

GENERAL NOTES

CONTRACTORS:
EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH CONDITIONS AT THE JOB SITE PRIOR TO THE START OF THEIR WORK. DO NOT SCALE DRAWINGS. USE PLAN DIMENSIONS. IF DISCREPANCIES WITH DRAWINGS ARE DISCOVERED AT ANY TIME BEFORE OR DURING CONSTRUCTION NOTIFY PROJECT DESIGNER OR CONTRACTOR IMMEDIATELY BEFORE PROCEEDING. MAINTAIN ONE (1) COMPLETE SET OF APPROVED CONSTRUCTION DRAWINGS ON THE JOB SITE AT ALL TIMES. ALL WORK TO BE PERFORMED IN A GOOD WORKMANLIKE MANNER, IN ACCORDANCE WITH APPLICABLE CURRENT NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. CONTRACTORS ARE RESPONSIBLE FOR LOCAL CODE INTERPRETATIONS FOR THEIR TRADE. ALL PRODUCTS AND MATERIALS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. COORDINATE ALL UTILITIES PRIOR TO CONSTRUCTION. DEVIATION FROM THE CONSTRUCTION DOCUMENTS MUST FIRST BE APPROVED BY CONTRACTOR, AND AUTHORIZED THROUGH WRITTEN CHANGE ORDER FORM SUBMITTED BY THE CONTRACTOR. EACH CONTRACTOR IS RESPONSIBLE FOR DAILY CLEAN-UP AND REMOVAL OF DEBRIS FROM THE JOB SITE. ALL CONTRACTORS WILL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR THE PERIOD OF ONE (1) YEAR.
IT IS UNDERSTOOD THAT THESE DRAWINGS ARE GENERIC WITH RESPECT TO CONSTRUCTION DETAILING, STRUCTURAL DETAILING AND FINISH DETAILING. THE OWNER AND CONTRACTOR ACCEPTS ALL RESULTING DETAILS AND AESTHETICS, SPECIFIED OR UNSPECIFIED, AND UNDER NO CIRCUMSTANCES SHALL THE DESIGNER BE HELD RESPONSIBLE.

TRUSSES:
ALL TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER WITH DETAILED DRAWINGS DESCRIBING TRUSS LAYOUTS AND LOAD CALCULATIONS USED TO DESIGN THE TRUSSES. IT IS THE BUILDER AND/OR OWNER'S RESPONSIBILITY TO SUPPLY ANY/OR ALL OF THIS INFORMATION IF REQUESTED BY THE BUILDING DEPARTMENT TO ISSUE BUILDING PERMITS. IT IS ALSO THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO VERIFY, AND IF NECESSARY, ADJUST THE SIZE OF OR ADD ANY BEAM OR HEADER THAT IS DIRECTLY EFFECTED OR REQUIRED TO CARRY THE ROOF LOADS. IN THIS EVENT, THE TRUSS MANUFACTURER SHALL CONTACT LABOCKI DESIGN IN ORDER TO UPDATE THE DRAWINGS.

SOIL BEARING:
FOUNDATIONS SHOWN ON THESE DRAWINGS ARE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. WALLS ARE DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 55PCF. IT IS THE RESPONSIBILITY OF THE BUILDER AND/OR OWNER TO DETERMINE THAT THE SOIL IS ADEQUATE TO SUPPORT THIS BUILDING ON THE FOUNDATION AND THE WALLS SHOWN AND ALSO, DETERMINING THAT THE TOTAL AND DIFFERENTIAL SETTLEMENTS OF THE FOUNDATIONS ARE WITHIN THE TOLERABLE LIMITS OF THIS STRUCTURE AND THAT 55PCF IS THE CORRECT WALL LOADINGS. THE BUILDER AND/OR OWNER IS ENCOURAGED TO OBTAIN THE SERVICES OF A SOILS ENGINEERING FIRM TO DETERMINE THE SUITABILITY OF THE FOUNDATIONS AND THE WALLS SHOWN ON THESE DRAWINGS TO SAFELY SUPPORT THE STRUCTURE WITH NO DETRIMENTAL EFFECT TO THE BUILDING.

RADON:
IT IS THE RESPONSIBILITY OF THE BUILDER TO INFORM THE OWNER OR IF THE OWNER IS ACTING AS HIS OR HER OWN CONTRACTOR TO KNOW THAT ALL HOUSES HAVE A POTENTIAL TO HAVE RADON LEVELS WHICH MAY EXCEED THE RECOMMENDED LEVELS ESTABLISHED BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY. THE BUILDER AND/OR OWNER SHALL DECIDE WHAT ACTION, IF ANY, SHOULD BE TAKEN CONCERNING RADON. IT IS NOT THE RESPONSIBILITY OF FIDEI LLC TO DETERMINE IF A RADON ABATEMENT SYSTEM IS REQUIRED.

ATTICS:
ALL ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION WITH THE NET FREE VENTILATION AREA NOT LESS THAN 1/300 OF THE AREA TO BE VENTILATED. ALL OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF THE SNOW AND RAIN.

MECHANICALS:
ALL PLUMBING, ELECTRICAL, HEATING AND COOLING SYSTEMS SHALL COMPLY WITH ALL ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDINGS AND ZONING DEPARTMENTS. PLUMBING SHALL ALSO COMPLY WITH THE OHIO PLUMBING CODE. ELECTRICAL SHALL ALSO COMPLY WITH THE NATIONAL ELECTRIC CODE AND THE OHIO BASIC BUILDING CODE.

FIRE STOPPING:
SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: CONCEALED SPACES OF STUD WALLS AND PARTITIONS A THE CEILING AND FLOOR, OR ROOF LEVELS. AT ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILING, ETC. ALSO AROUND VENTS, PIPES, AND CHIMNEYS AT CEILING AND FLOOR LEVELS WITH NON COMBUSTIBLE MATERIALS.

INSULATION:
INSULATION SHALL BE INSTALLED AND ALSO COMPLY WITH ALL MINIMUM ORDINANCES SET FORTH BY THE LOCAL GOVERNING BUILDING AND ZONING DEPARTMENTS. REFER TO THE TYPICAL WALL SECTION FOR R-VALUES AND LOCATIONS.

