio 44236

MQS Structures, LLC
4445 Union Ave. NE
Homeworth, OH
44634