Proposed Veranda Addition For: Delis

Situated in the State of Ohio,
City of Hudson



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF A 455 SF VERANDA ADDITION FOR DELIS. THE RENOVATION & ADDITION INCLUDES NEW EXTERIOR DOORS, A VERANDA, NEW RAILINGS, NEW COLUMNS AND OTHER ITEMS THAT SUPPORT THE RESIDENCE. THE RESIDENCE'S EXISTING HOUSE WILL NOT BE AFFECTED EXCEPT FOR THE WEST EXTERIOR WALL.

APPLICATION INFORMATION

PROJECT LOCATION:	5806 Timberline Trail, Hudson, Oh, 44236				
TYPE OF IMPROVEMENT:	NEW BUILD	ADDITION	ALTERATION	CHANGE OF USE	OTHER
TYPE OF USE:	SINGLE FAMILY	DUPLX	MULTI-FAMILY	# UNITS	COMMERCIAL
	INDUSTRIAL	DECK	POOL	GARAGE	SHED
USE GROUP:	A-1 A-2 A-3 A-4 A-5 B E F-1 F-2 H-1 H-2 H-3 H-4 H-5				
	I-1 I-2 I-3 I-4 M R-1 R-2 R-3 R-4 S-1 S-2 U				
TYPE OF CONSTRUCTION:	I-A I-B II-A II-B III-A III-B IV V-A V-B				
PROJECT OWNER:	[lower]				
	ADDRESS:				EMAIL:
PROJECT CONTRACTOR:	TBD				
	ADDRESS:				EMAIL:
PROJECT DESIGNER:	fidei architecture				
	ADDRESS: 2850B W Market St, Fairlawn, Ohio 44333				EMAIL: mbenedit@fideiarch.com

CLIMATE ZONE CRITERIA

SECTION	DESCRIPTION	ACTUAL VALUE
	ROOF SNOW LOAD (LB/SF)	20 LB/SF
	WIND DESIGN (MPH) (PSF)	110 MPH, 20.7 PSF
	SEISMIC DESIGN CATEGORY	A
	ICE SHIELD REQUIREMENT	REQUIRED
	FLOOD HAZARDS	
	WINTER DESIGN TEMPERATURE	5 F
	DAMAGE FROM WEATHERING CATEGORY	SEVERE
	FROST DEPTH	38"
	SUBJECT TO DAMAGE FROM TERMITE	YES
	SUBJECT TO DAMAGE FROM DECAY	YES
	AIR FREEZING INDEX	1500
	MEAN ACTUAL TEMPERATURE	50.1 F

DESIGN LOADS

NOTE: ALL LOADS ARE LIVE AND DEAD LOADS COMBINED.

SOIL BEARING	2000 LBS
MAIN FLOOR	50 PSF
SECOND FLOOR	40 PSF
ROOF W/ CLG LOADS	30 PSF
ROOF W/O CLG LOADS	20 PSF
DECKS	50 PSF (ADD 50 PSF IN AREA W/ HOT TUB)

CLIMATE ZONE CRITERIA

2018 IECC & US DEPARTMENT OF ENERGY

SECTION	DESCRIPTION	REQUIRED VALUE	ACTUAL VALUE
	CLIMATE ZONE		5
	CEILING R-VALUE		R-49
	WOOD FRAME WALL R-VALUE		20 OR 13+5H
	MASS WALL R-VALUE i		13/17
	FLOOR R-VALUE		30g
	BASEMENT WALL R-VALUE c		15/19
	SLAB R-VALUE d, DEPTH		10,2 FT
	CRAWLSPACE WALL R-VALUE c		15/19
	FENESTRATION U-FACTOR b		
	SKYLIGHT U-FACTOR b		0.55
	GLAZED FENESTRATION (ISHGC) b, e		NR

CD SET - 08/22/2025

MATERIALS

[Symbol]	GRAVEL
[Symbol]	EARTH
[Symbol]	CONCRETE
[Symbol]	FACE BRICK
[Symbol]	CONCRETE MASONRY UNIT
[Symbol]	CONTINUOUS BLOCKING
[Symbol]	WOOD BLOCKING
[Symbol]	STEEL
[Symbol]	ALUMINUM
[Symbol]	WOOD
[Symbol]	PLYWOOD
[Symbol]	PARTICLE BOARD
[Symbol]	RIGID INSULATION
[Symbol]	BATT INSULATION
[Symbol]	GYPSUM

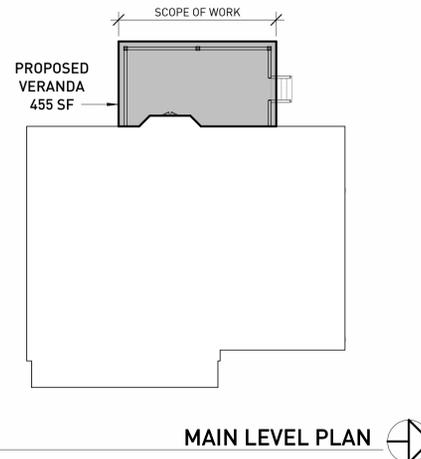
SYMBOLS

[Symbol]	SCALE: X" = X'	VIEW NAME	ELEVATION DATUM
[Symbol]	GROUND LEVEL + 0'-0" A.F.F.	[Symbol]	ROOM NAME
[Symbol]	EXTERIOR ELEVATION NUMBER SHEET NUMBER	[Symbol]	ROOM NUMBER
[Symbol]	BUILDING SECTION NUMBER SHEET NUMBER	[Symbol]	DOOR WIDTH
[Symbol]	DETAIL SECTION NUMBER SHEET NUMBER	[Symbol]	DOOR HEIGHT
[Symbol]	DETAIL CALLOUT NUMBER SHEET NUMBER	[Symbol]	PARTITION TYPE
[Symbol]	NORTH ARROW	[Symbol]	WINDOW TYPE
[Symbol]	KEYED NOTE		

SHEET INDEX

- t1.0 TITLE SHEET
- sp1.0 ARCHITECTURAL SITE PLAN
- a1.1 ELEVATIONS
- a2.1 LOWER LEVEL & MAIN LEVEL DEMOLITION PLAN
- a2.2 LOWER LEVEL & MAIN LEVEL & ROOF PLAN
- a3.1 BUILDING SECTIONS

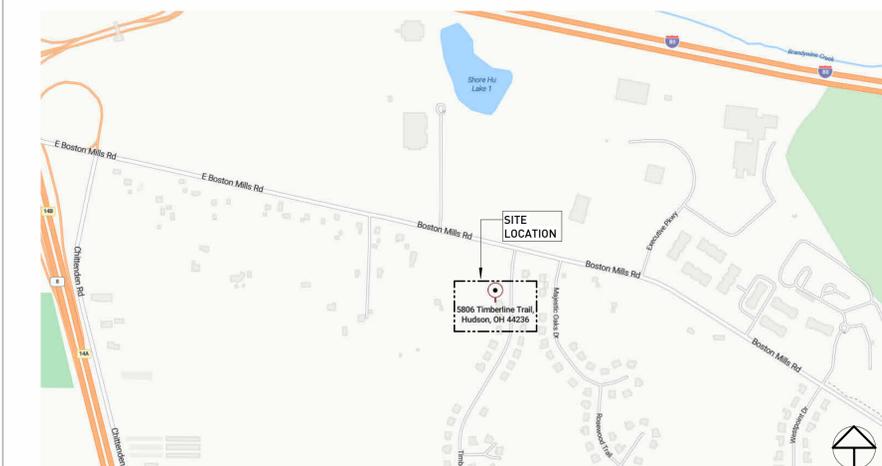
KEY PLAN



ABBREVIATIONS

ACT	-ACOUSTICAL CEILING TILE	FD	-FLOOR DRAIN	PLAM	-PLASTIC LAMINATE
ADJ	-ADJUSTABLE	FT	-FEET	POLY	-POLY URETHANE
AFF	-ABOVE FINISH FLOOR	FG	-FIBERGLASS	QT	-QUARRY TILE
ALT	-ALTERNATE	FRP	-FIBER REINFORCED PLASTIC	RD	-ROOF DRAIN
ALUM	-ALUMINUM	GA	-GAUGE	REIN	-REINFORCING
ANOD	-ANODIZED	GALV	-GALVANIZED	RESIL	-RESILIENT
BD	-BOARD	GC	-GENERAL CONTRACTOR	RO	-ROUGH OPENING
BR'G	-BEARING	GYP	-GYPSUM	RR	-REMOVED AND RELOCATED
BLK'G	-BLOCKING	HB	-HOSE BIBB	RA	-RETURN AIR
BOT	-BOTTOM	HCW	-HOLLOW CORE WOOD	SA	-SUPPLY AIR
CB	-CATCH BASIN	HDWD	-HARDWOOD	SAN	-SANITARY
CJ	-CONTROL JOINT	HDWR	-HARDWARE	SDT	-SURFACE DRAIN TILE
CLG	-CEILING	HM	-HOLLOW METAL	SCW	-SOLID CORE WOOD
CLR	-CLEAR	HDPE	-HIGH DENSITY POLYETHYLENE	SHT	-SHEET
CO	-CLEAN OUT	HORIZ	-HORIZONTAL	SIM	-SIMILAR
COL	-COLUMN	INSUL	-INSULATION	SPEC	-SPECIFICATIONS
CONC	-CONCRETE	JT	-JOINT	SF	-SQUARE FEET
CMU	-CONCRETE MASONRY UNIT	LAM	-LAMINATE	SS	-STAINLESS STEEL
CONT	-CONTINUOUS	LAV	-LAVATORY	STL	-STEEL
CT	-CERAMIC TILE	STR	-STRUCTURAL	SUSP	-SUSPENDED
DET	-DETAIL	MFG	-MANUFACTURING	TB	-TEST BORING
DIA	-DIAMETER	MO	-MASONRY OPENING	TC	-TOP OF CURB
DS	-DOWNSPOUT	MAX	-MAXIMUM	TD	-TRENCH DRAIN
DWG	-DRAWING	MECH	-MECHANICAL	T&G	-TOUNGE AND GROOVE
EA	-EACH	MTL	-METAL	THK	-THICKNESS
EJ	-EXPANSION JOINT	MIN	-MINIMUM	TOS	-TOP OF SLAB
ELEV	-ELEVATION	NOM	-NOMINAL	TOW	-TOP OF WALL
ETR	-EXISTING TO REMAIN	NIC	-NOT IN CONTRACT	TYP	-TYPICAL
EXPN	-EXPANSION	NTS	-NOT TO SCALE	VERT	-VERTICAL
EXP	-EXPOSED	OC	-ON CENTER	WC	-WATER CLOSET
EX'G	-EXISTING	PLAS	-PLASTIC	WD	-WOOD
FF	-FINISH FLOOR	PL	-PLATE	WH	-WATER HEATER
FL	-FLOOR	PLYWD	-PLYWOOD	WWM	-WELDED WIRE MESH

LOCATION MAP



PROJECT DESIGNER:



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PROJECT CONTRACTOR:

PROJECT LOCATION:

5806 Timberline Trail, Hudson, Oh, 44236

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Veranda Addition for:

Delis

QR CODE PDF DRAWING:

PRINT RECORD:

No.	Description	Date
11	CD SET	08/22/2025

JOB NUMBER:

R 2524

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SHEET DESCRIPTION:

TITLE SHEET

t1.0

PROJECT DESIGNER:



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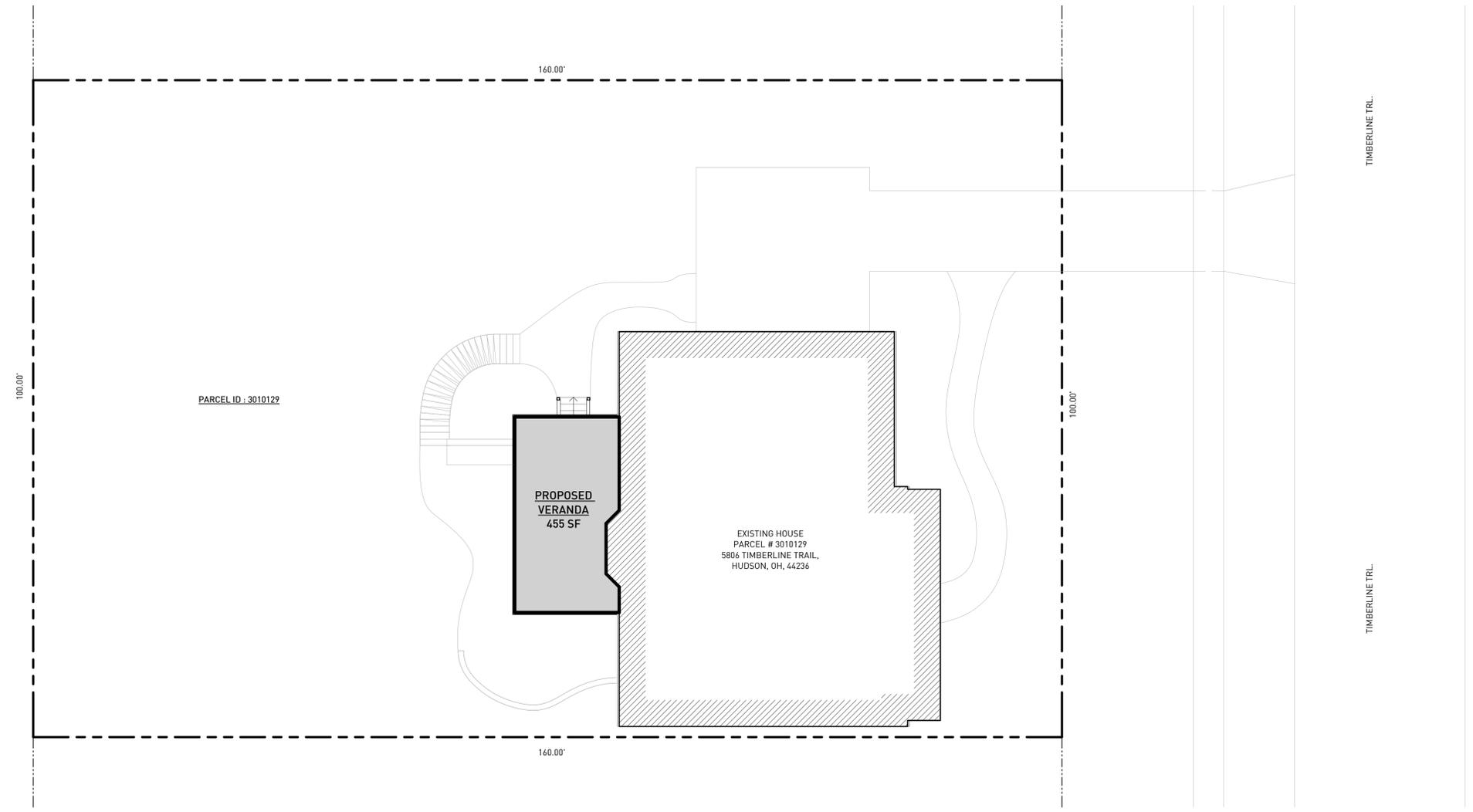
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SHEET DESCRIPTION:

ARCHITECTURAL
SITE PLAN

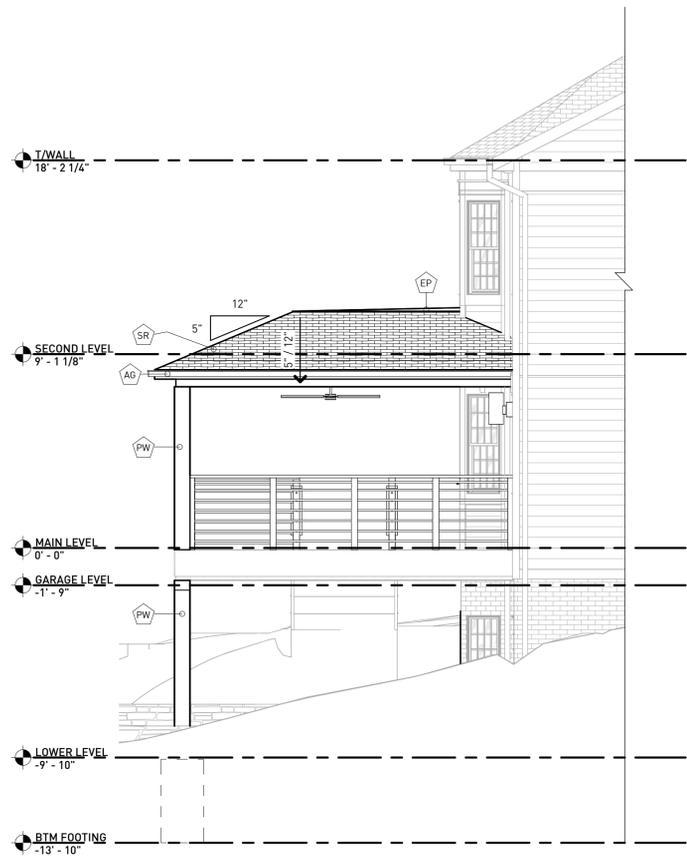
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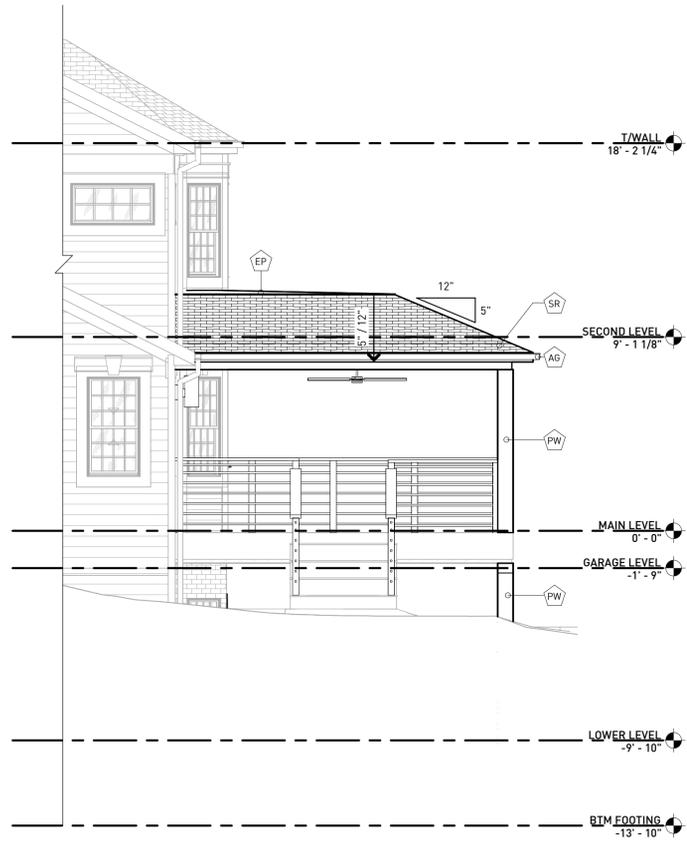
A SCALE: 1" = 10'-0"

SITE PLAN





C SCALE: 1/4" = 1'-0"
a1.1 SOUTH ELEVATION



B SCALE: 1/4" = 1'-0"
a1.1 NORTH ELEVATION



A SCALE: 1/4" = 1'-0"
a1.1 WEST ELEVATION

- ELEVATION NOTES**
1. ELEVATIONS SHOWN GRAPHICALLY INDICATE BASEMENT FOUNDATION CONDITIONS.
 2. ALL ROOF SADDLES TO BE PLYWOOD SHEATHED W/ BUILDING PAPER AND SHINGLES.
 3. CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACK FLOW
 4. ALL EXTERIOR WOOD TO BE PRIMED BEFORE INSTALLATION
 5. ALL WINDOW GRILLS TO MATCH ELEVATIONS
 6. CONTRACTOR TO PROVIDE PROPER FLASHING AT ALL EXTERIOR DOORS & WINDOWS

EXTERIOR FINISH LEGEND

NO.	DESCRIPTION	HATCH PATTERN
SR	SHINGLE ROOFING: BASIS OF DESIGN, GAF SLATELINE (ANTIQUE SLATE) 30 YEAR ARCHITECTURAL ASPHALT SHINGLES ON 15# FELT W/ ICE AND WATER SHIELD AS REQUIRED. ASSEMBLY TO BE INSTALLED PER MFC REQUIREMENTS	[Hatch Pattern]
EP	EPDM ROOFING: EPDM ROOFING MEMBRANE. PER MFR. INSTALLATION REQ'S. TYPE: TBD	[Hatch Pattern]
AG	ALUMINUM GUTTERS: AND DOWNSPOUTS TO MATCH FASCIA AND SOFFIT COLOR	[Hatch Pattern]
RV	RIDGE VENT: CONTINUOUS RIDGE VENTS TO BE BAFFLED TO PREVENT BACKFLOW	[Hatch Pattern]
VXG	1 X COMPOSITE BD. OR EQUAL (REF ELEV. FOR SIZE) COLOR: WHITE	[Hatch Pattern]
PW	PAINT WOOD: TREATED WOOD COLUMNS & TRIM FRAMING TO BE PRIMED AND RECEIVE (2) COATS PAINT. MATCH EXISTING COLOR.	[Hatch Pattern]

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SHEET DESCRIPTION:
 ELEVATIONS

a1.1

FOUNDATION NOTES

1. DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
2. CONCRETE AND MASONRY FOUNDATION WALLS TO COMPLY W/ SECT 404 IN THE RCO.
3. CONCRETE TO BE A MIN. 3000 PSI COMPRESSIVE STRENGTH.
4. FOOTING DESIGN ASSUMES A SOIL-BEARING CAPACITY OF 2000 PSF.
5. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL (36" BELOW FINISH GRADE (MIN.))
6. REFERENCE FLOOR PLANS FOR PLUMBING LOCATIONS

STRUCTURAL NOTES

1. THESE REQUIREMENTS MAY BE SUPERCEDED BY MORE STRINGENT INFORMATION CONTAINED WITHIN THE DRAWINGS. THE MORE STRINGENT SHALL BE FOLLOWED.
2. SOIL CONDITIONS SHALL CONFORM TO THE FOLLOWING CONDITIONS:
 - A. BEARING CAPACITY - 1,500 PSF MAX
 - B. WATER TABLE - SHALL BE BELOW BOTTOM OF LOWEST FLOOR LINE OF STRUCTURE WHEN WATER TABLE FOUND ABOVE. NOTIFY ENGINEER OF RECORD IMMEDIATELY.
3. UNLESS OTHERWISE NOTED, MINIMUM CONCRETE FOOTING WIDTHS SHALL BE:
 - 1-STORY, NO BRICK VENEER - 14 IN.
 - 2-STORY, NO BRICK VENEER - 16 IN.
 - 1-STORY, WITH BRICK VENEER - 17 IN.
 - 2-STORY, WITH BRICK VENEER - 21 IN.
4. FREE DRAINING GRANULAR BACKFILL SHALL BE USED AGAINST FOUNDATION WALLS. ALL BACKFILL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL SUCH AS ORGANIC MATERIALS, DEBRIS, PIECES OF DEMOLISHED CONCRETE, OR ANY OTHER HARD AND/OR POINTED OBJECTS SPECIFICALLY LARGER THAN FOUR INCHES IN DIAMETER FOR WALLS WITH UNBALANCED BACKFILL, GREATER THAN 4- FEET. BRACING IS REQUIRED TO PREVENT DAMAGE BY THE BACKFILL. THE MINIMUM HEIGHT OF BACKFILL ABOVE THE FOOTING SHALL BE 6- INCHES ABOVE THE FOOTING FOR A MINIMUM WIDTH OF 12- INCHES BEYOND THE FOOTING EDGE. ALL DRAIN TILES SHALL SIT ON TOP OF A MINIMUM OF 2- INCHES OF WASHED GRAVEL, AND BE COVERED BY NOT LESS THAN 6- INCHES OF THE SAME MATERIAL.
5. FASTENERS FOR PRESSURE TREATED OR FIRE-RETARDANT WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, OR COPPER.
6. ALL WALL SILL PLATES BEARING DIRECTLY ON FOUNDATION WALLS SHALL BE ANCHORED WITH 1/2" DIAMETER ANCHOR BOLTS OR APPROVED GALVANIZED STEEL ANCHORS INTO THE WALL A MINIMUM OF 7- INCHES OF EMBEDMENT. MINIMUM TWO ANCHORS PER SECTION OF PLATE. MAXIMUM SPACING OF ANCHORS IS 6'-0". ANCHORS SHALL BE PLACED WITHIN 12- INCHES FROM EACH END OF EACH PLATE.
7. PLYWOOD SUBFLOORS SHALL BE GLUED AND NAILED TO THE FLOOR JOISTS WITH APA APPROVED ELASTOMERIC STRUCTURAL ADHESIVE AND 8d COMMON NAILS SPACED AT 4- INCHES ON-CENTER AT PANEL EDGES AND 12- INCHES ON-CENTER AT INTERMEDIATE SUPPORTS.
8. ALL REINFORCING STEEL (REBAR OR BARI) SHALL CONFORM TO ASTM A-615, GRADE 60 (60,000 psi)
9. MAXIMUM SLUMP OF 5- INCHES
10. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-05

DEMOLITION PLAN KEYNOTES

1. REMOVE EXISTING DOOR & FRAME. REFERENCE SHEET a2.2 FOR NEW WORK.
2. REMOVE EXISTING COLUMNS. REPLACE WITH NEW COLUMNS IN SAME LOCATION & NEW FOUNDATION WORK. BRACE EXISTING STRUCTURE DURING WORK. REPAIR ANY DAMAGE TO ADJACENT SURFACES TO REMAIN. REFERENCE SHEET a2.2 FOR NEW WORK.
3. REMOVE AND RELOCATE EXISTING DOWNSPOUT.
4. REMOVE EXISTING RAILING.

PROJECT DESIGNER:



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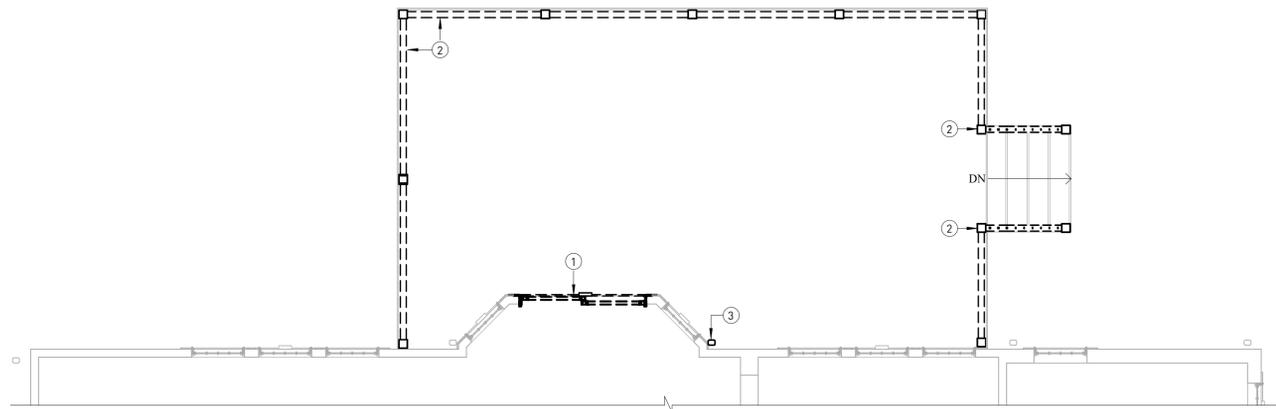
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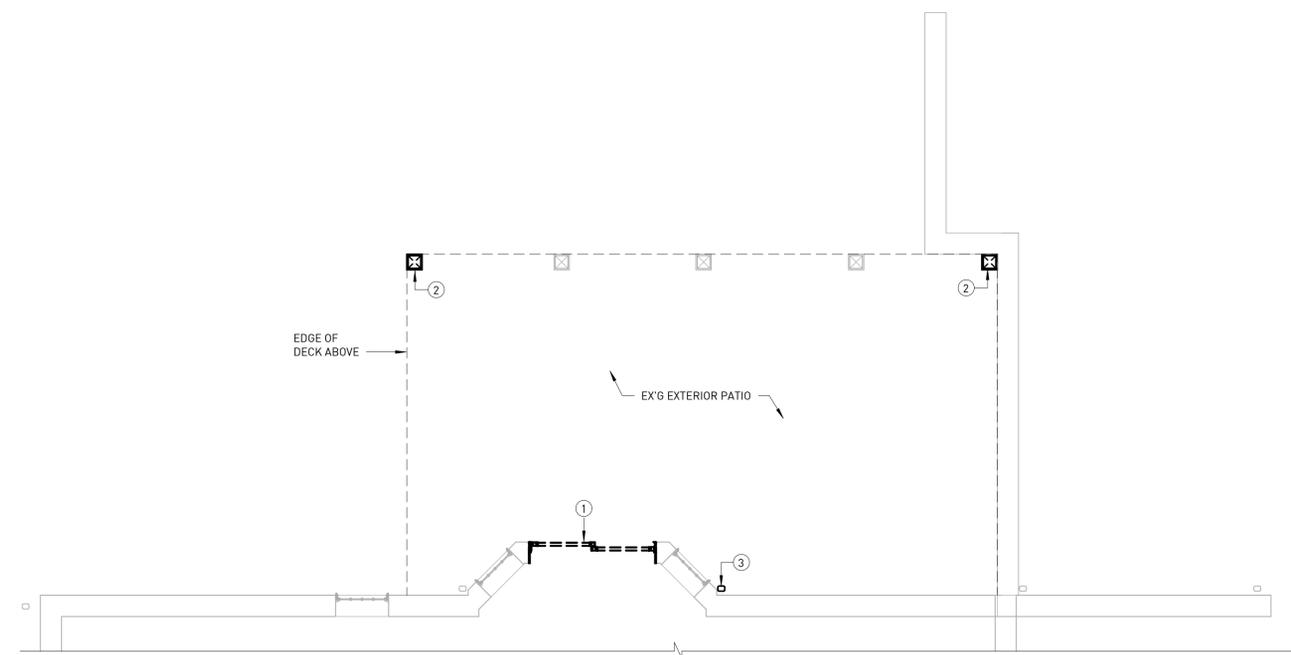
LOWER LEVEL & MAIN LEVEL
DEMOLITION
PLAN

a2.1



B SCALE:
a2.1 1/4" = 1'-0"

MAIN LEVEL DEMOLITION PLAN



A SCALE:
a2.1 1/4" = 1'-0"

LOWER LEVEL DEMOLITION PLAN

ROOF NOTES:

- DO NOT SCALE DRAWINGS. IF ANY DISCREPANCIES ARISE PLEASE CONTACT THE PROJECT MANAGER AND DESIGNER.
- STRUCTURAL FRAMING MEMBERS TO BE SPF #2
- ALL TRUSSES TO BE PRE-ENGINEERED BY TRUSS MFG. (SEE TRUSS SECTIONS IF APPLICABLE).
- CALCULATE ALL TRUSSES TO MAINTAIN NOTED SOFFIT HEIGHTS AND OVERHANG DIMENSIONS.
- TYPICAL EXTERIOR OR BEARING HEADER IS 3" x 2" x 10'S @ 2' x 4' WALLS AND 2" x 10'S @ 2' x 4' WALLS, UNLESS NOTED OTHERWISE
- ALL INTERIOR NON-BEARING HEADERS LESS THAN 4'-0" SPAN TO BE TWO 2' x 4'S EXCEPT AS NOTED.
- TYP. SOLID FRAMING POSTS TO BE MIN. OF 3" x 2" x EXCEPT AS NOTED BY TRUSS MFG.
- TRUSS CLIPS, HANGERS, AND STRUCTURAL CONNECTIONS FOR TRUSS SYSTEM TO BE SPECIFIED BY THE TRUSS MANUFACTURER ON SEALED TRUSS ENGINEERING PLANS.
- ALL ENGINEERED BEAMS ARE DESIGNED WITH LOADS AS FOLLOWS:
ROOF LOAD 20 PSF LIVE LOAD
20 PSF DEAD LOAD
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY W/ RCO R503).
- ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY W/ RCO R806).
- AN ATTIC ACCESS (22" x 30" MIN.) SHALL BE PROVIDED TO ANY ATTIC HAVING 30" OF CLEAR HEIGHT (COMPLY W/ RCO R807).
- ALL BEAMS TO BE 1.9E UNLESS OTHERWISE NOTED.

FLOOR PLAN NOTES:

- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRS WITH 4 OR MORE RISERS. HANDRAILS WILL BE LOCATED 34" TO 38" MEASURED VERTICALLY FROM TREAD NOSING. HAND GRIP CROSS SECTION DIMENSION SHALL NOT EXCEED 2 1/4" (COMPLY WITH RCO R511).
- GUARDRAILS (MIN. 36" HIGH) SHALL BE PROVIDED ON PORCHES, BALCONIES, AND RAISED FLOORS MORE THAN 30 ABOVE FLOOR OR GRADE. OPEN STAIRS SHALL HAVE GUARDRAILS (MIN. 34" HIGH) GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER (COMPLY WITH RCO R312).
- PROVIDE PROPER THICKNESS AND SPANS OF SHEATHING FOR ROOFS AND SUBFLOORS (COMPLY WITH RCO R503).
- ROOF VENTS TO MEET 1:150 VENT AREA RATIO (COMPLY WITH RCO R806).
- PROVIDE MINIMUM (2) 2X10'S W/ 1/2" PLYWOOD FLITCH PLATE AT ALL EXTERIOR WALL OPENINGS AN INTERIOR BEARING WALL OPENINGS UNLESS OTHERWISE NOTED.
- PROVIDE MINIMUM OF (3) 2X4'S AT EACH END OF ALL BEAMS AND GIRDER TRUSSES UNLESS OTHERWISE NOTED. ALL SUCH CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POST AND/OR SOLID BLOCKING.

PROJECT DESIGNER:



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PROJECT CONTRACTOR:

PROJECT LOCATION:

5806 Timberline Trail,
Hudson, OH, 44236

Veranda Addition for:
Delis

OR CODE PDF DRAWING:

PRINT RECORD:

No.	Description	Date
11	CD SET	06/22/2025

JOB NUMBER:

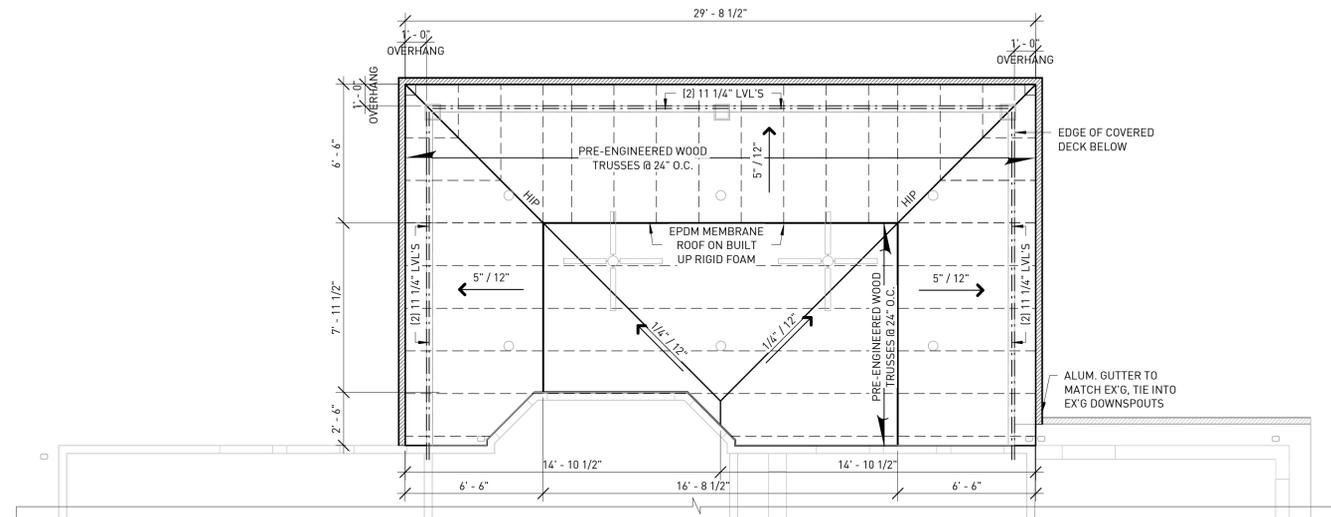
R 2524

- RELEASED FOR REVIEW
- RELEASED FOR PERMIT

SHEET DESCRIPTION:

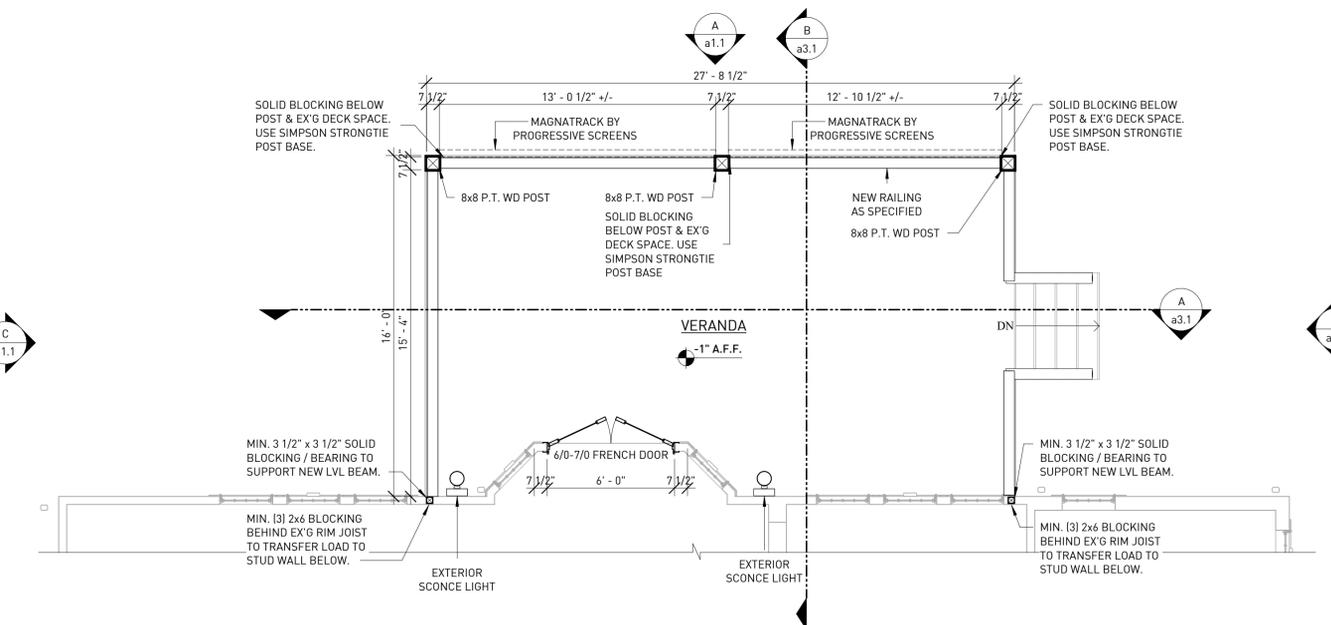
LOWER LEVEL &
MAIN LEVEL &
ROOF PLAN

a2.2



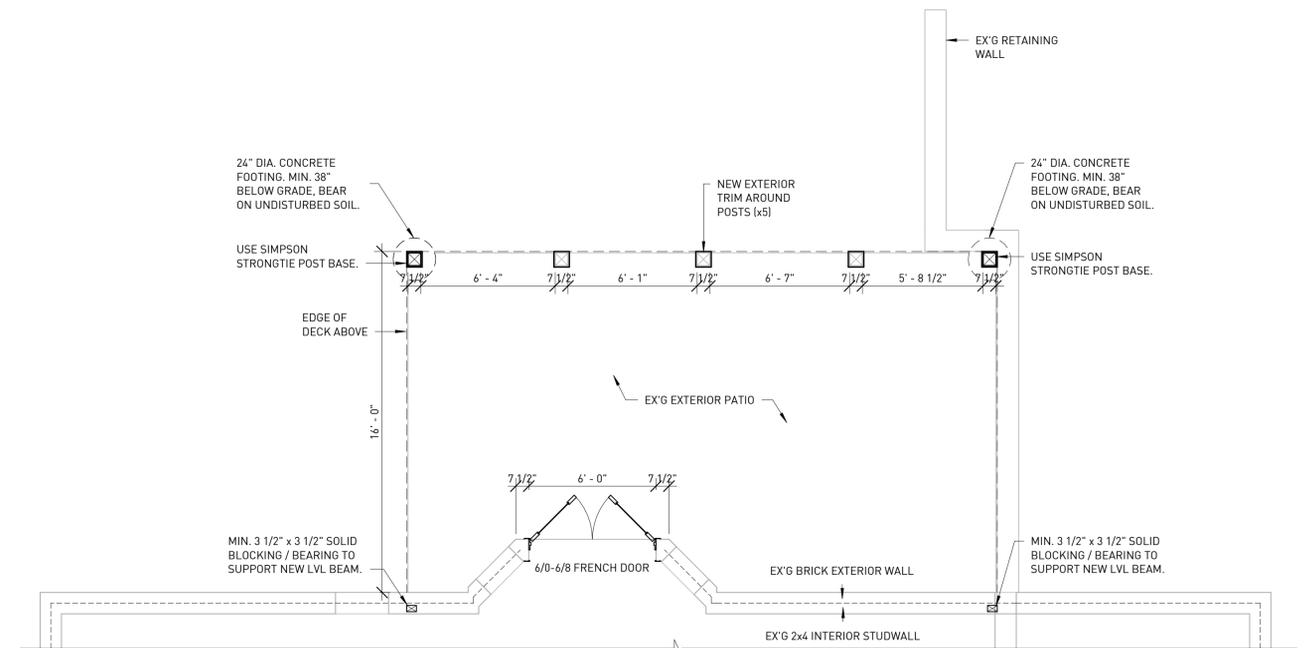
C a2.2 SCALE: 1/4" = 1'-0"

ROOF PLAN



B a2.2 SCALE: 1/4" = 1'-0"

MAIN LEVEL PLAN



A a2.2 SCALE: 1/4" = 1'-0"

LOWER LEVEL PLAN







Vlatko Demrovski

Element

Sep 23, 2025 | 4 Photos

element

DESIGN • BUILD • REMODEL
KITCHEN AND BATH DESIGN STUDIO

outside

Section 1

1



Project: Delis Project (230)
Date: Aug 21, 2025, 8:51 AM
Creator: Vlatko Demrovski

2



Project: Delis Project (230)
Date: Aug 21, 2025, 8:51 AM
Creator: Vlatko Demrovski

3



Project: Delis Project (230)
Date: Aug 21, 2025, 9:04 AM
Creator: Vlatko Demrovski

4



Project: Delis Project (230)
Date: Aug 21, 2025, 9:04 AM
Creator: Vlatko Demrovski